

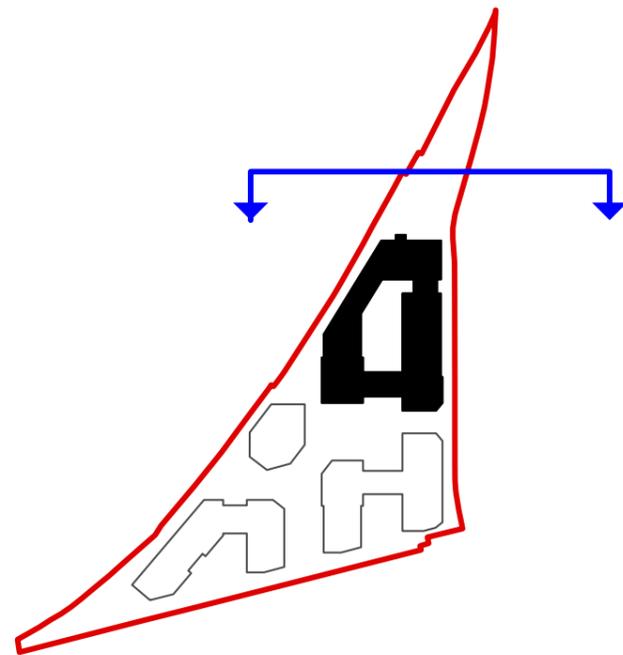
4.1 Building A elevations

Building A north elevation current proposed changes

- 1 Ground floor FFL (north) increased by 15cm from +6.3 to +6.45
- 2 Maximum parapet height remains the same as the original application drawings (+35.15)
- 3 Floor to floor heights (1st to 7th floors) each reduced by 7.5cm
- 4 New corridor door at ground floor for external access to bin and bike stores
- 5 Bin store door has moved to the north elevation as a result of internal layout changes



Building A north elevation - Previously presented to the Mayor in October 2020



Key plan



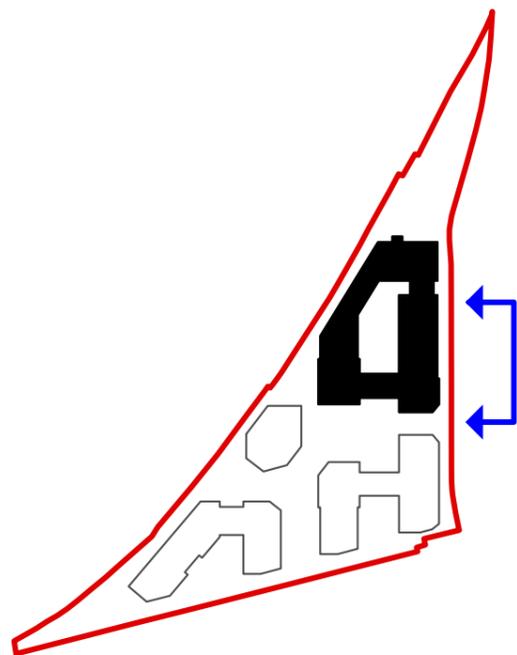
Building A north elevation - Latest proposal

Building A east elevation current proposed changes

- 1 Ground floor FFL (south) increased by 30cm from +6.3 to +6.6
- 2 Maximum parapet height remains the same as the original application drawings (+35.15)
- 3 Floor to floor heights (1st to 7th floors) each reduced by 7.5cm
- 4 Glazing into residential lobby amended to gates into courtyard (gates to be same design as those originally designed on Building A south elevation)
- 5 Roof plant arrangement amended to reflect current MEP advice.
- 6 A 450mm (or 45cm) extension in building footprint to the south of Block A1 and a 225mm (or 22.5cm) extension in building footprint to the south of block A3
- 7 Updates to Block AD elevation - the grid of openings across the east facade of block AD has changed to suit the revised internal layout.



