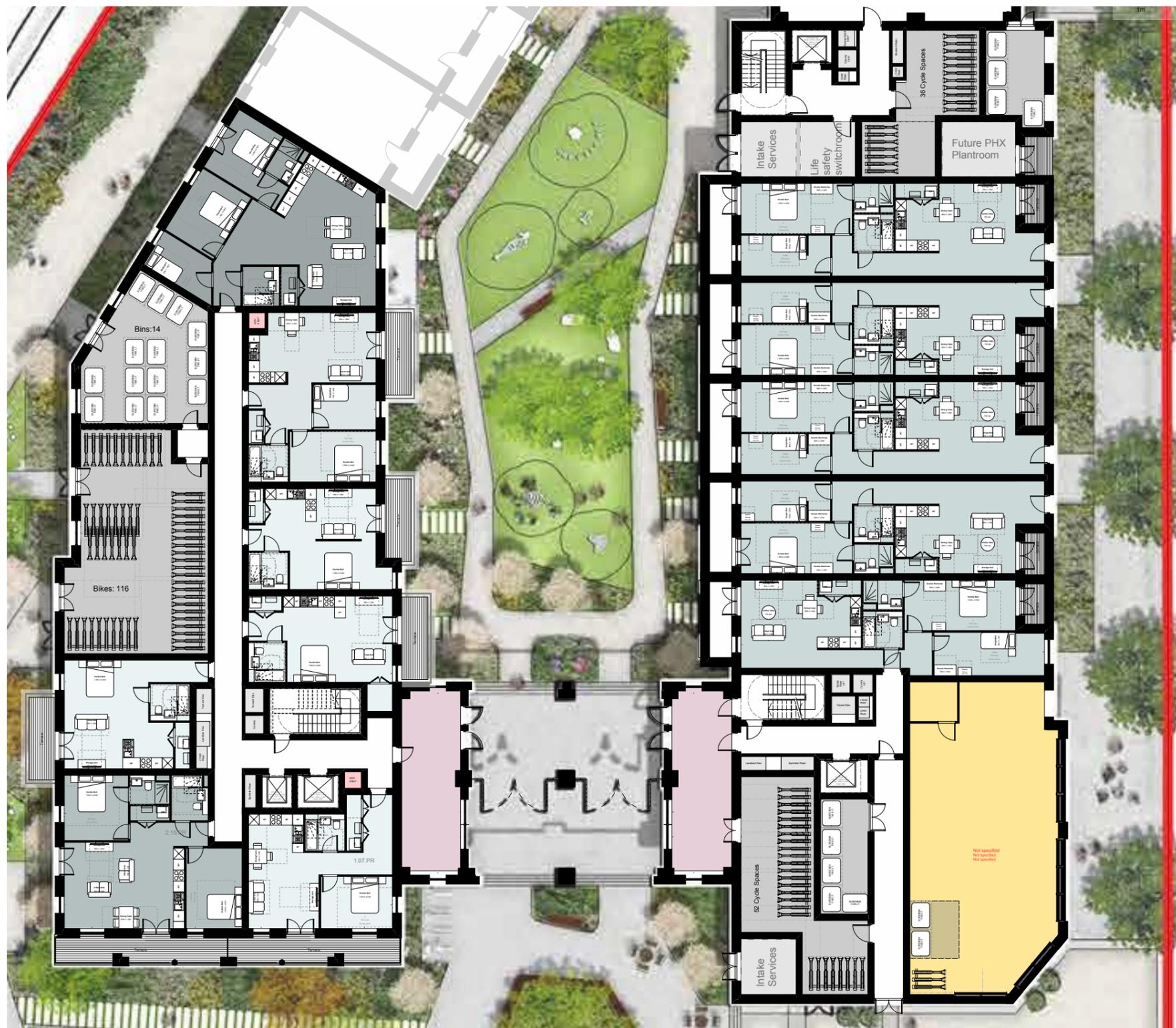
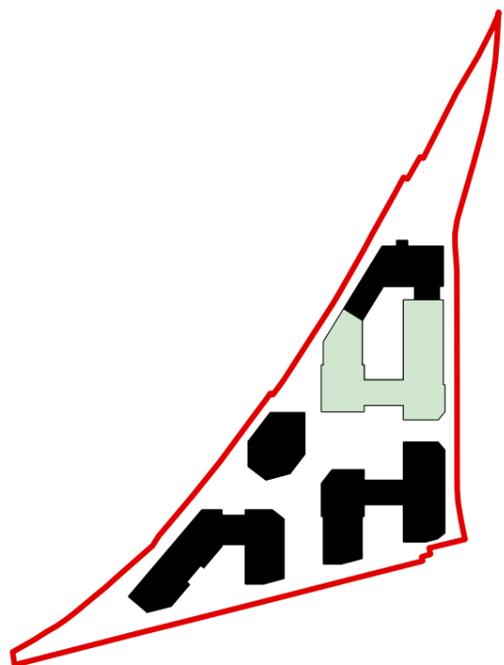


