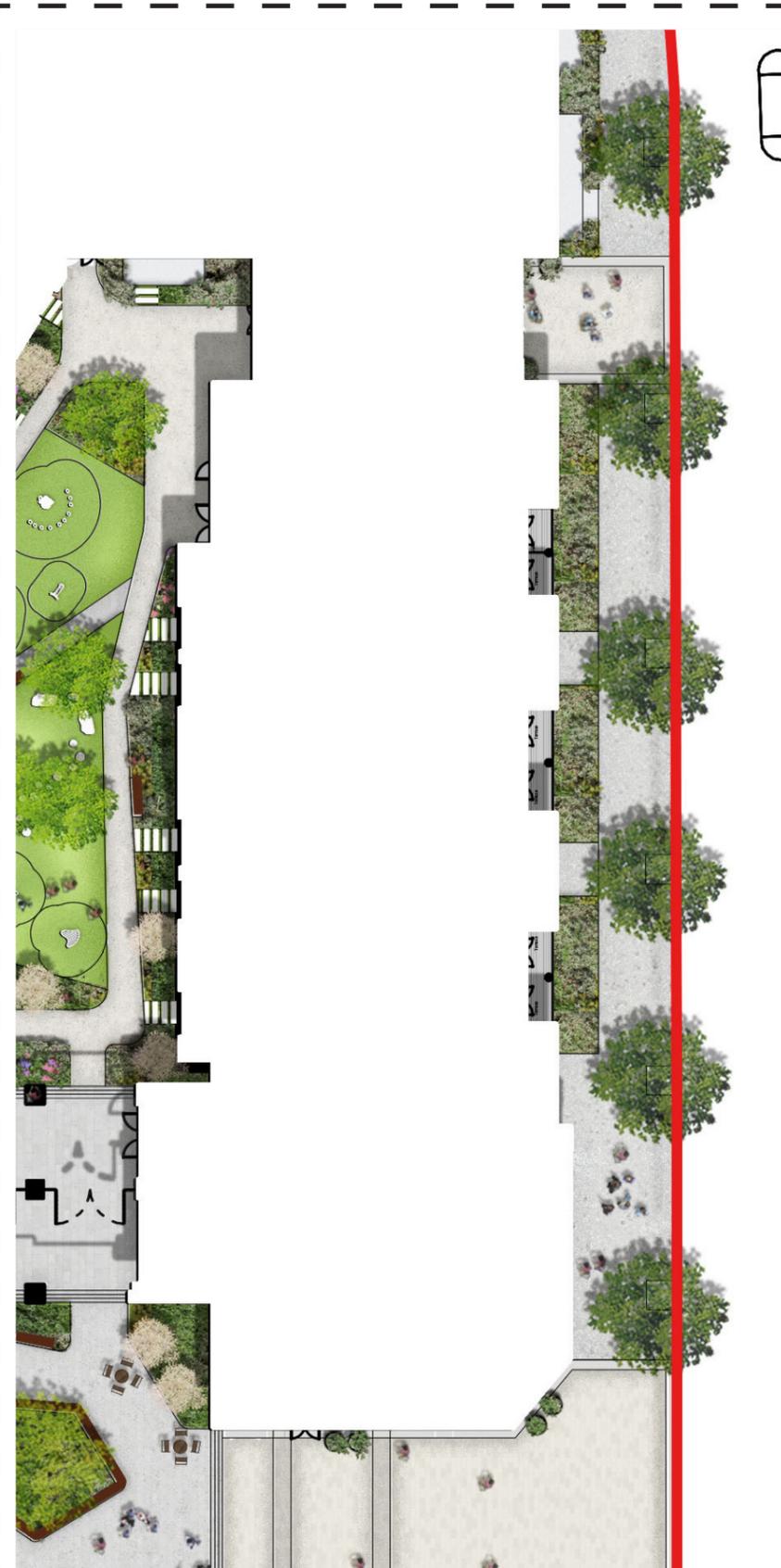


LANDSCAPE MASTERPLAN - AMENDED PROPOSED DEVELOPMENT

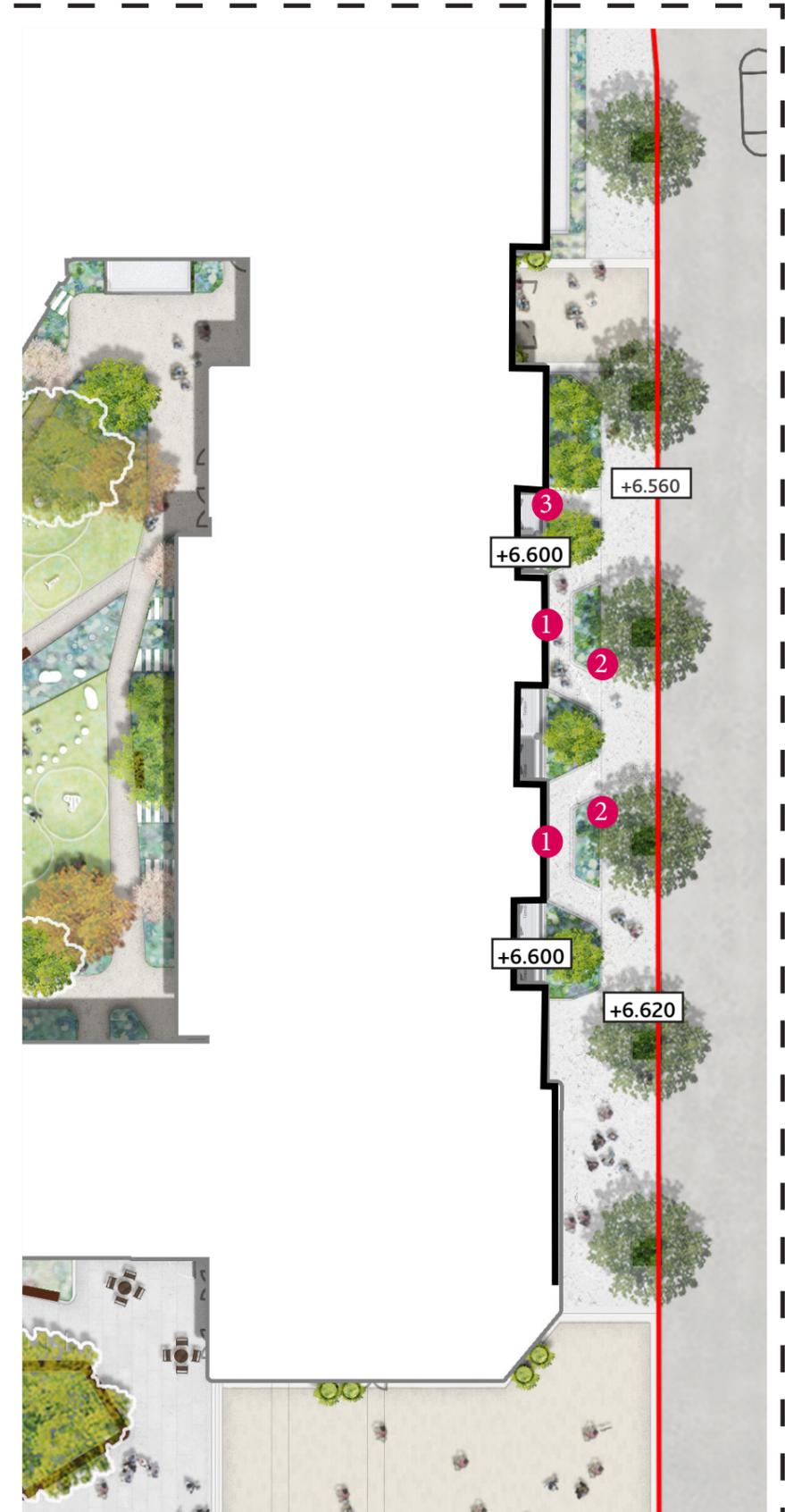


KEY

- 1. Paths angled slightly to accommodate level change
- 2. Staggered planting introduced to optimise greening and provide additional privacy to entrances
- 3. Maintenance access route provided