Building A east elevation - Previously presented to the Mayor in October 2020



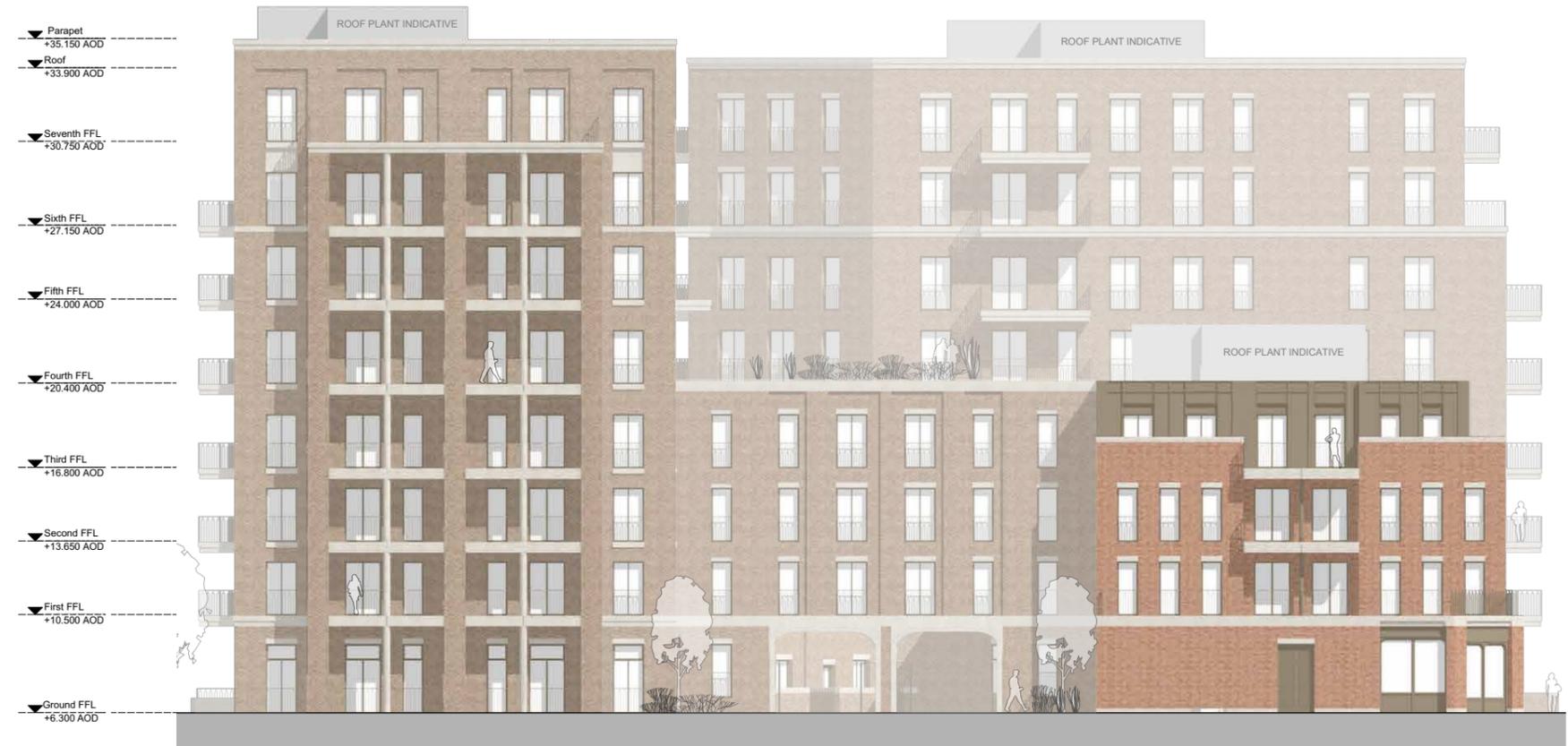
Key plan



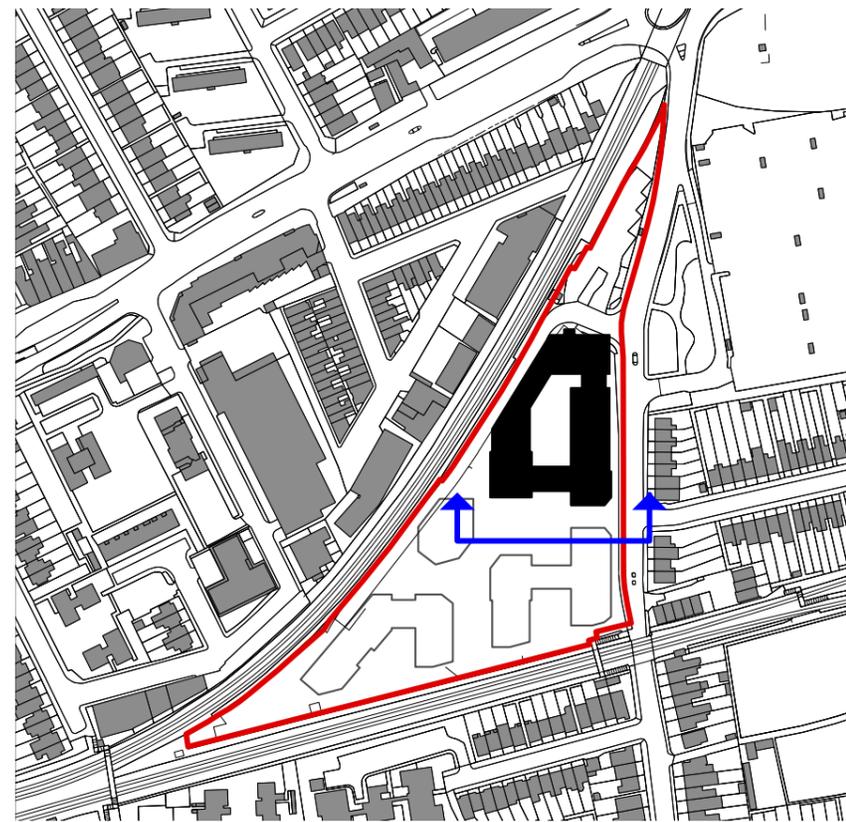
Building A east elevation - Latest proposal