3.2 Building A plans - south

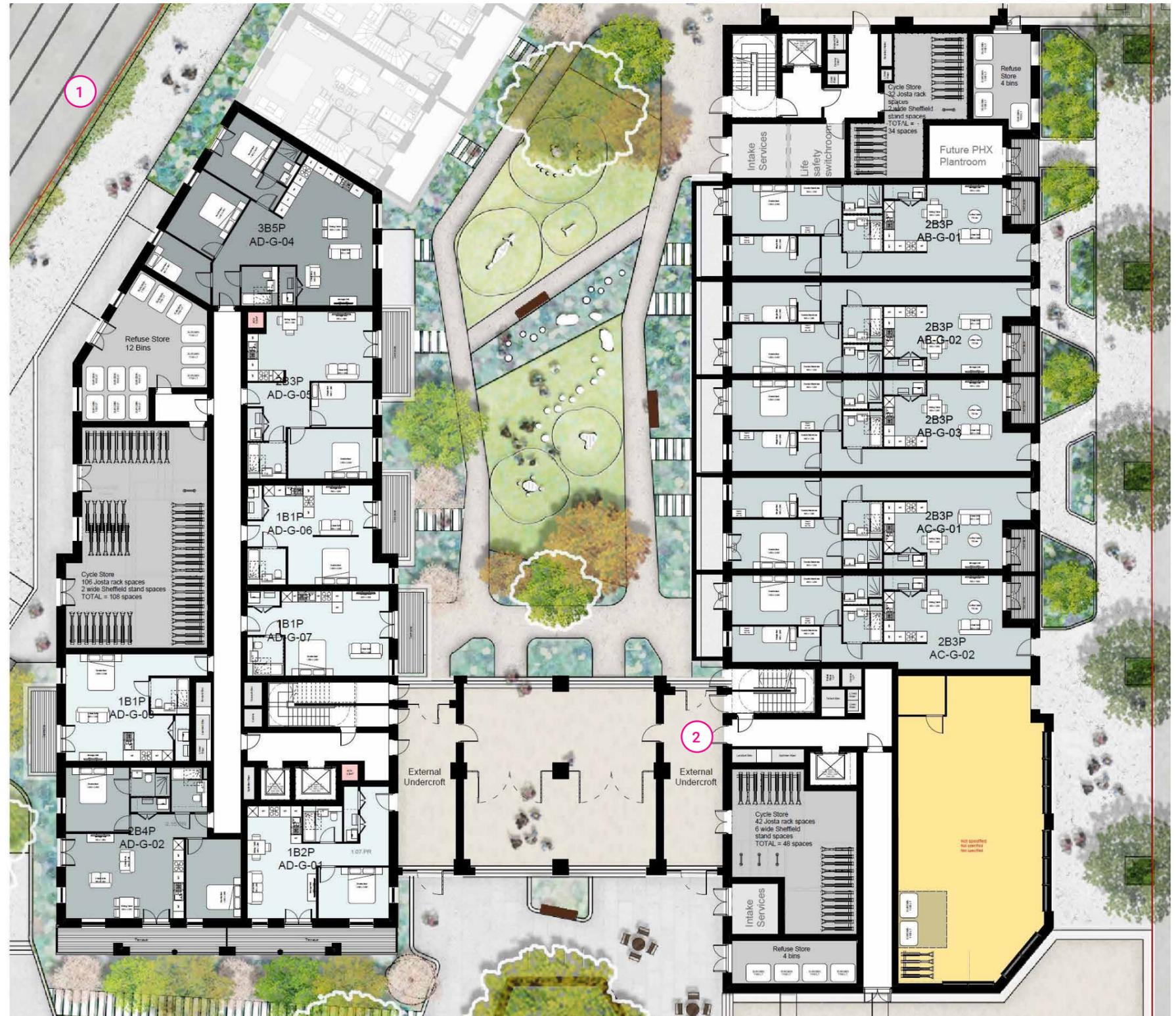
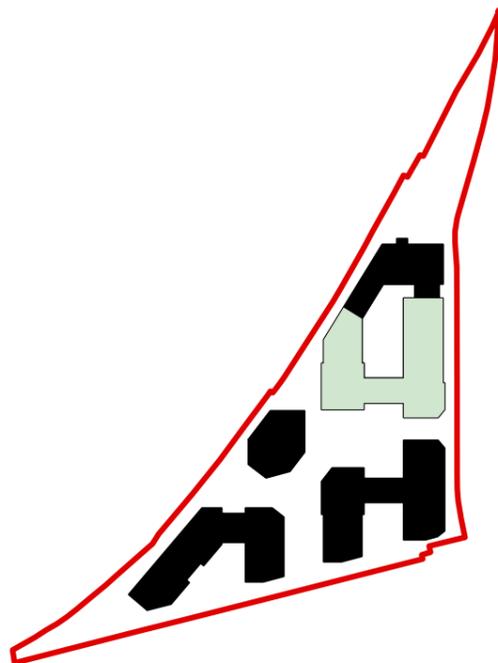
Ground floor - Application drawing previously presented to the Mayor in October 2020



Building A south - ground floor plan - Previously presented to the Mayor in October 2020

Ground floor - November 2021 Addendum changes

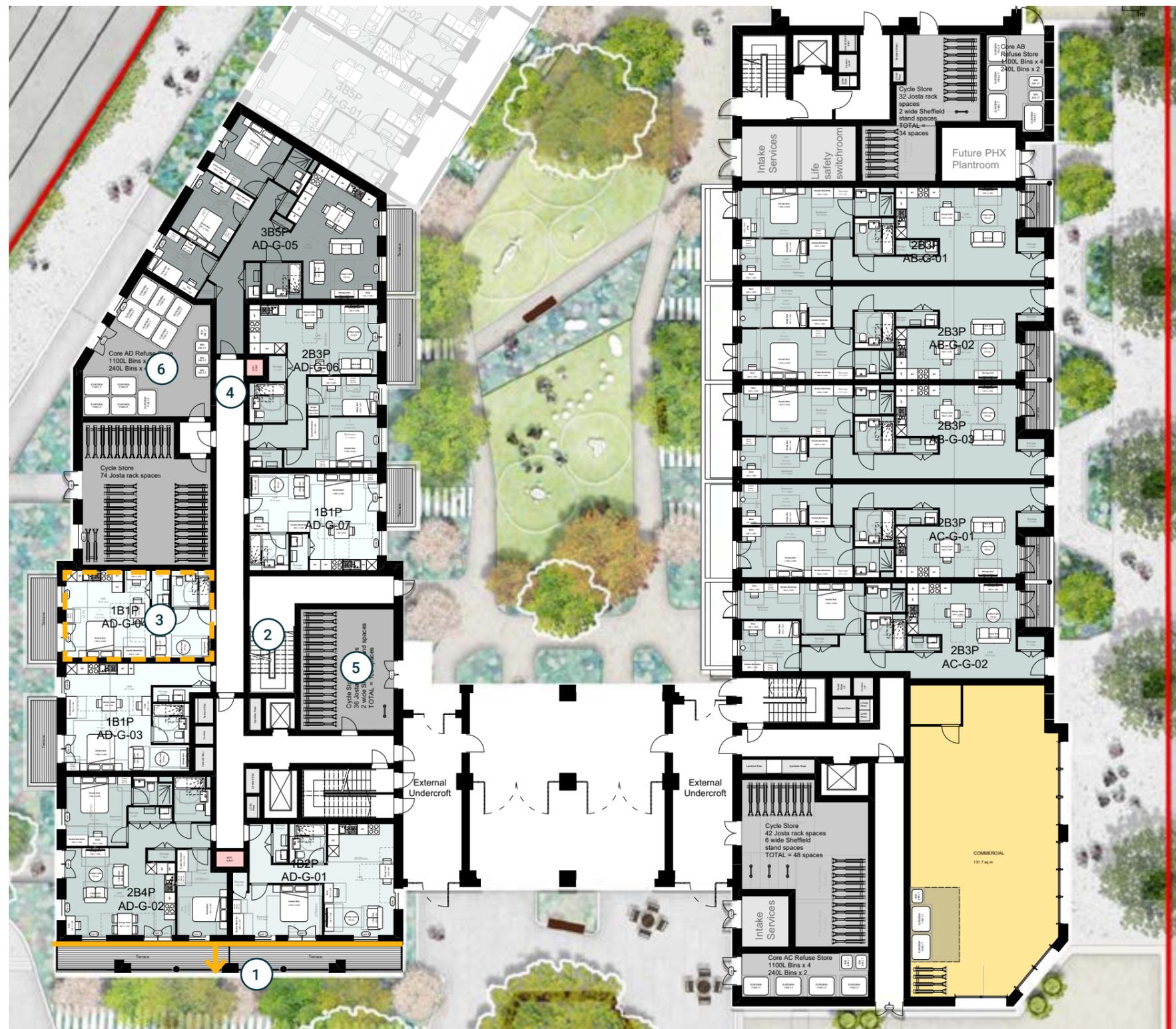
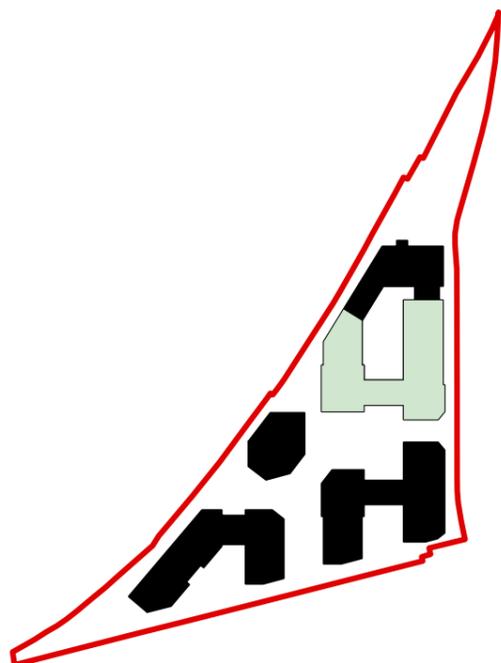
- 1 A change to the application boundary was made in an addendum document in 2021 that pulled the boundary away from the network rail fence line following a review of the title plan
- 2 Internal residential lobby amended to become external under-croft



