

# DESIGN AND ACCESS STATEMENT

Prepared  
By...



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## INTRODUCTION

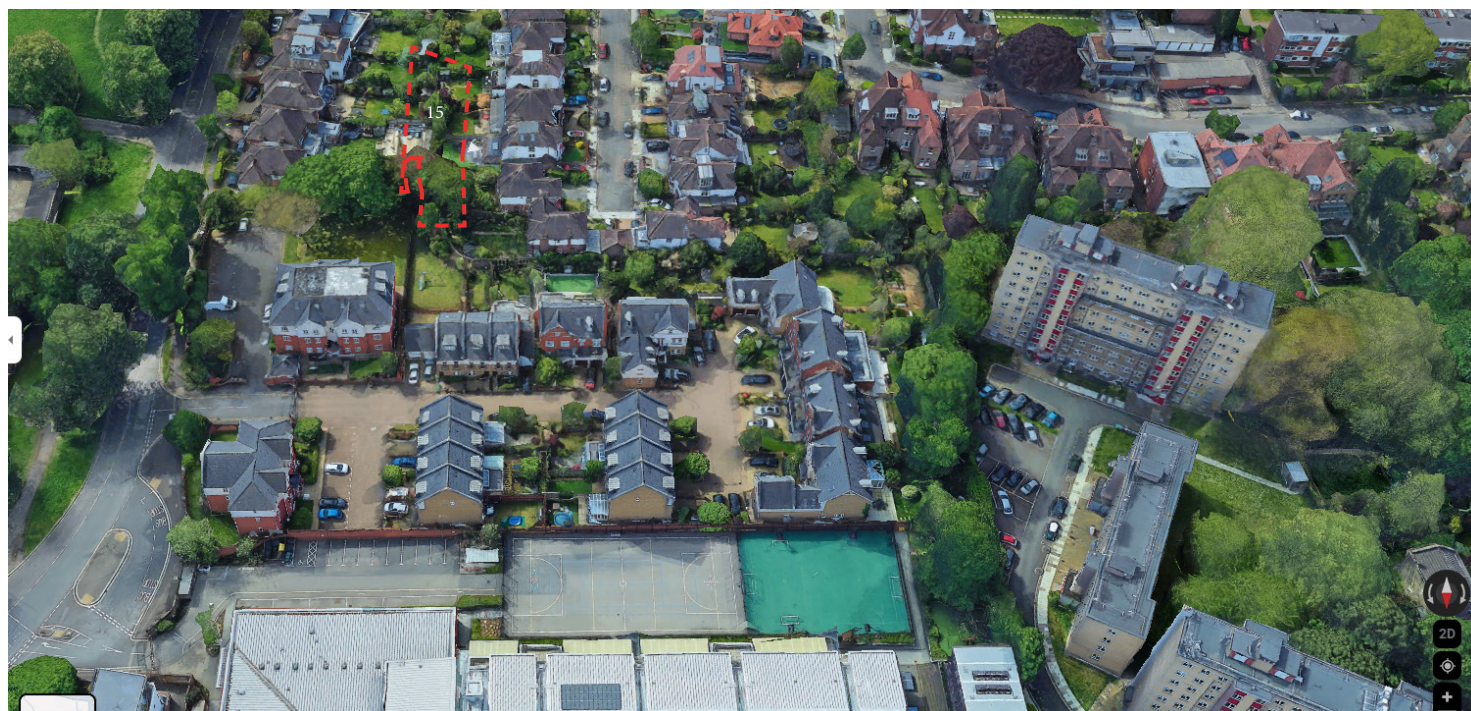
This Design and Access Statement relates to a householder planning application at 15 Floyer Close TW106HS in Richmond.

The property is the end of a terrace of 3 houses. It is located within a gated residential development.

To the front of the property, the proposal is to replace existing garage door with a new timber/metal door/window. This will improve its thermal performance. The proposal then involves converting the existing garage into an internal space.