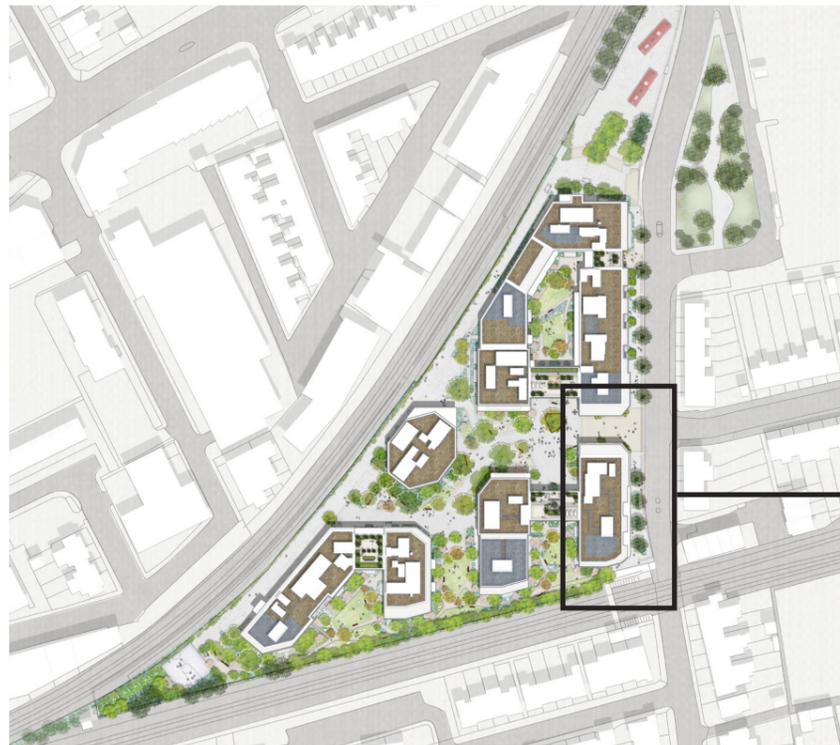


DETAIL OF BLOCK A STREETScape- NOVEMBER 2021 AMENDMENTS

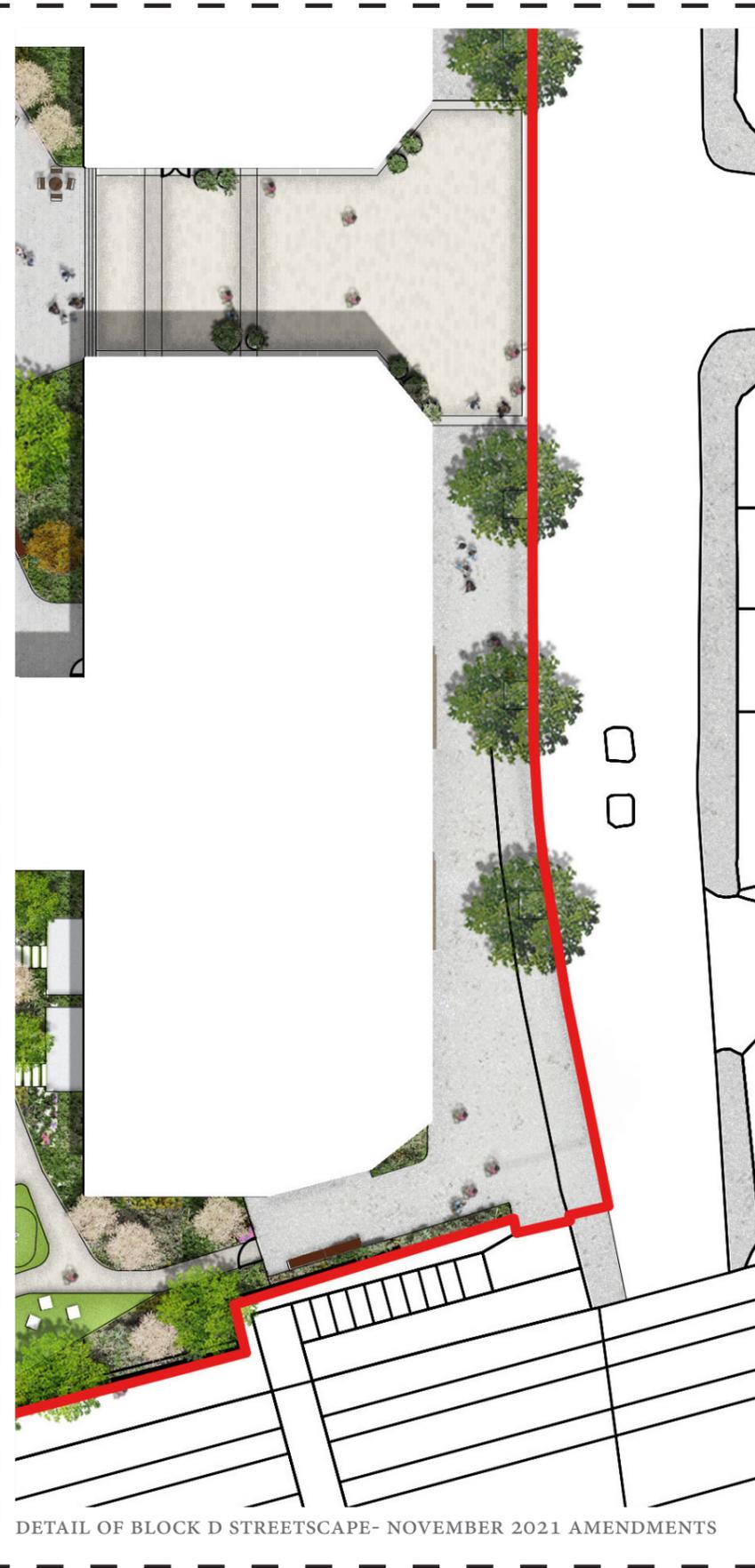


DETAIL OF BLOCK A STREETScape- AMENDED SCHEME

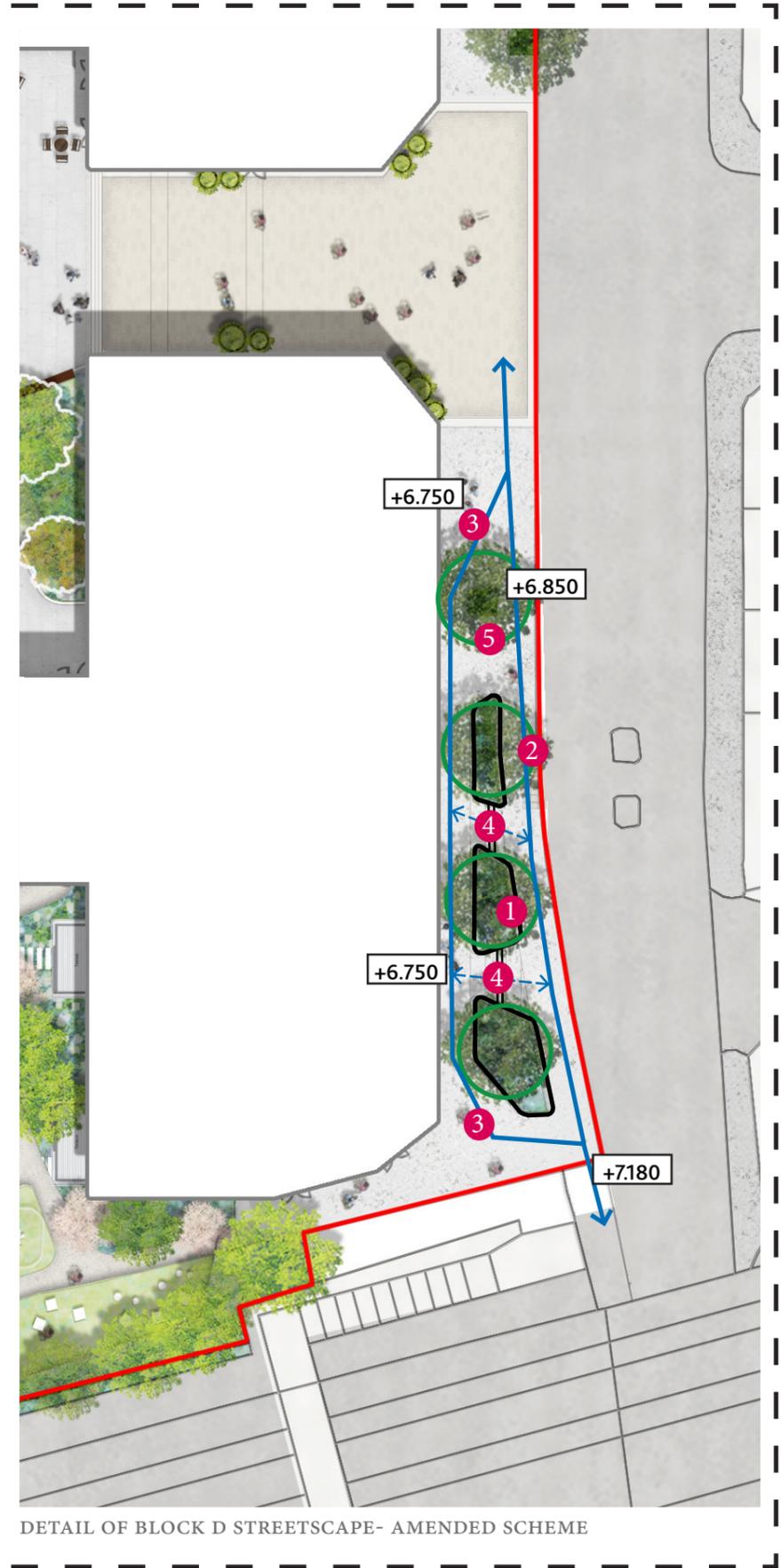
1.8 Manor Road Streetscape - Block D



LANDSCAPE MASTERPLAN - AMENDED PROPOSED DEVELOPMENT



DETAIL OF BLOCK D STREETScape- NOVEMBER 2021 AMENDMENTS

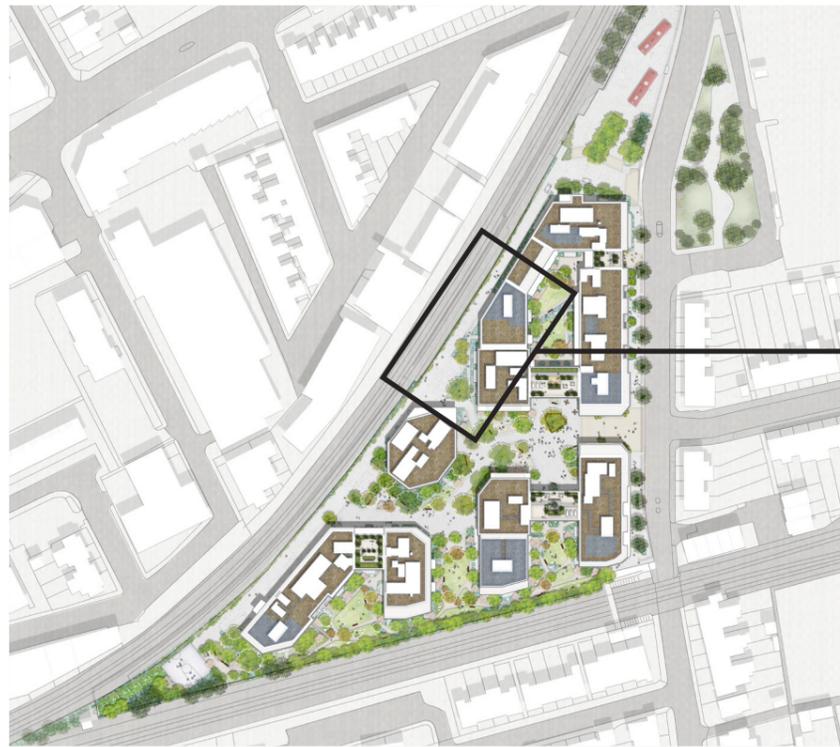


DETAIL OF BLOCK D STREETScape- AMENDED SCHEME



KEY

1. Planters introduced within public realm (beyond adopted footway) to green streetscape, provide a buffer to traffic and mitigate level change
2. Trees moved into planting to provide additional root volume and increase effective footway width
3. Level access routes from north and south
4. Stepped routes increase permeability to frontage
5. Additional tree to increase greening of public realm