Building A south - ground floor plan - November 2021 Proposal

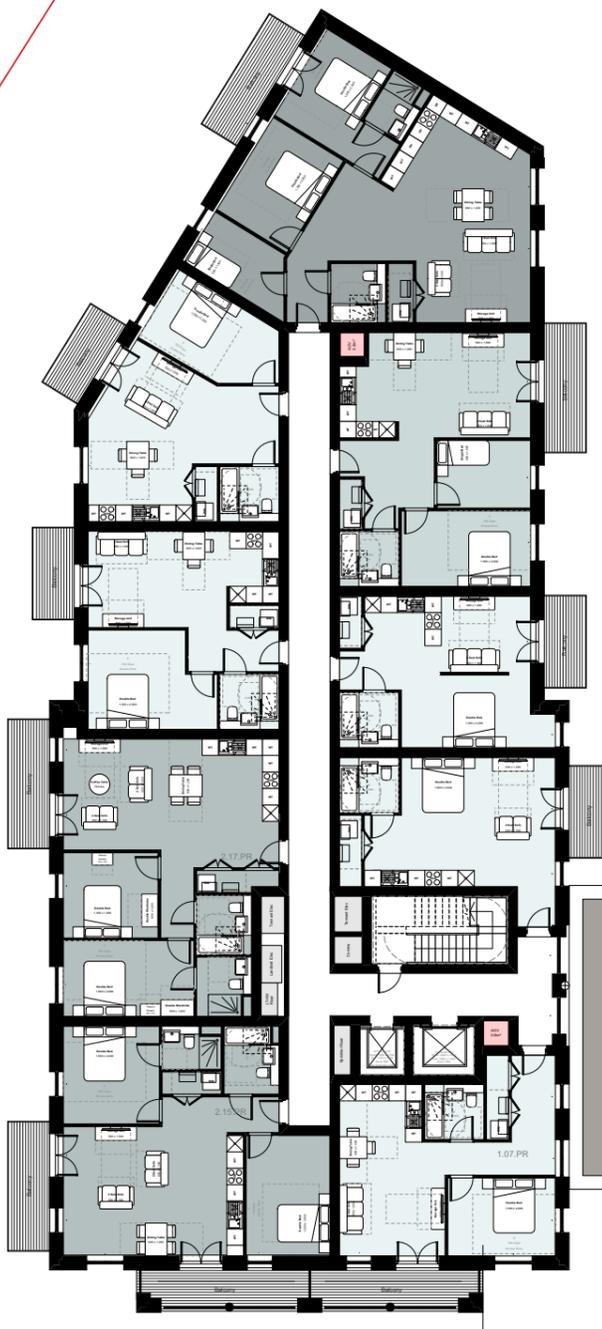
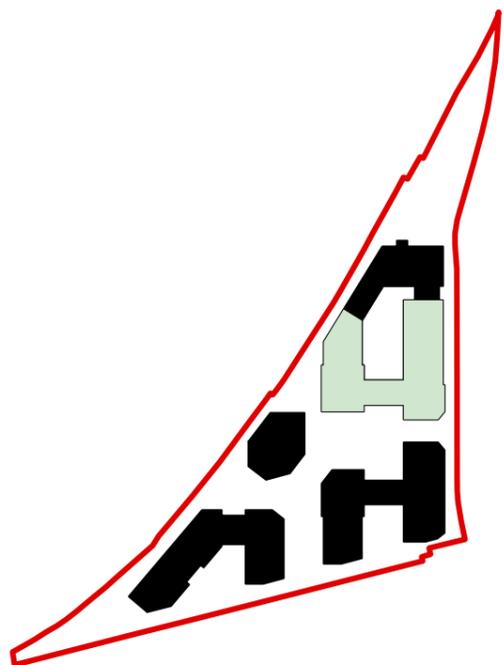
Ground floor - current proposed changes

- 1 a 225mm (or 22.5cm) extension in building footprint to the south
- 2 Introduction of second staircase
- 3 1 x 1B1P flat has been relocated from the east side of the building to the west side.
- 4 Adjustments to internal layout in order to maintain unit mix and NIA
- 5 Division of the bike store into two stores.
- 6 Bin stores now include two sizes of bins - 1100 litre and 240 litre bins

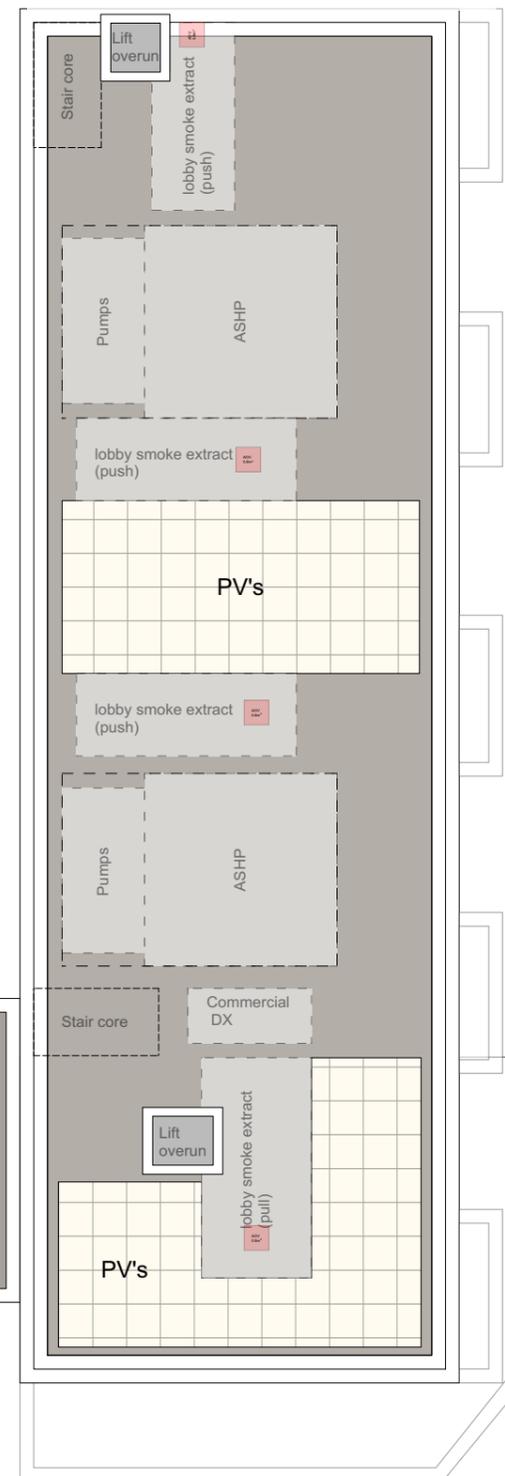


Building A south - ground floor plan - latest proposal

Typical floor - Application drawing previously presented to the Mayor in October 2020

