



RICHMOND GREEN

PLANNING FIRE STRATEGY STATEMENT

Apartments 1-4 Hunters Lodge, Friars Lane, Richmond, TW9 1NX

March 2024



Introduction

This document is prepared by Colin Deehan who has 40 years of experience in the building industry and has worked in the fields of Building Control, Residential Fire Sprinklers, Construction, Commercial Fit-out and Development.

This statement is set out in-line with policy as set-out in the London plan Guidance Policy D12 (A) March 2021.

Proposal

This site is on a private road accessed by Friars Lane. The proposal is the demolition of an existing flat and four garages and the erection of a new block of four apartments. There will be four apartments with apartments on Ground Floor and 2 no. apartments on first floor / second floor.

Each apartment will have its own entrance. Two number with direct front door and two entered from a lobby.

The lower apartments will have front doors on the main frontage and will have their own gardens to the front as well. The height to ridge from ground will be approximately 8m



RICHMOND GREEN

Site Layout Plan – (Highlighting Fire Appliance)

See Attached

Exit Route/ Fire Strategy Plan

See Attached



RICHMOND GREEN

Fire Appliances

Fire and rescue service pumping appliances are to be sited in Hunters Court to the side of the property (see attached plans)

Assembly Plans

A large evacuation assembly point is not necessary for this site. The occupancy will be approximately 16 persons. The assembly point is to be at the opposite side on Friars Lane.

During construction the number of people working on the site will be approximately 12-16 at its peak. The same assembly point will be utilized (see fire strategy plan).

Construction

The building will be a ground floor slab. There will be a steel structure to form the main structure of the building including main roof frame.

There will be a prestressed concrete beam and slab construction to form first floor slab. The second floor will be joisted, with fire rated plasterboard and plastered.

The roof infill between the steelwork will be timber joists with slate tile covering.

The walls above ground floor will be metal framed, insulation and brick clad, and will be non-flammable. Metal will be clad with fire rated plasterboard.



RICHMOND GREEN

Active Safety Measures

The apartments will all be fitted with a residential fire sprinkler system installed in accordance with BS925:2014

There will also be mains operated smoke and heat detectors to all apartments.

All relevant materials used within the apartments will comply with Regulation 7 of the Building Regulations

All internal doors will be FD30 rated

All ceilings will be plasterboard and skimmed

All external walls will be clad with plasterboard and skimmed

All external walls will have a 60 minute fire stop between floors and acoustic treatment.

All external windows will be FENSA standard and will have unobstructed openable area of 0.33m, have a minimal height of 450m and a minimum width of 450mm.

The bottom of the openable area is a maximum of 1100mm above the floor.