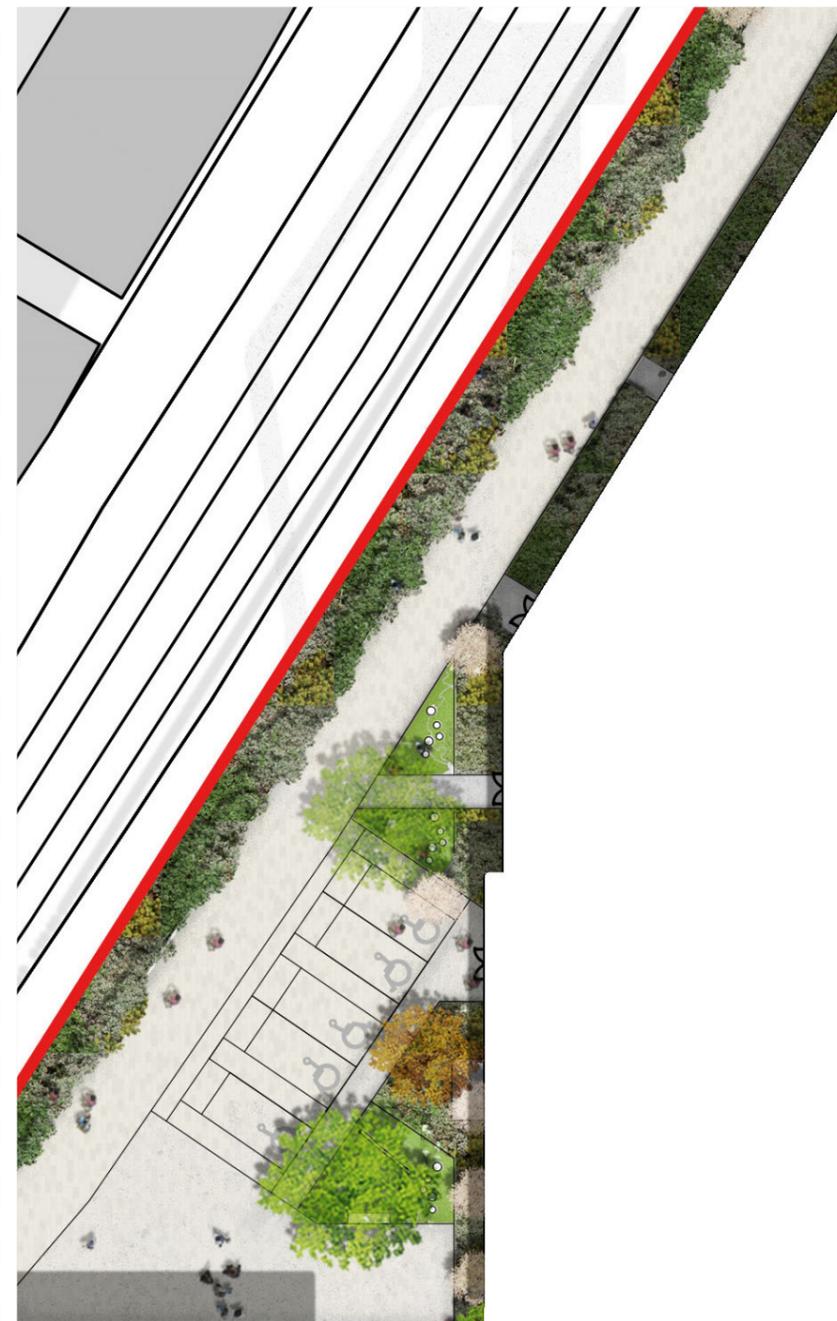


LANDSCAPE MASTERPLAN - AMENDED PROPOSED DEVELOPMENT

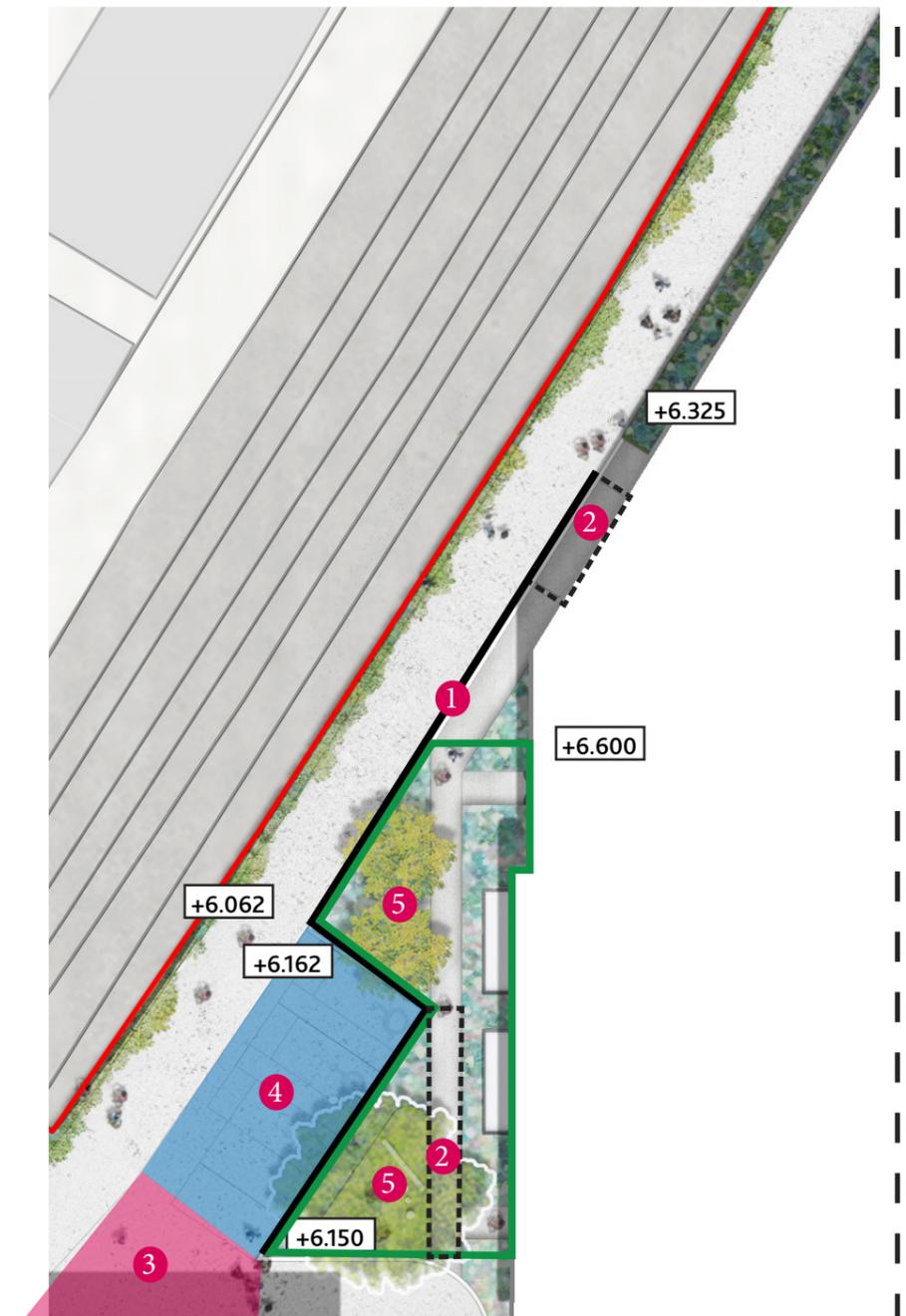


KEY

1. Low retaining wall (400mm height) and railing to mitigate level change between building FFL and lowered access road
2. Sloped routes (max 1:21 gradient) allowing access to bin stores / cycle stores
3. Refuse collection point relocated immediately to north of Block B with turning between Blocks B and C
4. Parking bays shifted south
5. Additional soft landscaping and adjusted path layout. Play space retained as previous layout



DETAIL OF BLOCK A STREETScape- NOVEMBER 2021 AMENDMENTS



DETAIL OF BLOCK A STREETScape- AMENDED SCHEME

## 1.10 Urban Greening Factor

Alongside the changes required as described above, the design team have undertaken a thorough review of proposed soft landscape in order to optimise urban greening in response to GLA officers comments. The score has been recalculated in accordance with the latest GLA guidance.

A number of strategies have been employed to optimise the score:

- Optimization of areas of amenity planting on the ground floor courtyards and public realm
- Change of perimeter vegetation along the southern and north western boundaries from ornamental planting to a native hedgerow mix
- Additional tree planting within courtyards in soft landscaped areas where trees will be able to achieve sufficient root volume

The result as shown opposite is an increase in the UGF score from 0.31 to 0.36 as illustrated in the tables opposite.

Although this does not achieve the 0.40 target for predominantly residential development it should be noted that significant parts of the site within the bus waiting area and along the Manor Road frontage are required to be hard landscaped due to TfL / Highways constraints. The London Plan UGF guidance states that:

*“Where land is not in the ownership/ control of applicant but is within the red line boundary (such as adopted roads), integration of acceptable surface cover types should be sought where possible. Where this is not possible, greening across the wider site and building design should be maximised towards meeting the relevant UGF target.”*