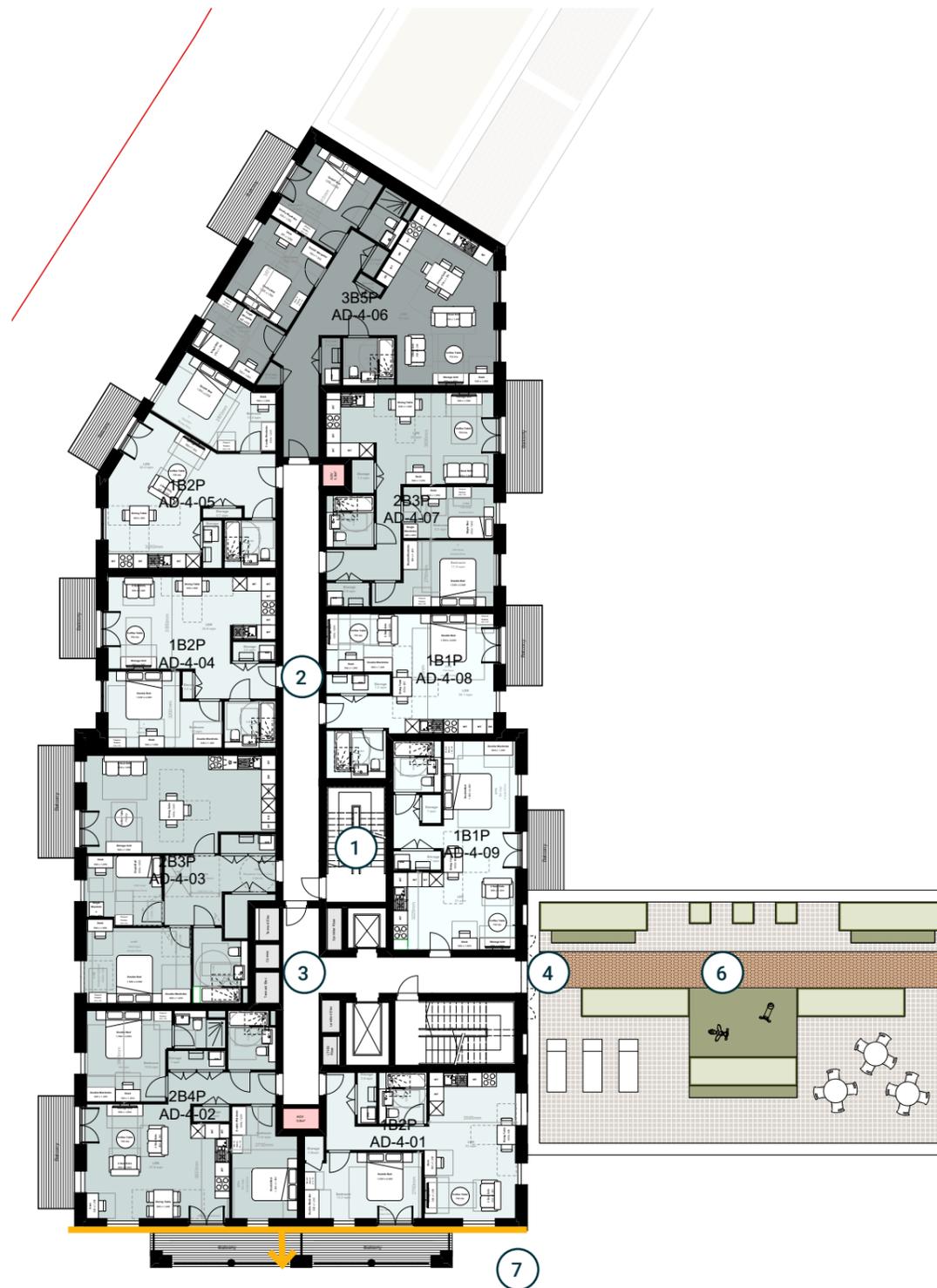
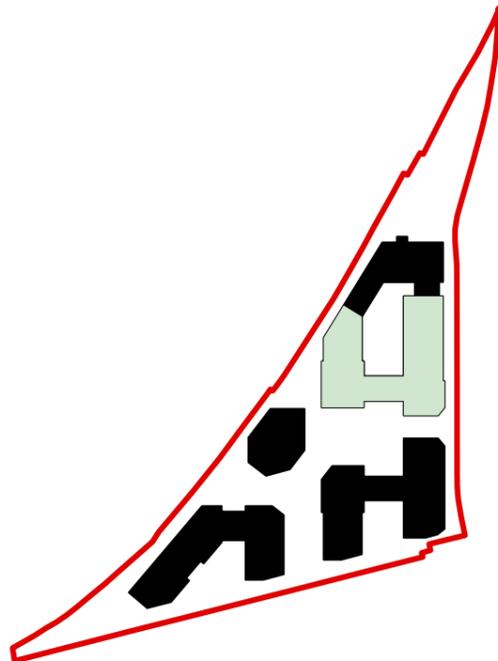


Building A south - fourth floor plan - Previously presented to the Mayor in October 2020