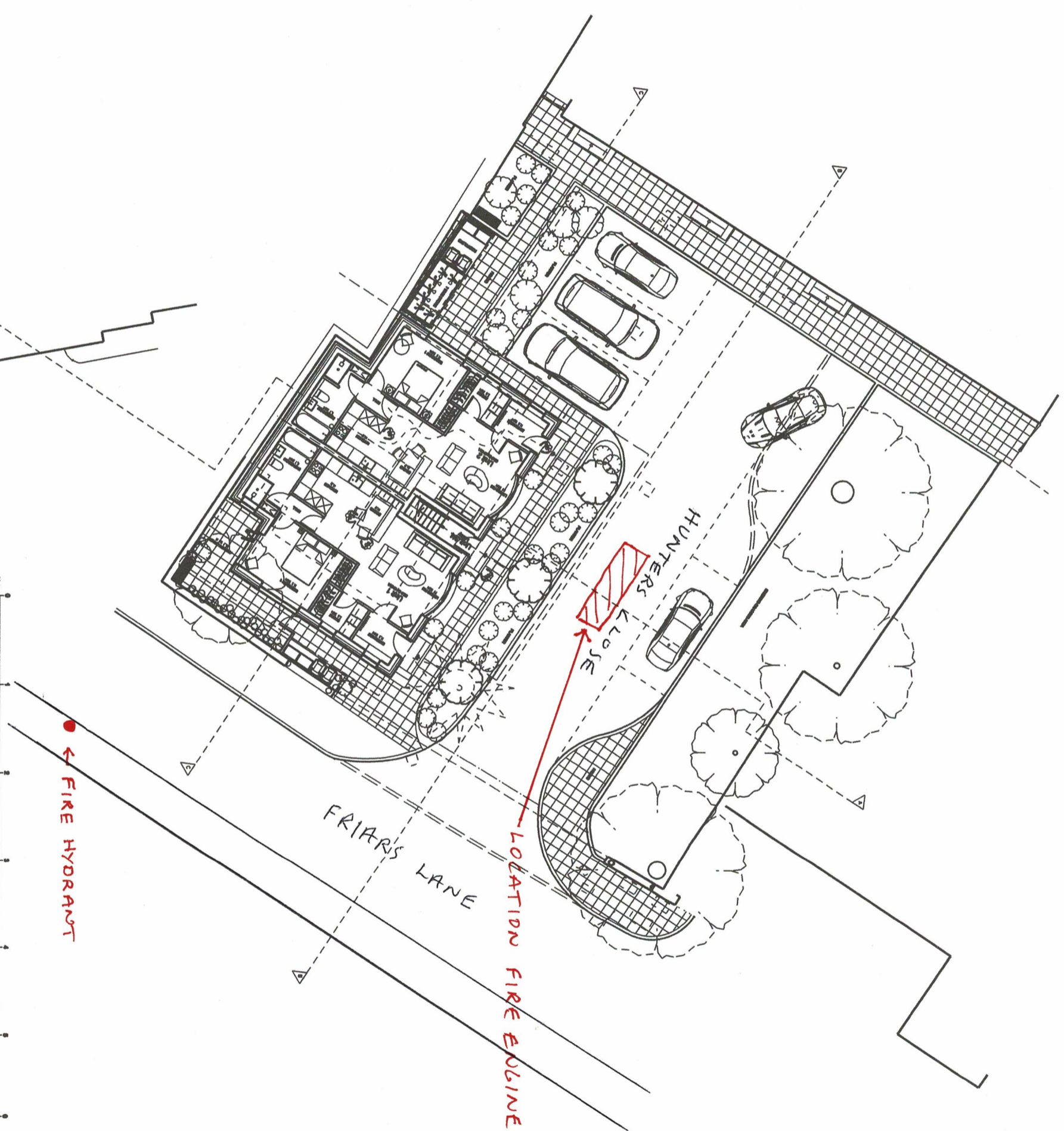
There is a fire hydrant located within 15m of the building on Friars Lane