The team have sought to optimise greening as far as possible in areas of the site that are not constrained by highways requirements. To test this the UGF score has also been calculated with the bus waiting area and Manor Road footway excluded from the net site area.

This increases the UGF score to 0.41 to exceed the London Plan target, demonstrating that greening across the wider site has been maximised towards meeting the target as per policy guidance.

	Category	Factor	Area m2	Score
	Intensive green roof or vegetation over structure	0.8	175.3	140.24
	Standard trees with soil volume two thirds of the projected canopy area	0.8	858.5	686.8
	Extensive green roof with substrate minimum settled depth of 80mm	0.7	2133	1493.1
	Flower-rich perennial planting	0.7	2920	2044
	Hedges	0.6	47	28.2
	Green wall – climbers rooted in soil	0.6	456	273.6
	Amenity grassland	0.4	1288	515.2
	Permeable paving	0.1	3508	350.8
	Sealed surfaces	0	Remainder	0
	TOTAL SCORE		5531.94	
	SITE AREA		17647 m2	
	UGF		0.31	

UGF SCORE - NOVEMBER 2021 SCHEME

	Category	Factor	Area m2	Score
	Semi-natural vegetation created on site.	1.0	937	937
	Intensive green roof or vegetation over structure	0.8	152	121.4
	Standard trees with soil volume two thirds of the projected canopy area	0.8	1684	1347.7
	Extensive green roof with substrate minimum settled depth of 80mm	0.7	2023	1415.8
	Flower-rich perennial planting	0.7	2357	1650.0
	Green wall – climbers rooted in soil	0.6	570	342
	Amenity grassland	0.4	851	340.4
	Permeable paving	0.1	2170	217
	Sealed surfaces	0	Remainder	0
	TOTAL SCORE		6371.4	
	SITE AREA		17647 m2	
	UGF		0.36	
	BUS / HIGHWAYS AREA		1997 m2	
	UGF EXC. ABOVE		0.41	

UGF SCORE - AMENDED SCHEME

Category	
Intensive green roof or vegetation over structure	
Standard trees with soil volume two thirds of the projected canopy area	
Extensive green roof with substrate minimum settled depth of 80mm	
Flower-rich perennial planting	
Green wall - climbers rooted in soil	
Amenity grassland	
Permeable paving	
Sealed surfaces	



URBAN GREENING FACTOR PLAN - AMENDED SCHEME



## 1.11 Play Strategy

The changes described in this document have required minor changes to some play spaces however any impacts have been mitigated through tweaks to layout to ensure play provision meets the GLA requirement for 0-4 and 5-11 age groups. As with the previous scheme, play for older children will be provided by off site contribution.