Building A south elevation current proposed changes

- 1 Ground floor FFL (south) increased by 30cm from +6.3 to +6.6
- 2 Maximum parapet height remains the same as the original application drawings (+35.15)
- 3 Floor to floor heights (1st to 7th floors) each reduced by 7.5cm
- 4 Brick walls and glazing into residential lobbies amended to gates into courtyard (gates to be same design as those originally designed within the two central arches on Building A south elevation)
- 5 Alterations to the number and position of window openings along the south elevation of block A1 to suit revised internal layout
- 6 Tax windows introduced where glazed windows cannot be located due to the location of the staircore
- 7 Roof plant arrangement amended to reflect current MEP advice.



Building A south elevation - Previously presented to the Mayor in October 2020



Key plan



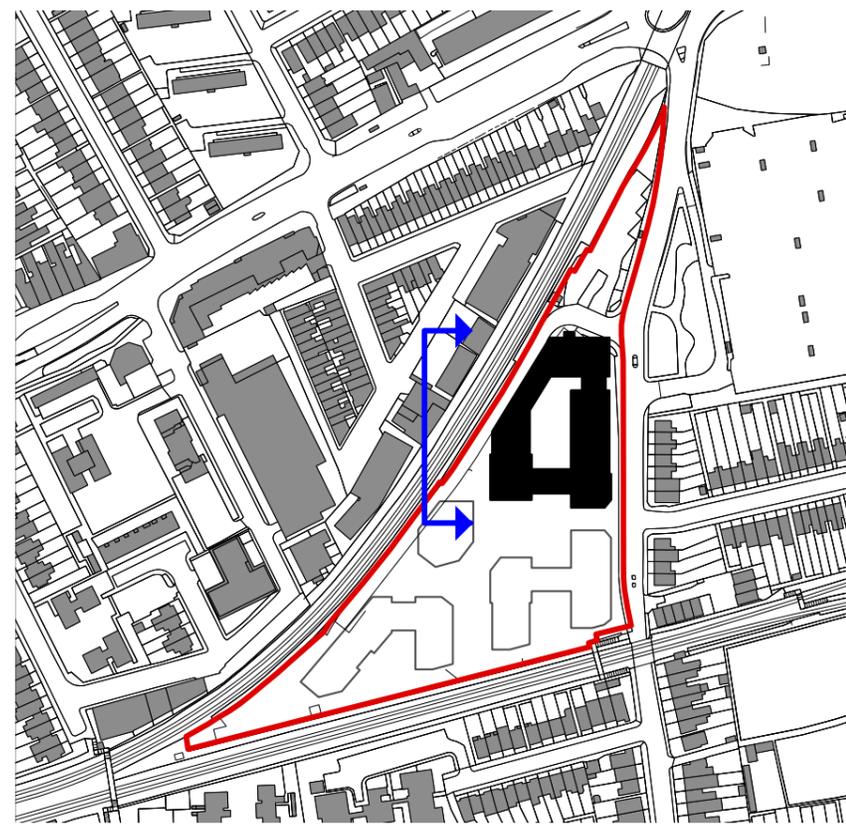
Building A south elevation - Latest proposal

Building A west elevation current proposed changes

- 1 Ground floor FFL (south) increased by 30cm from +6.3 to +6.6
- 2 Maximum parapet height remains the same as the original application drawings (+35.15)
- 3 Floor to floor heights (1st to 7th floors) each reduced by 7.5cm
- 4 New window and terrace introduced at ground floor for studio apartment
- 5 A 225mm (or 22.5cm) extension in building footprint to the south of block A3
- 6 Roof plant arrangement amended to reflect current MEP advice.