RICHMOND GREEN

Safety Measures during Construction

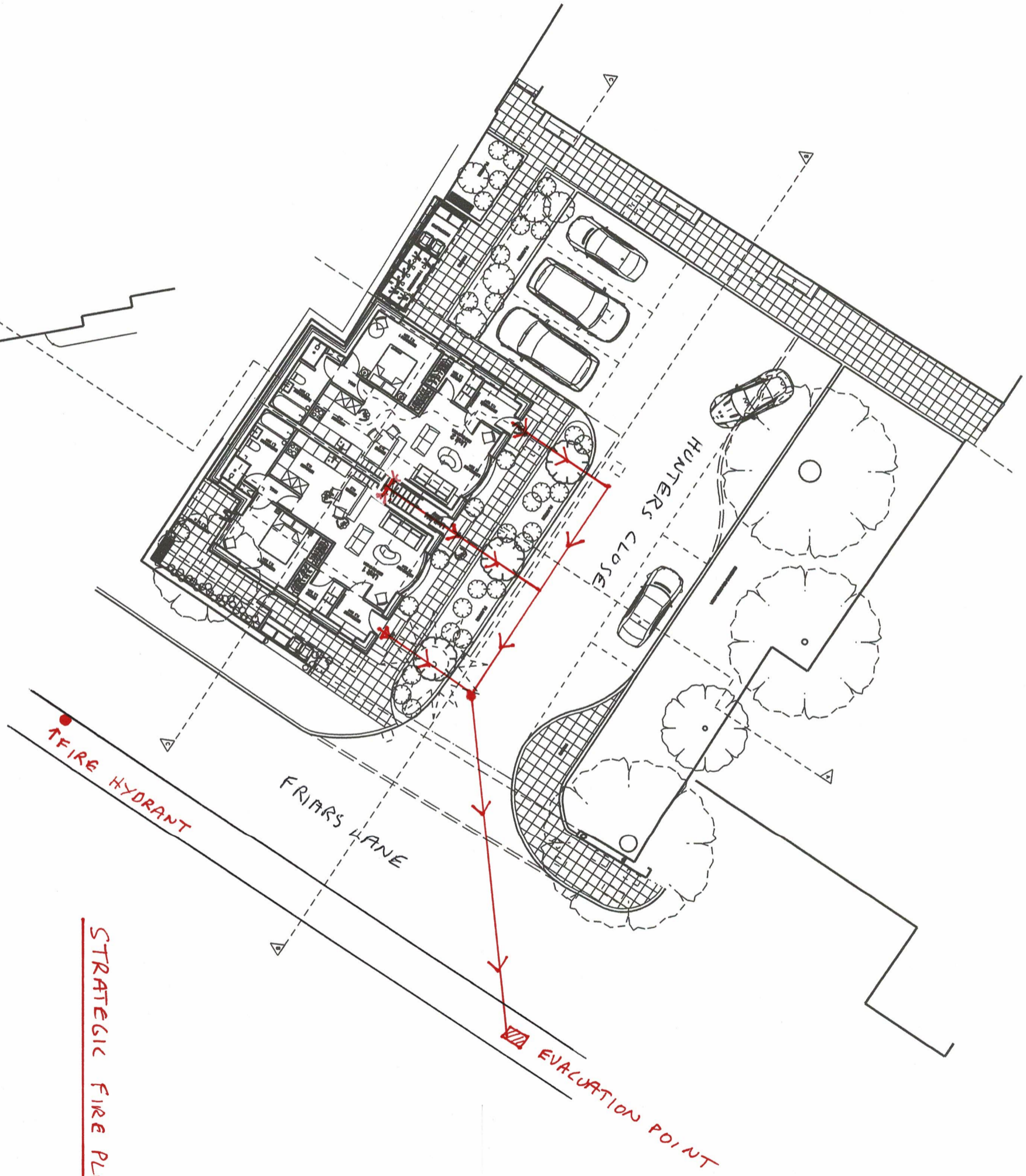
- Fire extinguishers will be positioned on every floor level – water and powder
- CDM documents dealing with fire safety will be on site and all workers on site will undergo fire-induction sessions
- Health and safety visits will be carried out at regular intervals by our in-house consultant



Notes: The General contractor is responsible for the verification of all dimensions on site & shall inform the contract administrator of any discrepancies. Do not scale from this drawing. Use figured dimension only. Existing foundations, inlets and wall to be exposed if req'd. by Building Control for assessment & upgrading if found inadequate. Unless stated otherwise these drawings represent design intent only & approved assembly drawings will be required from the Trade Contractor prior to any work and/or procurement being undertaken. If in doubt, ask.
 Any images shown are for illustrative purposes only.

- Revisions
- / - 240109 - Issued to client via email
 - A - 240125 - Issued to LBRUT via email
 - B - 240213 - Issued to LBRUT via email
 - C - 240216 - Issued to client/FJ via email
 - D - 240301 - Issued to client/FJ/LBRUT via email

LOCATION Hunters Lodge Friars Lane Richmond		CLIENT Mr C Deehan		DRAWING TITLE Proposed Site Plan	
JOB DESCRIPTION 4 New Build Apartments		SCALE 1:200 @ A3		STATUS Planning	
JOB No. 2561		DRAWING No. 005		SIZE A3	
				REV D	



STRATEGIC FIRE PLAN



Notes: The General contractor is responsible for the verification of all dimensions on site & shall inform the contract administrator of any discrepancies. Do not scale from this drawing. Use figured dimension only. Existing foundations, inlets and wall to be exposed if req'd by Building Control for assessment & upgrading if found inadequate. Unless stated otherwise these drawings represent design intent only & approved assembly drawings will be required from the Trade Contractor prior to any work and/or procurement being undertaken. If in doubt, ask.
 Any images shown are for illustrative purposes only.

- Revisions
- / - 240109 - Issued to client via email
 - A - 240125 - Issued to LBRUT via email
 - B - 240213 - Issued to LBRUT via email
 - C - 240216 - Issued to client/FJ via email
 - D - 240301 - Issued to client/FJ/LBRUT via email

LOCATION Hunters Lodge Friars Lane Richmond	CLIENT Mr C Deehan	DRAWING TITLE Proposed Site Plan	JOB DESCRIPTION 4 New Build Apartments
SCALE 1:200 @ A3	STATUS Planning	20th 2561	SIZE A3
			005 D