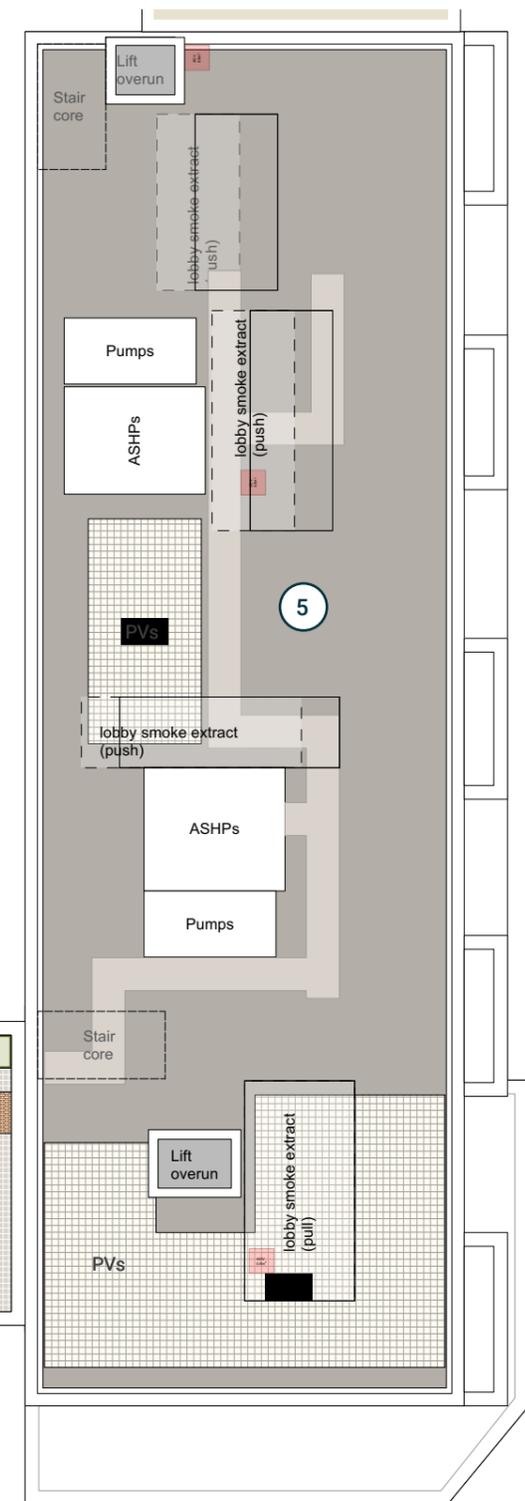


Typical floor - current proposed changes

- 1 Introduction of second staircase
- 2 Alterations to typical floor layout to accommodate second stair, maintain mix and comply with fire regulations
- 3 Updated riser layout within residential core
- 4 Doors to residential terrace added on fourth floor of block A3
- 5 Roof plant arrangement amended to reflect current MEP advice.
- 6 Revised green roof layout to reflect adjustments to size and locations of plant space and lift cores
- 7 a 225mm (or 22.5cm) extension in building footprint to the south



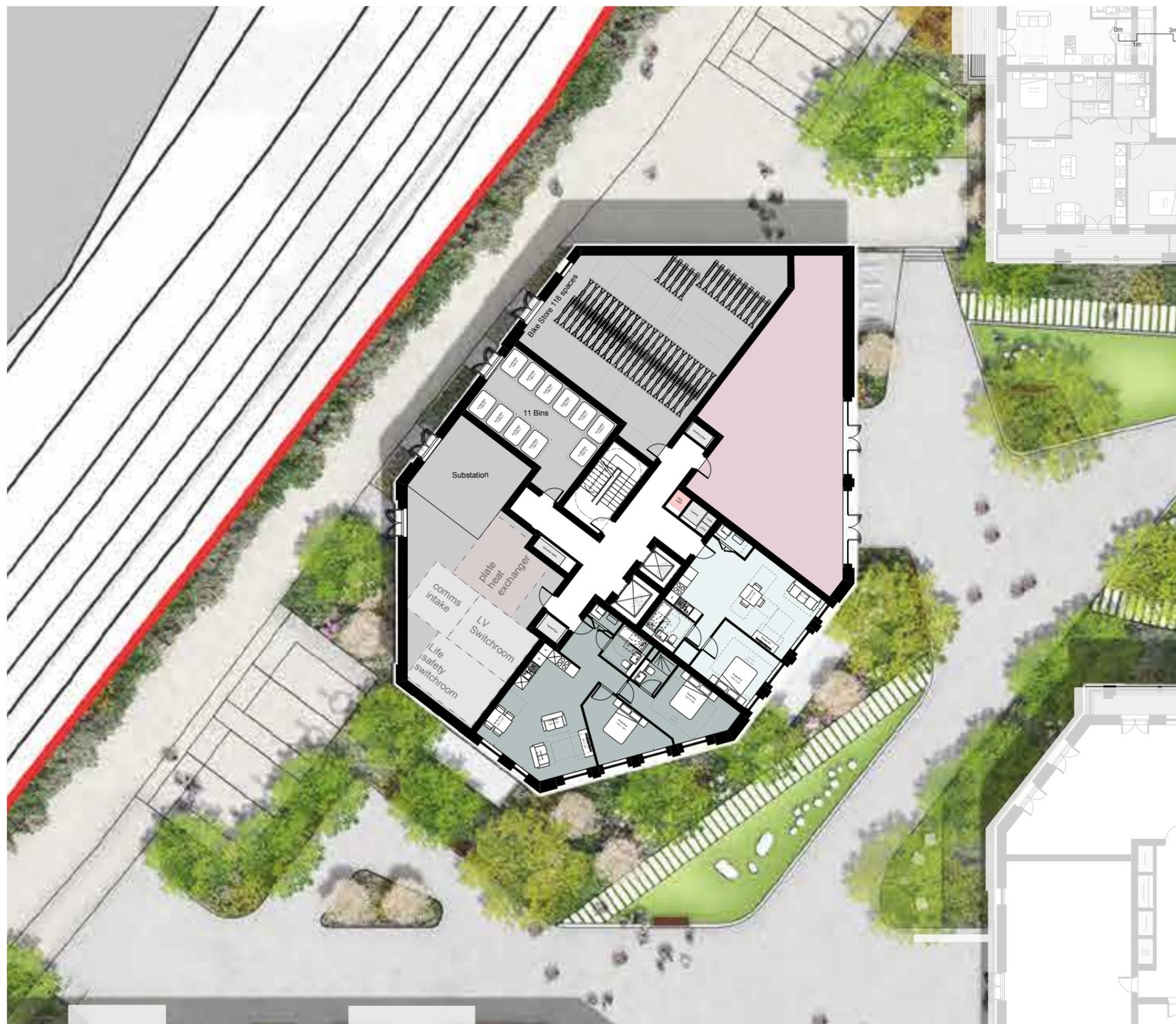
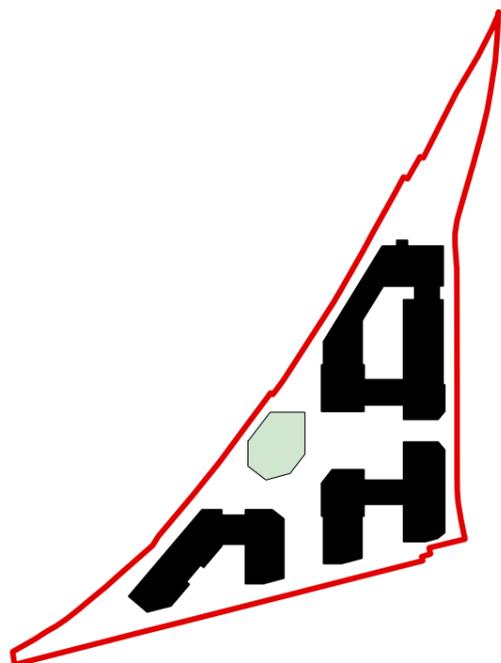
Building A south - fourth floor plan - Current proposals