Building A west elevation - Previously presented to the Mayor in October 2020



Key plan



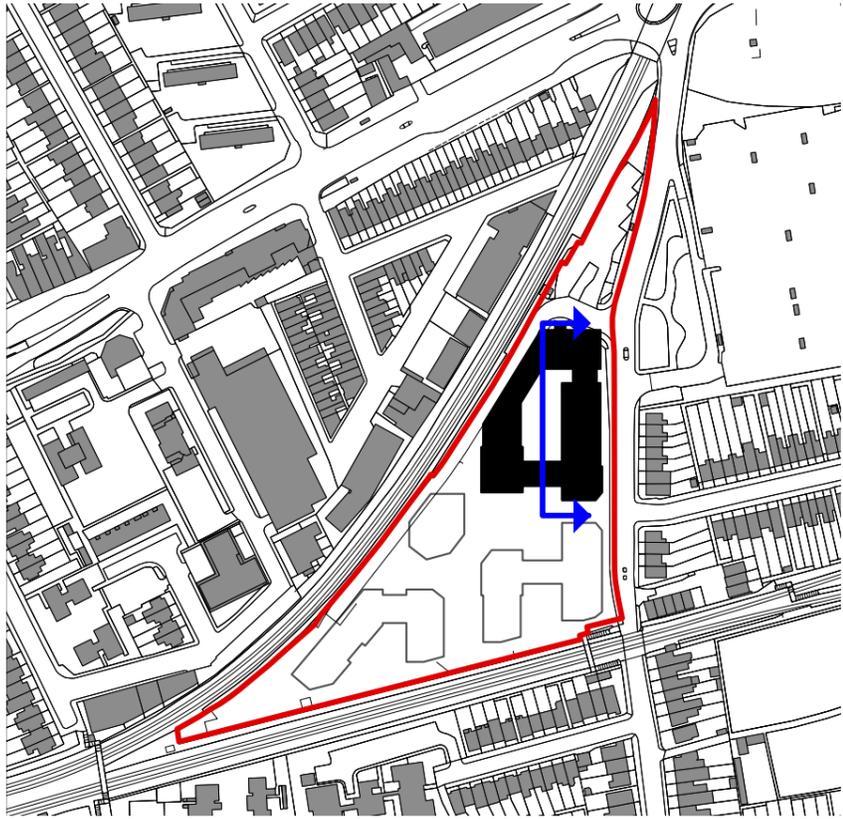
Building A west elevation - Latest proposal

Building A internal courtyard west elevation current proposed changes

- 1 Ground floor FFL (south) increased by 30cm from +6.3 to +6.6
- 2 Maximum parapet height remains the same as the original application drawings (+35.15)
- 3 Floor to floor heights (1st to 7th floors) each reduced by 7.5cm
- 4 Residential lobby amended to external under-croft, and double windows into lobby removed
- 5 Louvred door to bin store inserted and double doors into plant room changed from glazed to louvred
- 6 Block A1 building footprint has extended 450mm to the south
- 7 Residential lobby amended to external under-croft, and double windows into lobby removed
- 8 Roof plant arrangement amended to reflect current MEP advice.



Building A internal courtyard west elevation - Previously presented to the Mayor in October 2020



