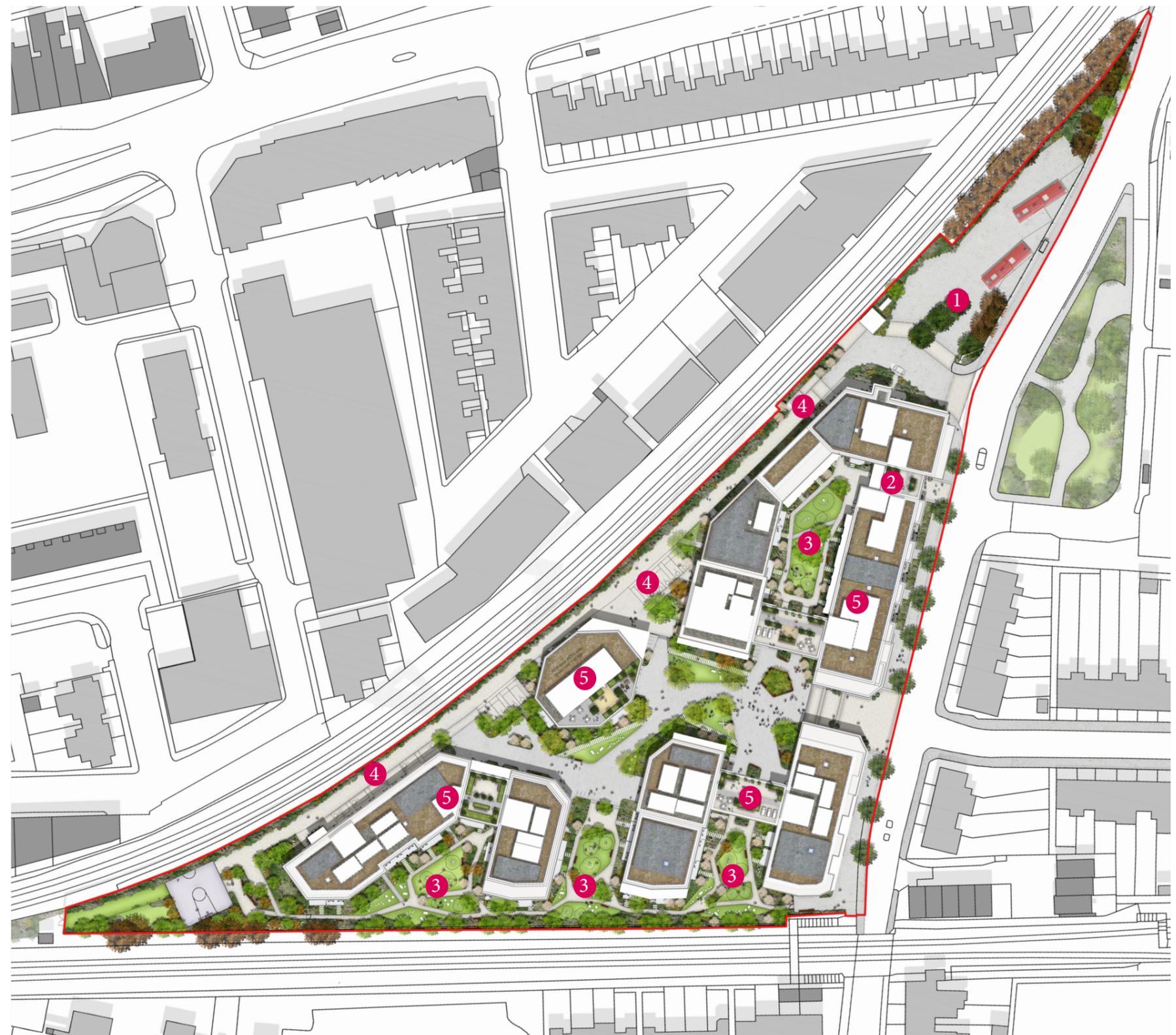


### 1.3 Design Evolution - July 2020 Amendments

The team continued to develop the design following the November 2019 Amendments in response to continued consultation with the GLA, TFL and with input from the MDA resulting in submission of further amendments in July 2020. A detailed description of design changes to landscape as part of these amendments can be found within the addendum report submitted in July 2020 (Gillespies document P11559-00-001-707-01).

The following is a summary of key changes from the November 2019 Amendments included in the July 2020 Amendments:

1. Block E removed from proposed scheme. TFL bus layover area retained to north of site with landscape improvements.
2. Open passageway from Manor Road to Block A courtyard removed and replaced with enclosed lobby.
3. Courtyards rationalised in response to MDA comments.
4. Parking provision increased to 14no. DDA bays and 2no. car club bays.
5. General realignment of landscape to revised Assael block plans and coordination of roofscape with rooftop plant areas.
6. Play space requirements recalculated and play areas adjusted accordingly (general - not labelled on plan).



LANDSCAPE MASTERPLAN - AUGUST 2020 AMENDMENTS



#### 1.4 Summary of Changes - November 2021 / May 2023 Amendments

Subsequent to the approval of the July 2020 scheme by the Mayor, a number of additional amendments have been required in 2021 - 2023 as a result of legal review of the ownership boundary, additional flood mitigation requirements and other technical considerations.

Following the Government's announcement in July 2023 confirming the intention to mandate second staircases in new residential buildings above 18 metres, the proposals have been revised to ensure all buildings above 18 metres meet these standards and present the highest standard of fire safety. This has been accommodated through internal changes, including improving the efficiencies of circulation space and reductions in unit sizes, and minor external changes, including marginal increases in building footprint. The full extent of architectural changes are set out in the accompanying DAS Addendum prepared by Assael, but are summarised as follows:

- Block A, Core A: a 450mm (or 45cm) extension in footprint to the south;
- Block A, Core AD: a 225mm (or 22.5cm) extension in footprint to the south;
- Block B: : a 112.5mm (or 11.25cm) extension in footprint to the south and a 112.5mm (or 11.25cm) extension to the north;
- Block C, Core A: a 225mm (or 22.5cm) extension in footprint to the north and north-east and a 112.5mm (or 11.25cm) extension to the east;
- Block C, Core C: an infill of the recessed part of the façade to the south-east;

- Block D, Core B: a 225mm (or 22.5cm) extension to the north and north-west.

The extensions in footprint have been accommodated to facades facing into the central landscaped area of the Site. There are no extensions in footprint proposed to the façades facing the site boundaries and, as such, there are no reductions in the distance of the proposed buildings to neighbouring residential receptors.

These changes have been coordinated with the design team alongside a detailed review of site levels to incorporate sensitively into the landscape layout. At the same time the team has sought to address GLA officers concerns in relation to Urban Greening Factor (UGF) by optimising planting on site. This document describes all changes since the approved July 2020 scheme.