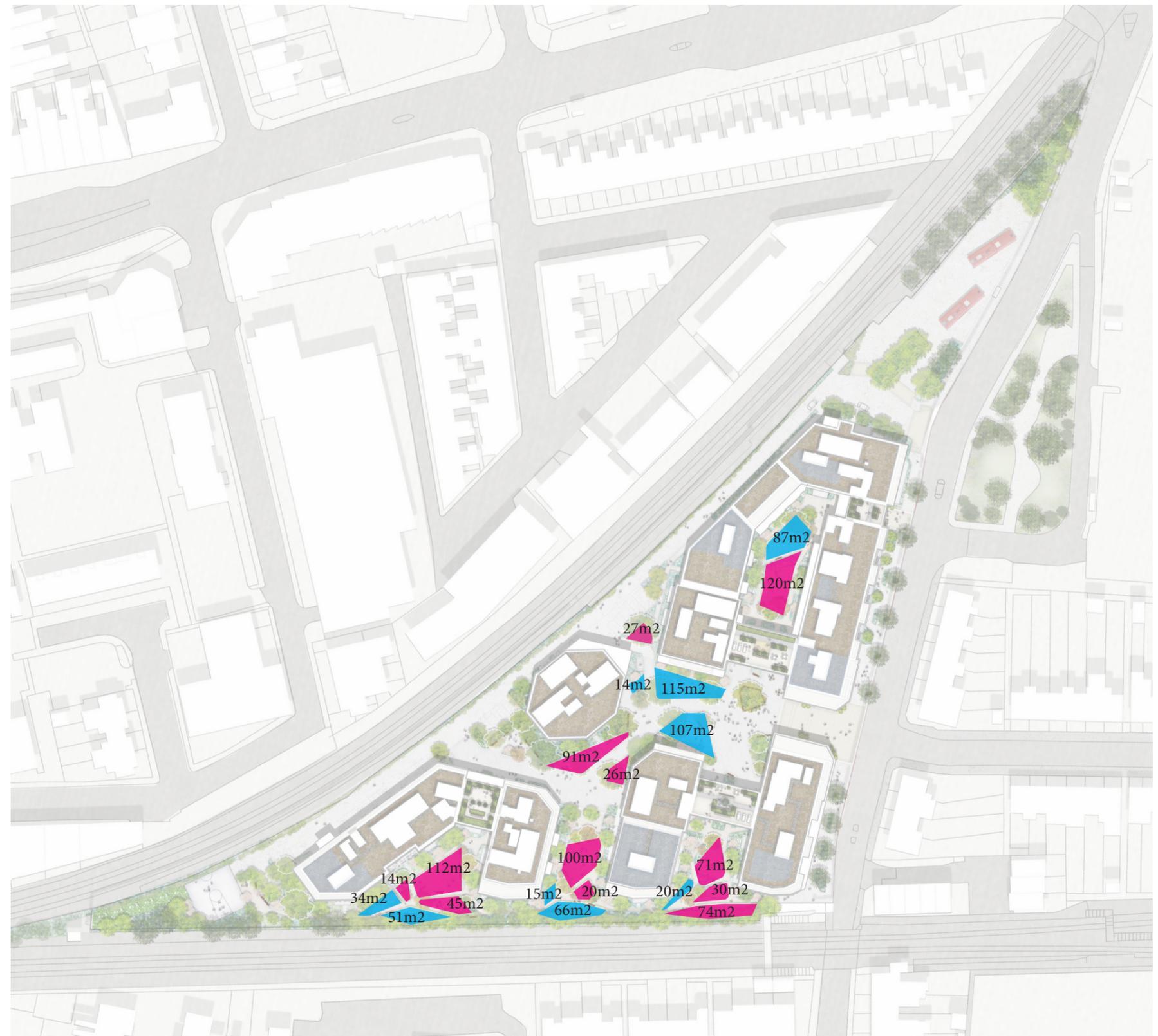
The design and character of the proposed play spaces remains the same in principle as the November 2021 scheme.