Key plan



Building A internal courtyard west elevation - Latest proposal

Building A internal courtyard south elevation current proposed changes

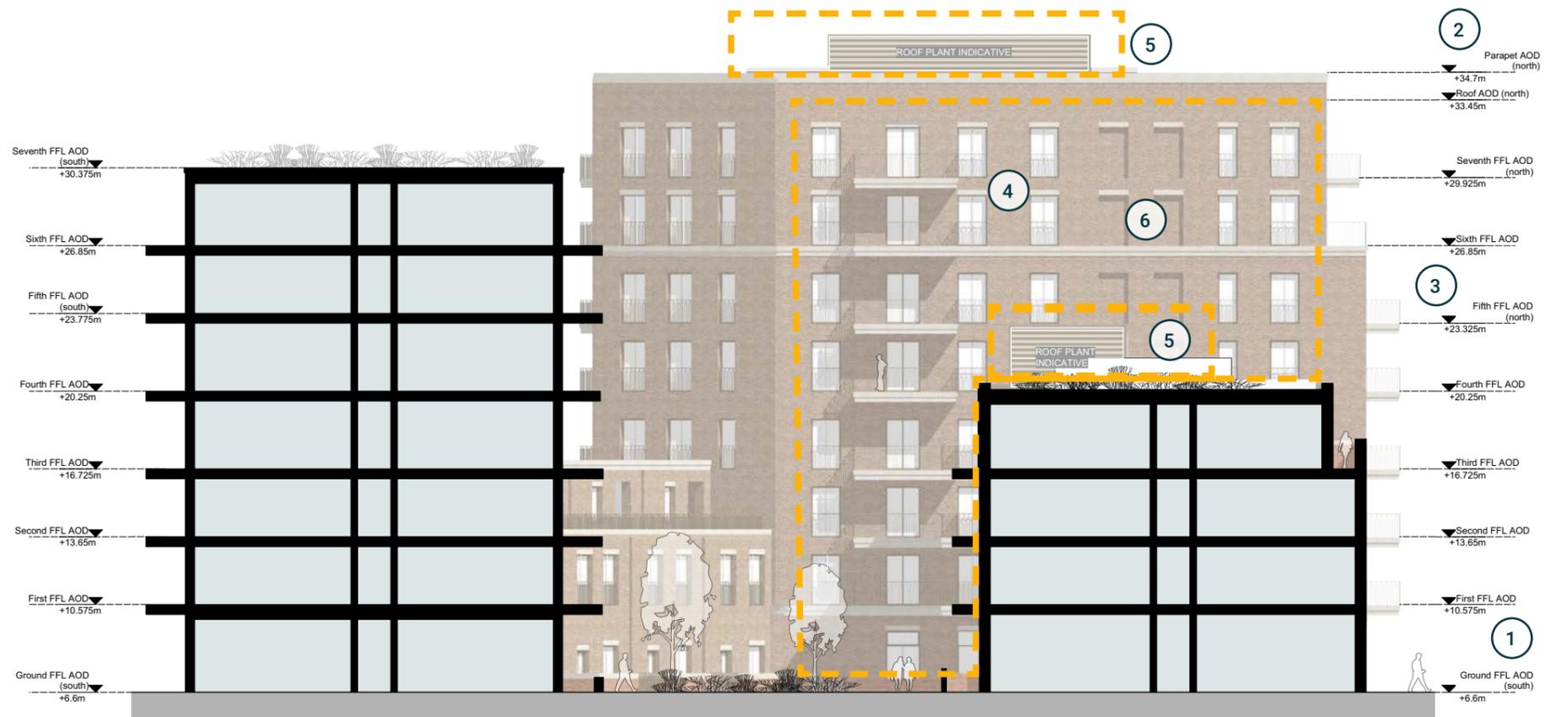
- 1 Ground floor FFL (south) increased by 30cm from +6.3 to +6.6
- 2 Maximum parapet height remains the same as the original application drawings (+35.15)
- 3 Floor to floor heights (1st to 7th floors) each reduced by 7.5cm
- 4 Windows on A1 south elevation have been repositioned to suit internal layout changes
- 5 Roof plant arrangement amended to reflect current MEP advice.
- 6 Two tax windows have been introduced where windows cannot be located to improve the elevation



Building A internal courtyard south elevation - Previously presented to the Mayor in October 2020



Key plan



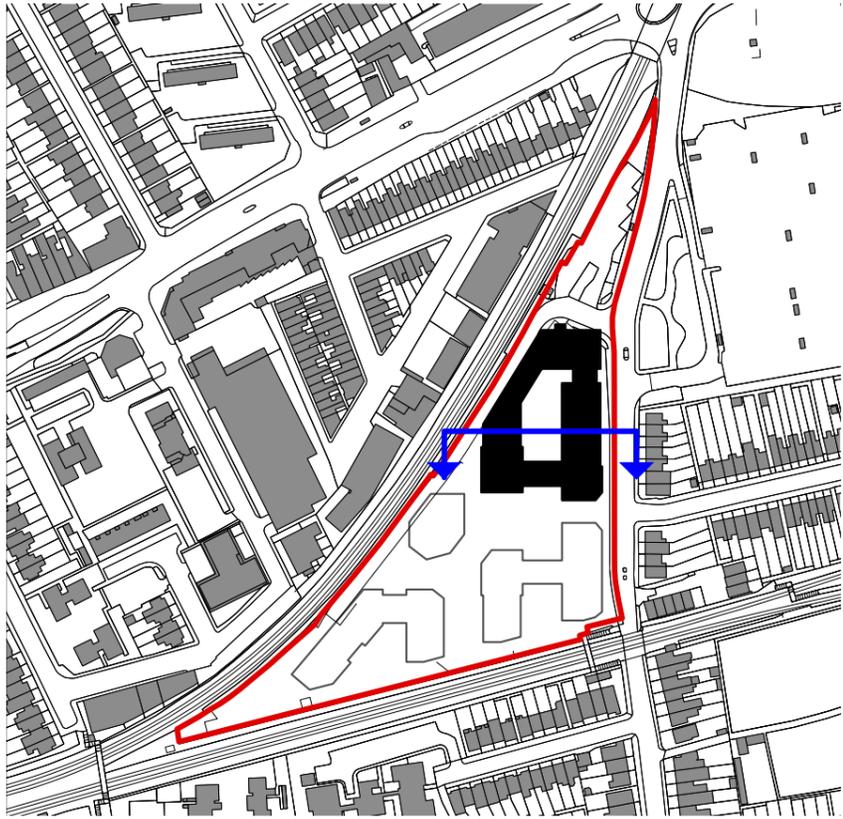
Building A internal courtyard south elevation - Latest proposal