1m

3.3 Building B plans

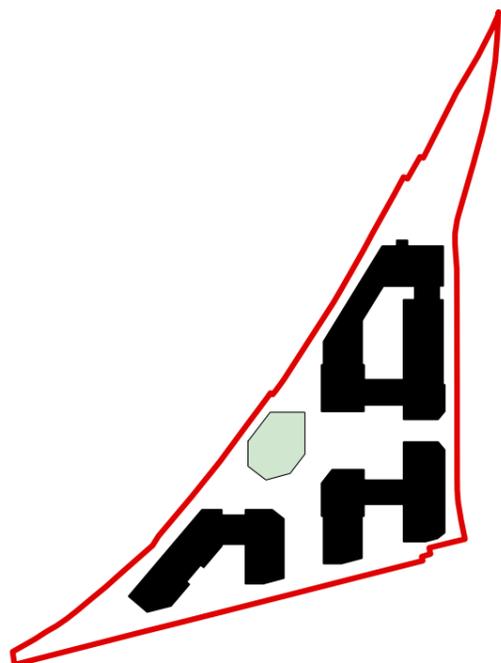
Ground floor - Application drawing previously presented to the Mayor in October 2020



Building B - ground floor plan - Previously presented to the Mayor in October 2020

Ground floor - November 2021 Addendum changes

- 1 2 no. car-club spaces have been provided on site.
- 2 A change to the application boundary was made that pulled the boundary away from the network rail fence line following a review of the title plan



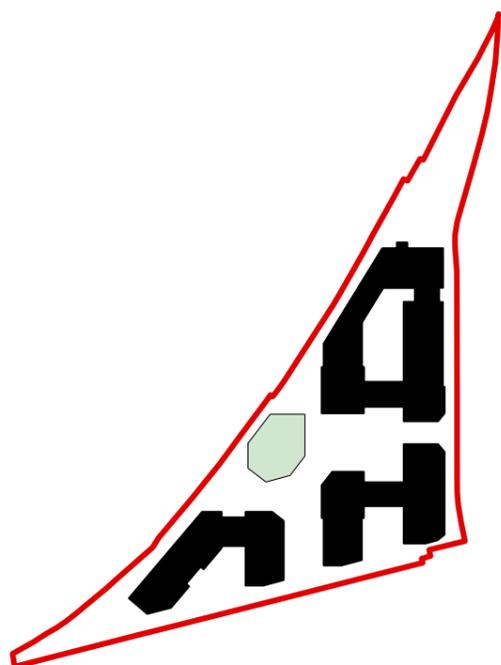
Building B - ground floor plan - November 2021 proposals

Cycle provision:

Cycle storage provision in-line with the requirement for the individual block as per the 'Parking Addendum to Chapter 6 - cycle parking' of the London Plan, 2021.

Ground floor - current proposed changes

- 1 a 112.5mm (or 11.25cm) extension in building footprint to the south
- 2 Introduction of second staircase
- 3 Change of cycle store size to provide space for 150 bikes, in line with the London Plan. Cycle store split to comply with current fire advice.
- 4 Introduction of second AOV
- 5 Stair core now has direct escape door to outside
- 6 Plant rooms, bin and bike stores re-arranged at ground floor
- 7 New external doors to access substation
- 8 Bin store now includes two sizes of bins - 1100 litre and 240 litre bins

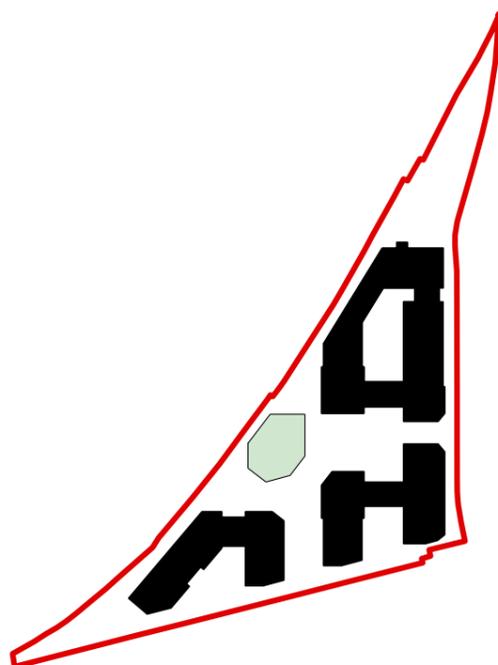


Building B - ground floor plan - Current proposals

Typical floor - Application drawing previously presented to the Mayor in October 2020

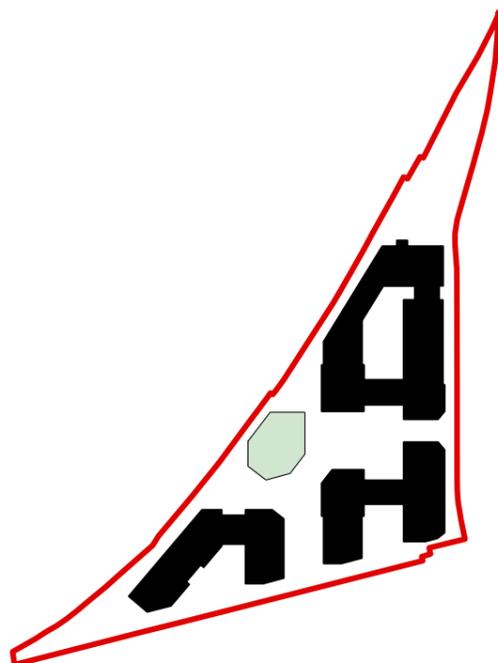


Building B - second floor plan - Previously presented to the Mayor in October 2020



Typical floor - current proposal

- 1 a 112.5mm (or 11.25cm) extension in building footprint to the south and a 112.5mm (or 11.25cm) extension to the north
- 2 Adjustments to the internal layout to maintain unit mix and NIA
- 3 Introduction of second staircase
- 4 Introduction of second AOV and re-arrangement of service risers to suit new core arrangement
- 5 Updated layouts for 2B4P units