KEY			
	Age Group	Required	Proposed
	0-4	728 m <sup>2</sup>	721 m <sup>2</sup>
	5-11	506 m <sup>2</sup>	509 m <sup>2</sup>
	12-15	160 m <sup>2</sup>	offsite
	16-17	85 m <sup>2</sup>	offsite
	TOTAL	1479 m <sup>2</sup>	1234 m <sup>2</sup>

### PLAY REQUIREMENT VS. PROVISION - JULY 2020

KEY			
	Age Group	Required	Proposed
<span style="color: magenta;">■</span>	0-4	728 m <sup>2</sup>	730 m <sup>2</sup>
<span style="color: cyan;">■</span>	5-11	506 m <sup>2</sup>	509 m <sup>2</sup>
	12-15	160 m <sup>2</sup>	offsite
	16-17	85 m <sup>2</sup>	offsite
	TOTAL	1479 m <sup>2</sup>	1237 m <sup>2</sup>

### PLAY REQUIREMENT VS. PROVISION - AMENDED SCHEME



PLAY STRATEGY PLAN- AMENDED SCHEME



1.12 SUDS Strategy

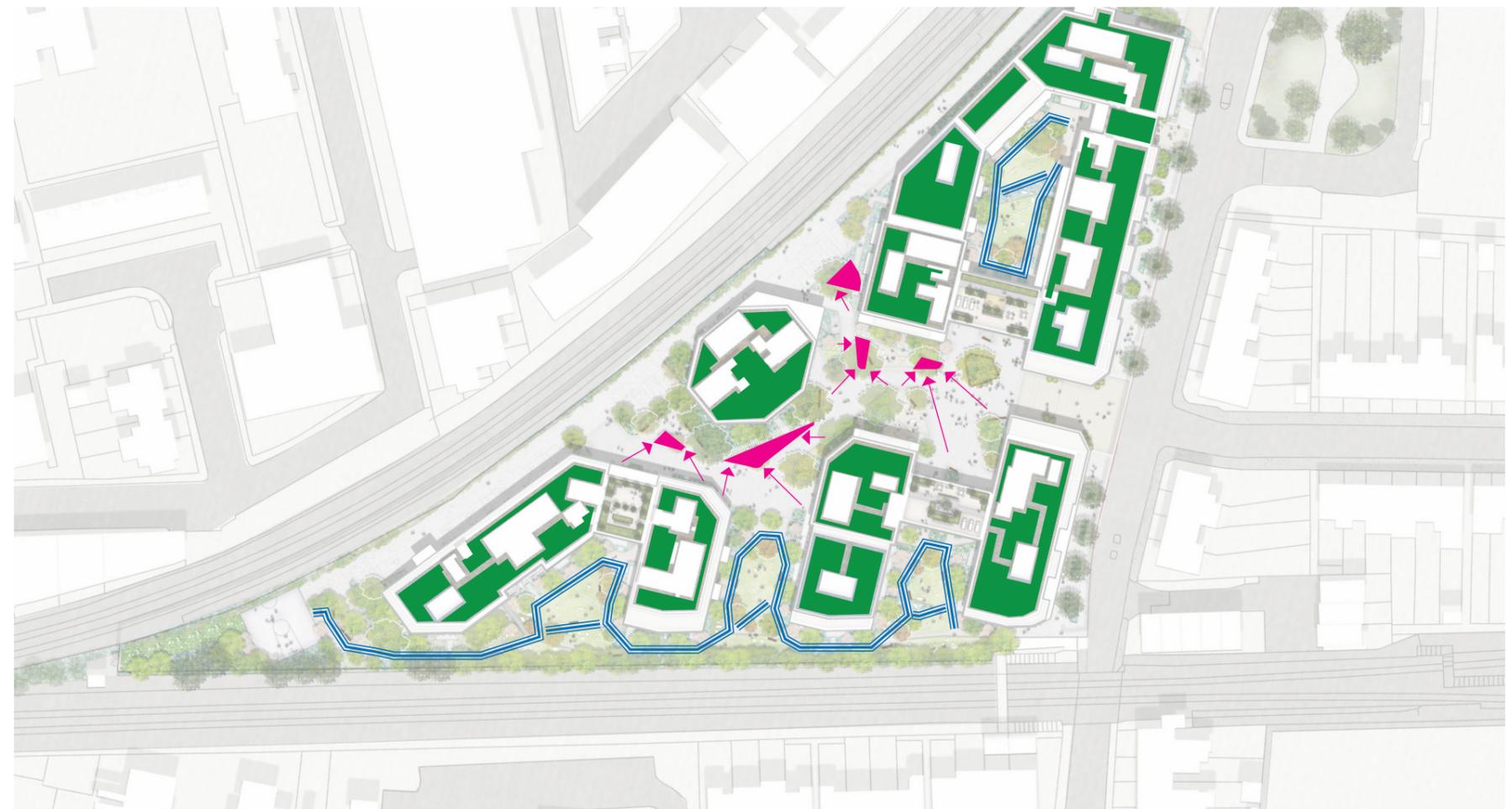
As a result of ongoing consultation with the GLA, the landscape scheme has been developed in coordination with the drainage engineers to incorporate additional SUDS measures.

The SUDS strategy is illustrated opposite and includes the following measures:

- Biodiverse roofs with drainage layer will intercept and slow flow of rainwater.
- Rain garden areas in public realm - shallow depressions at low points within the site that will take water from adjacent hard surfaces during heavy rainfall events and allow natural infiltration and evapotranspiration. These can combine effectively with naturalistic play features set within planting that is adapted to drought and occasional inundation conditions. Note, rain gardens will need to be equipped with overflows connected to surface water drainage system due to site soil conditions.
- Levels within courtyards have been reviewed to allow the majority of hard surfacing to drain directly into planting beds.



RAIN GARDENS COMBINED WITH PLAY TRAILS



SUDS STRATEGY PLAN- AMENDED SCHEME



LEGEND	
<span style="color: green;">■</span>	Biodiverse roof
<span style="color: magenta;">■</span>	Rain gardens
<span style="color: blue;">■</span>	Courtyard paths draining to planting