Building A internal courtyard north elevation current proposed changes

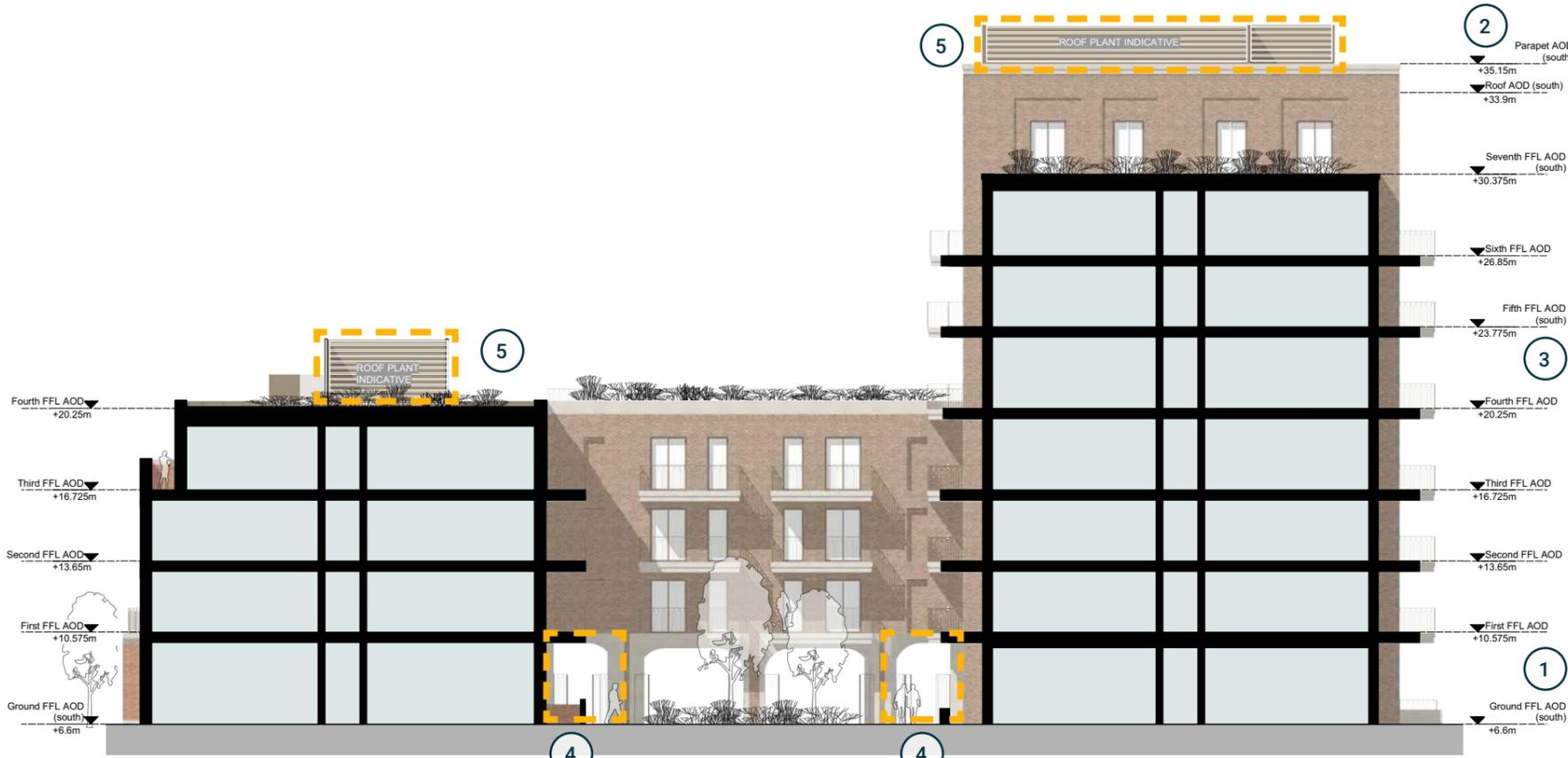
- 1 Ground floor FFL (south) increased by 30cm from +6.3 to +6.6
- 2 Maximum parapet height remains the same as the original application drawings (+35.15)
- 3 Floor to floor heights (1st to 7th floors) each reduced by 7.5cm
- 4 Residential lobbies amended to external under-crofts with gates
- 5 Roof plant arrangement amended to reflect current MEP advice.