Key plan

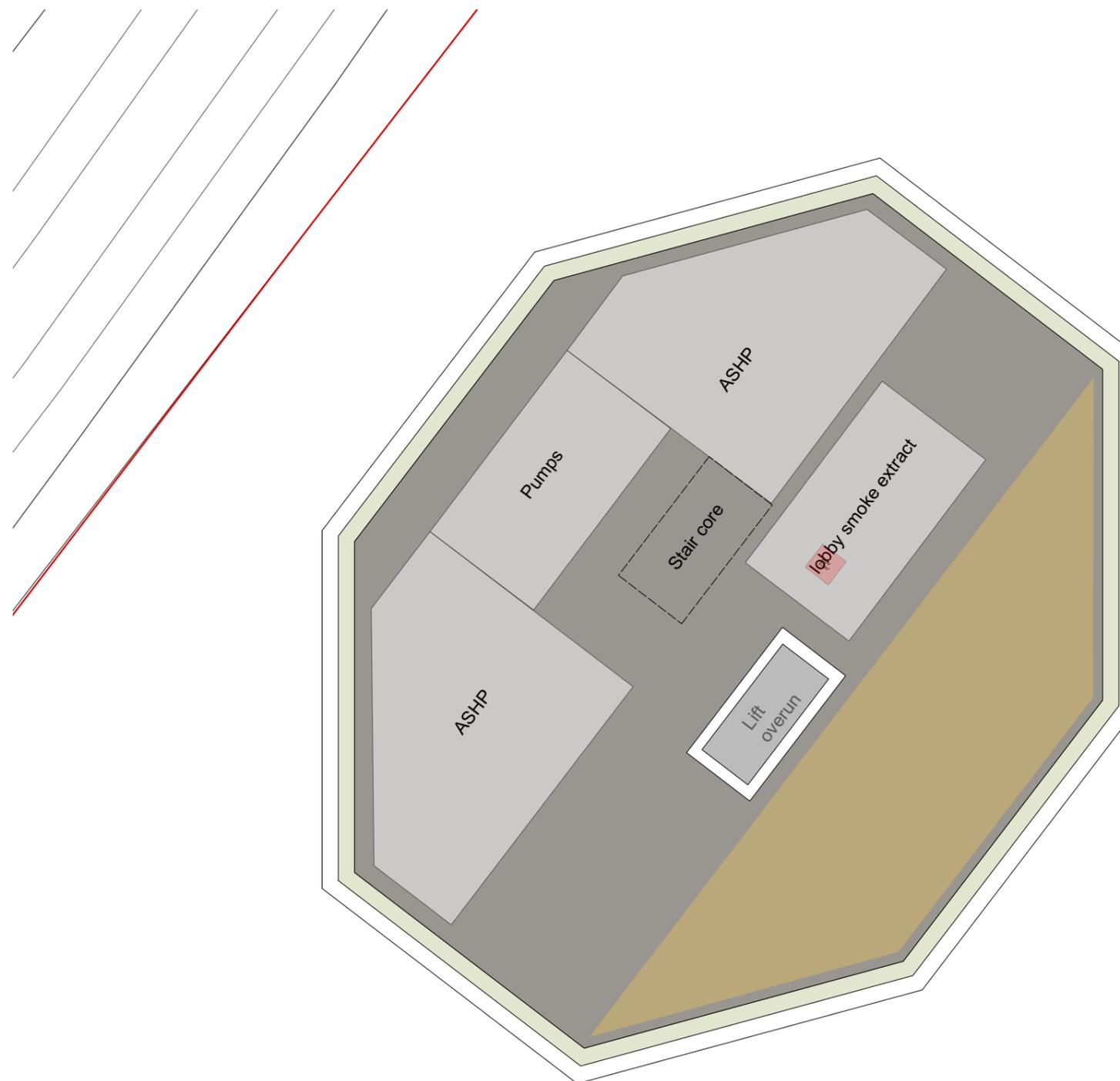
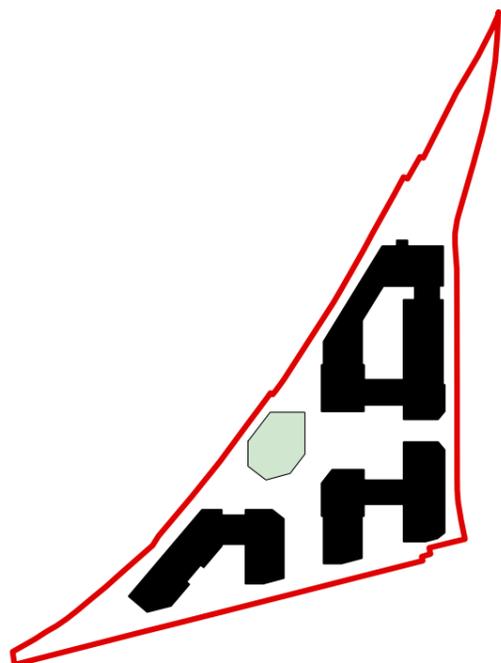


Building B - second floor plan - Current proposal

M4(2) compliance:

All units within Block B are M4(2) compliant. There are no M4(3) units within Block B.

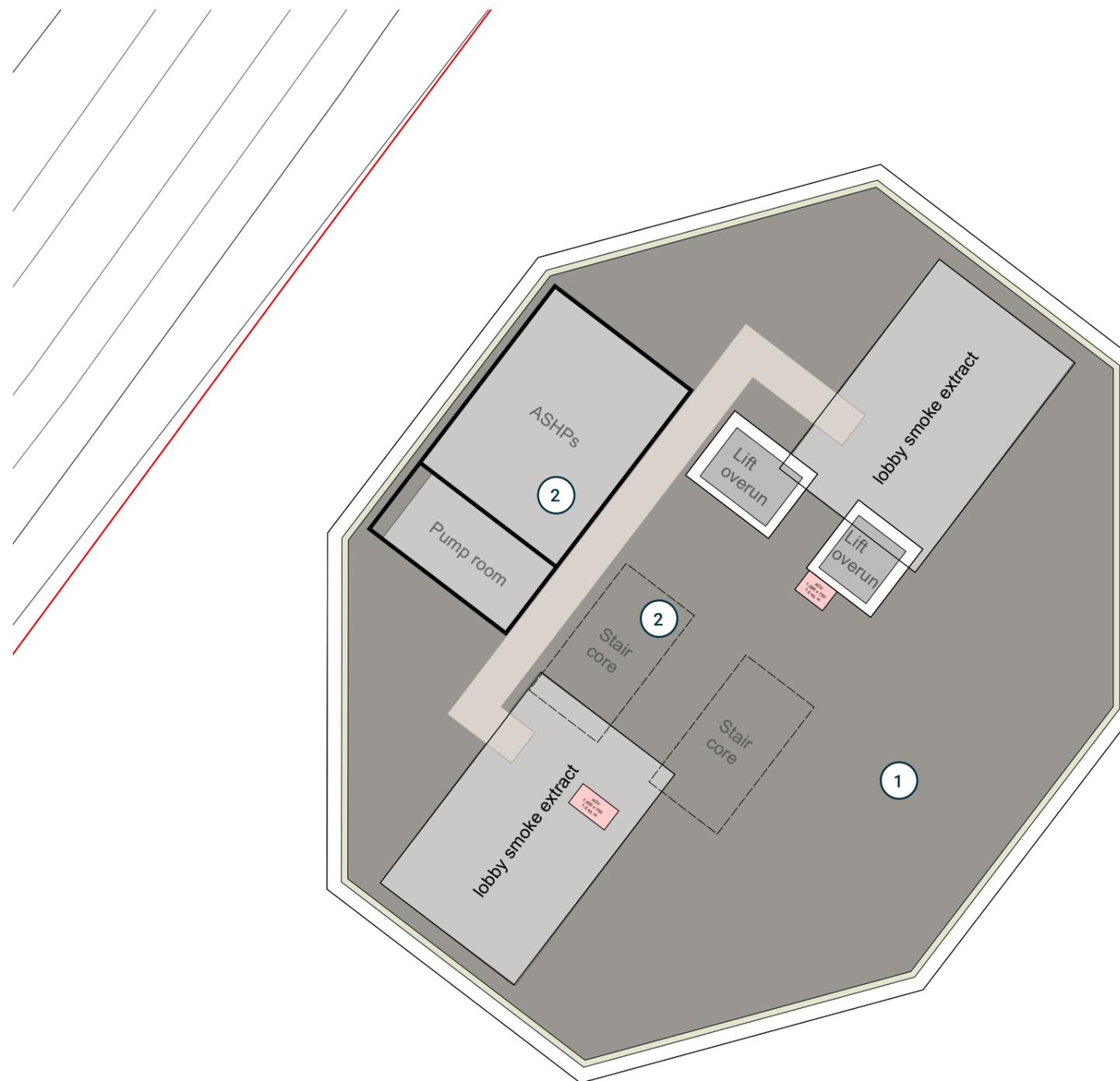
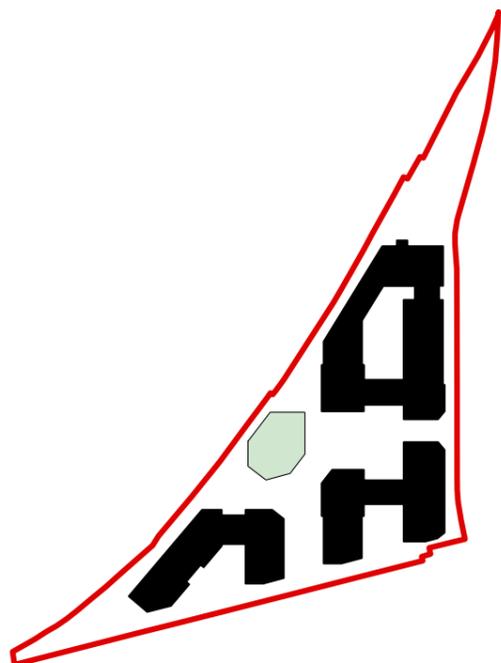
Roof plan - Application drawing previously presented to the Mayor in October 2020