To the rear of the property the proposal is to add a new single storey ground floor extension. The proposal also involves adding a dormer above the existing garage to create a new home office space

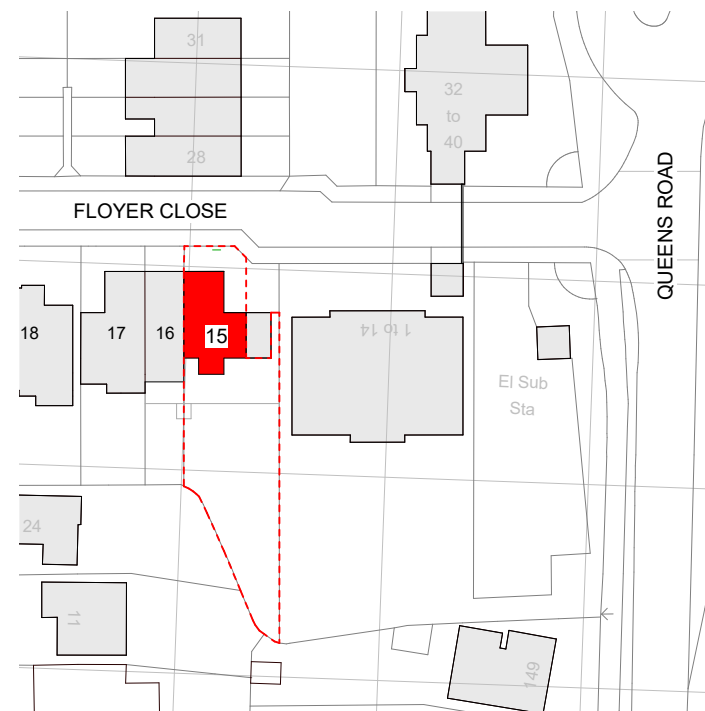




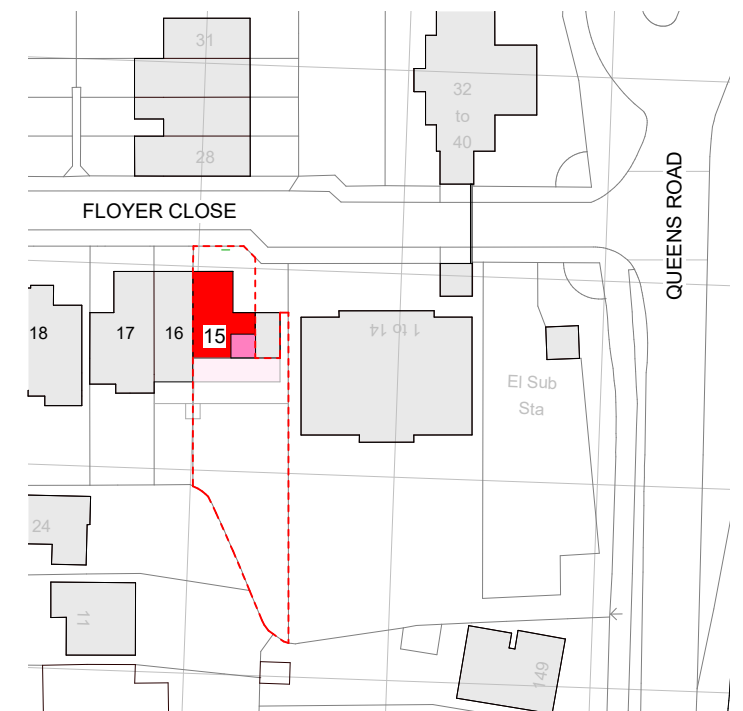
## SITE

15 Floyer Close is an end of terrace property with a large rear garden. It is located within a gated residential development. To the side of the property are two single story garages. One of these is owned by the client at no.15. The other is owned by the neighbour at number 16 Floyer Close. To the side of the garage is an access path from the garden at number 15 Floyer Close.

Number 15 Floyer Close is clad in brick, with a small amount of decorative rendered bands. It has a slate pitched roof. The buildings within Floyer Close are of a similar style. A number of these properties have had rear extensions carried out.



Existing Site Plan (Not to scale)



Proposed Site Plan (Not to scale)



## EXISTING PROPERTY

The existing property is a three storey family home.