Building A internal courtyard north elevation - Previously presented to the Mayor in October 2020



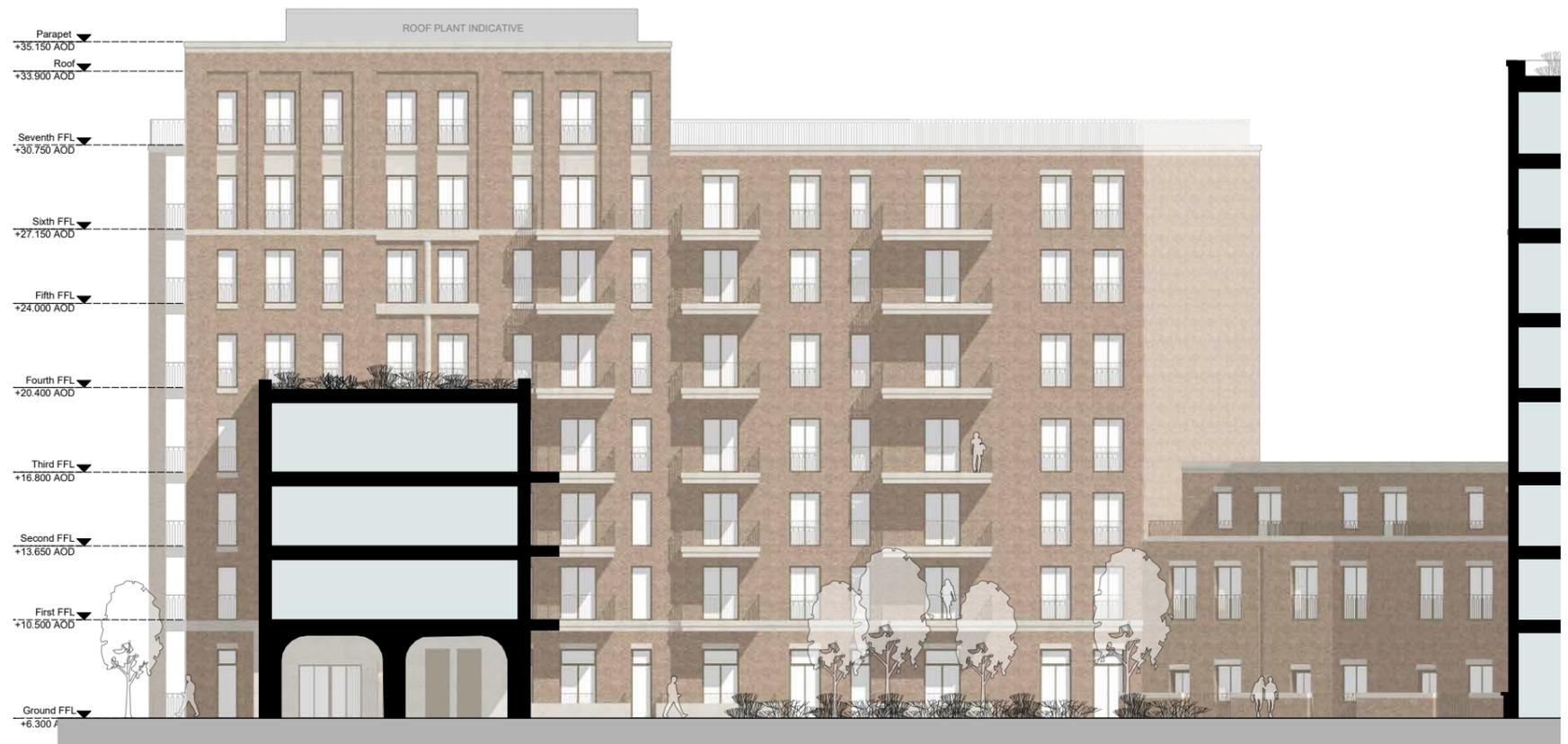
Key plan



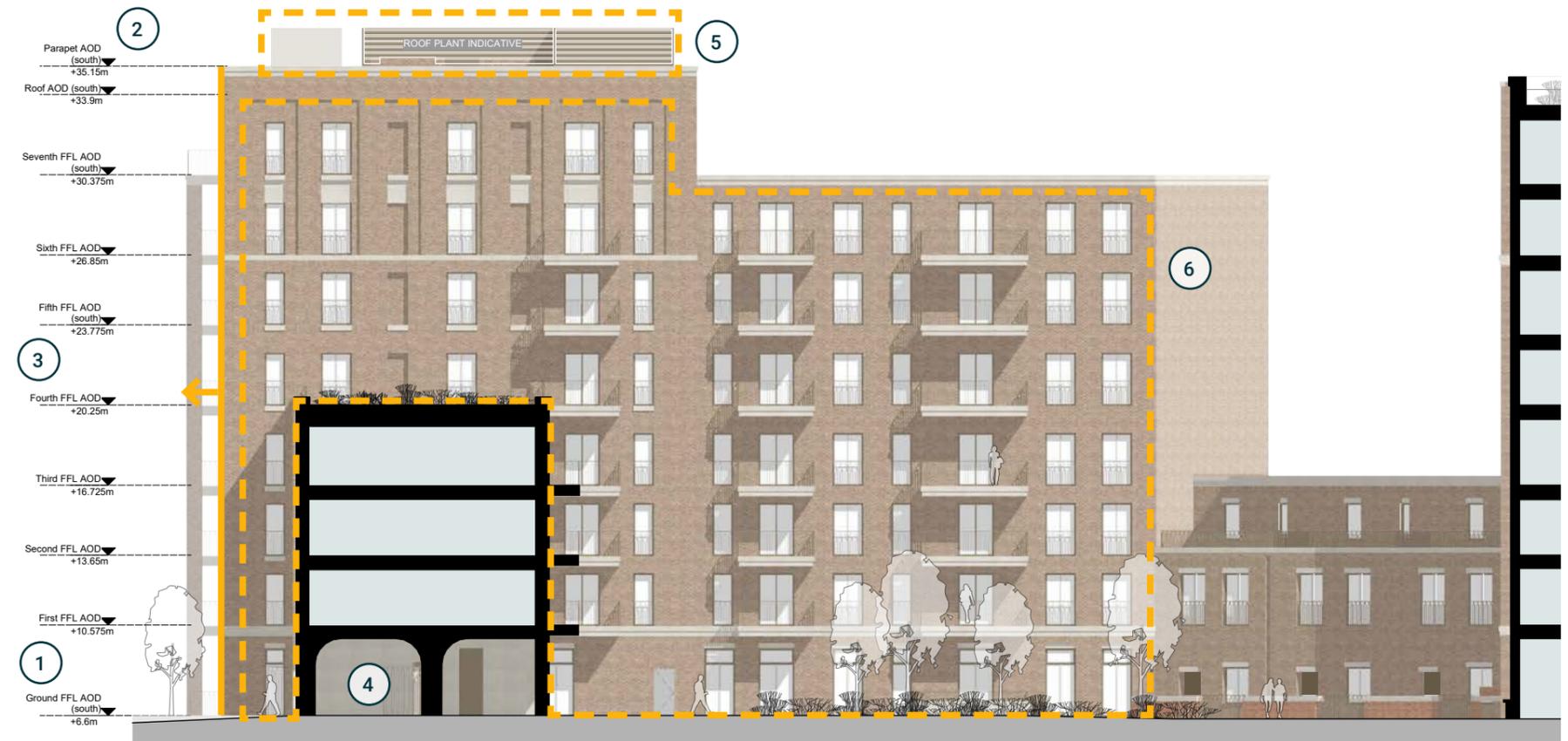
Building A internal courtyard north elevation - Latest proposal

Building A internal courtyard east elevation current proposed changes

- 1 Ground floor FFL (south) increased by 30cm from +6.3 to +6.6
- 2 Maximum parapet height remains the same as the original application drawings (+35.15)
- 3 Floor to floor heights (1st to 7th floors) each reduced by 7.5cm
- 4 Residential lobby amended to external under-croft, and double windows into lobby removed
- 5 Roof plant arrangement amended to reflect current MEP advice.
- 6 Arrangement of windows on east elevation adjusted to suit internal layout



Building A internal courtyard east elevation - Previously presented to the Mayor in October 2020



Building A internal courtyard east elevation - Latest proposal



Key plan