Building B - roof plan - Previously presented to the Mayor in October 2020

Roof plan - current proposed changes

- 1 Removal of landscaped terrace
- 2 Changes to size and position of plant space and lift cores to reflect updated layouts / detailed advice



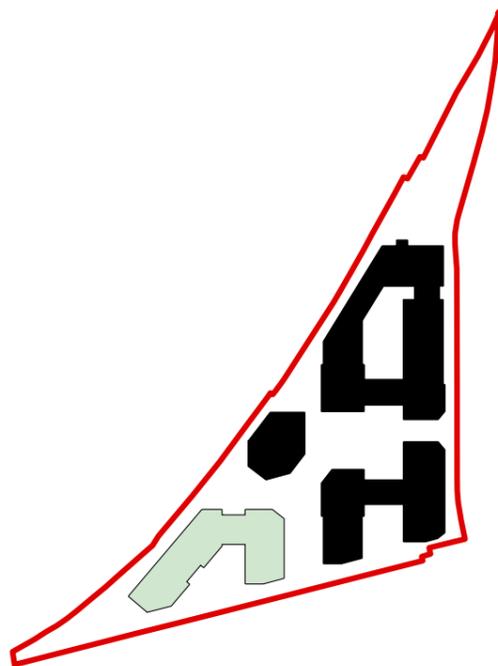
Building B - roof plan - current proposal

3.4 Building C plans

Ground floor - Application drawing previously presented to the Mayor in October 2020



Building C - ground floor plan - Previously presented to the Mayor in October 2020



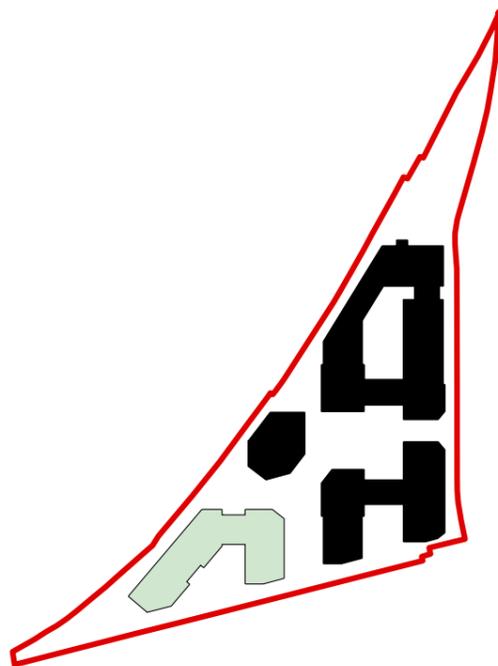
Key plan

Ground floor - November 2021 Addendum changes

- 1 A change to the application boundary was made in an addendum document in 2021 that pulled the boundary away from the network rail fence line following a review of the title plan



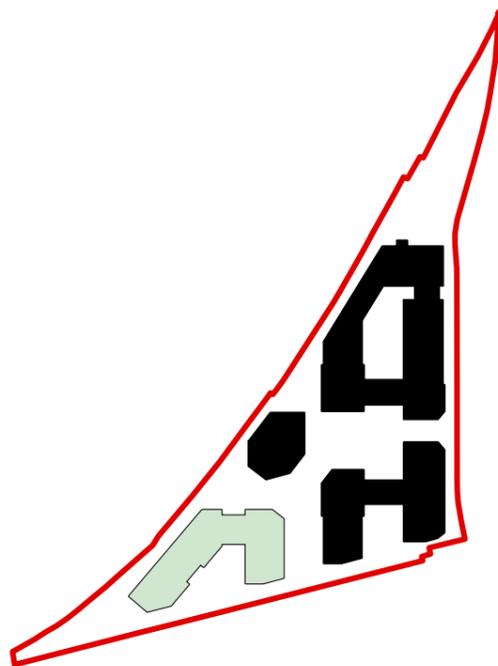
Building C - ground floor plan - November 2021 proposals



Key plan

Ground floor - current proposed changes

- 1 Block CA (eastern building) - a 225mm (or 22.5cm) extension in building footprint to the north and north-east and a 112.5mm (or 11.25cm) extension to the east
- 2 Block CB (western building) - an infill of the recessed part of the façade to the south-east
- 3 Introduction of second staircase to block CA (eastern building)
- 4 Internal adjustments made to maintain mix, incorporate the second stair and comply with fire regulations
- 5 Direct escape doors to outside from southern stair core
- 6 Residential corridor extended in block CA to provide internal access to all apartments
- 7 Block CA: 1 x 2B3P flat has changed to a 1B2P (change does not affect overall mix)
- 8 Block CB: 1 x 1B2P apartment has changed to a 2B3P (change does not affect overall mix)



Building C - ground floor plan - current proposals