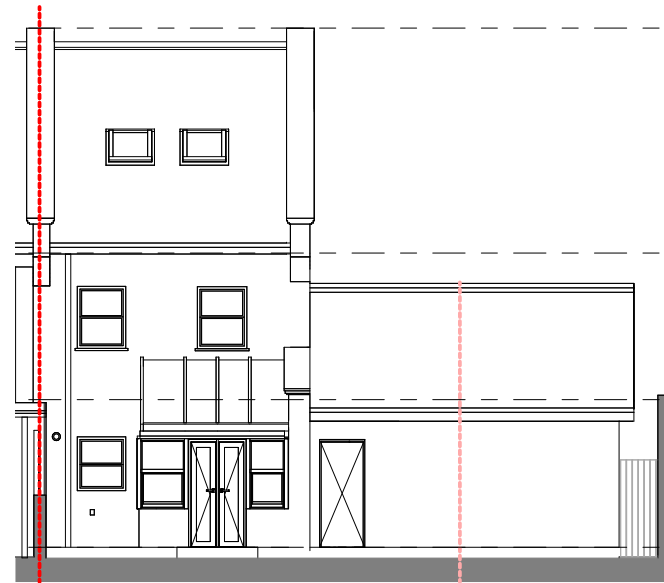
To the front, the property has a private front driveway with some planting. The property is accessed from the main front door. To the side is an access path which connects to the rear of the property.

The property has a large garden to the rear. This is accessed via a set of steps from a lower patio area.





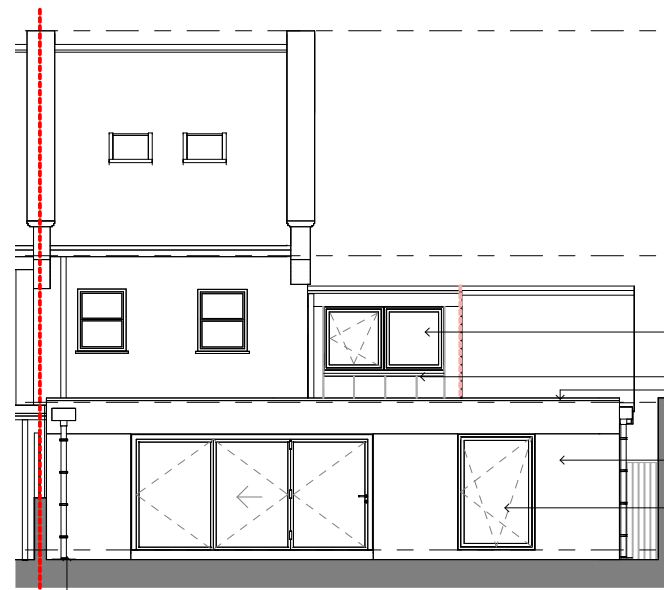
Existing Front Elevation  
(Not to scale)



Existing Rear Elevation  
(Not to scale)



Proposed Front Elevation  
(Not to scale)



Proposed Rear Elevation  
(Not to scale)

## PROPOSAL

The proposed works are as outlined below:

### Garage front door

The proposal is to retain the existing structural opening but replace the existing garage door with a new timber / metal door, windows and cladding panel. The glass used here will be frosted or obscured for security / privacy reasons. Replacement of this door is required to improve the thermal performance of the space behind.

### Garage conversion

The proposal is to convert the existing garage into an internal space. This will form part of the kitchen, dining and living space, improving upon the cramped dark existing kitchen.

### Ground Floor removal of existing conservatory

The proposal is to remove the existing conservatory which has a poor thermal performance.

### Ground Floor rear extension

The proposal to the rear is for a single story extension. This will link with the newly converted garage to form part of the utility, kitchen, dining and living space. This extension will be clad in brick to tie into the existing building. The windows/doors will be made of aluminium. The neighbour at number 16 has already completed a rear extension.

### First Floor

At first floor, the intent is to add a dormer over part of the existing garage. This will align with / or be set slightly below the existing ridge to ensure a usable head height inside. It will be clad in zinc tying in with the colour of the existing slate roof. The dormer will not be visible from the front of the property. Due to its modest scale, it will remain subservient to the form of the main house and therefore will not affect its character.

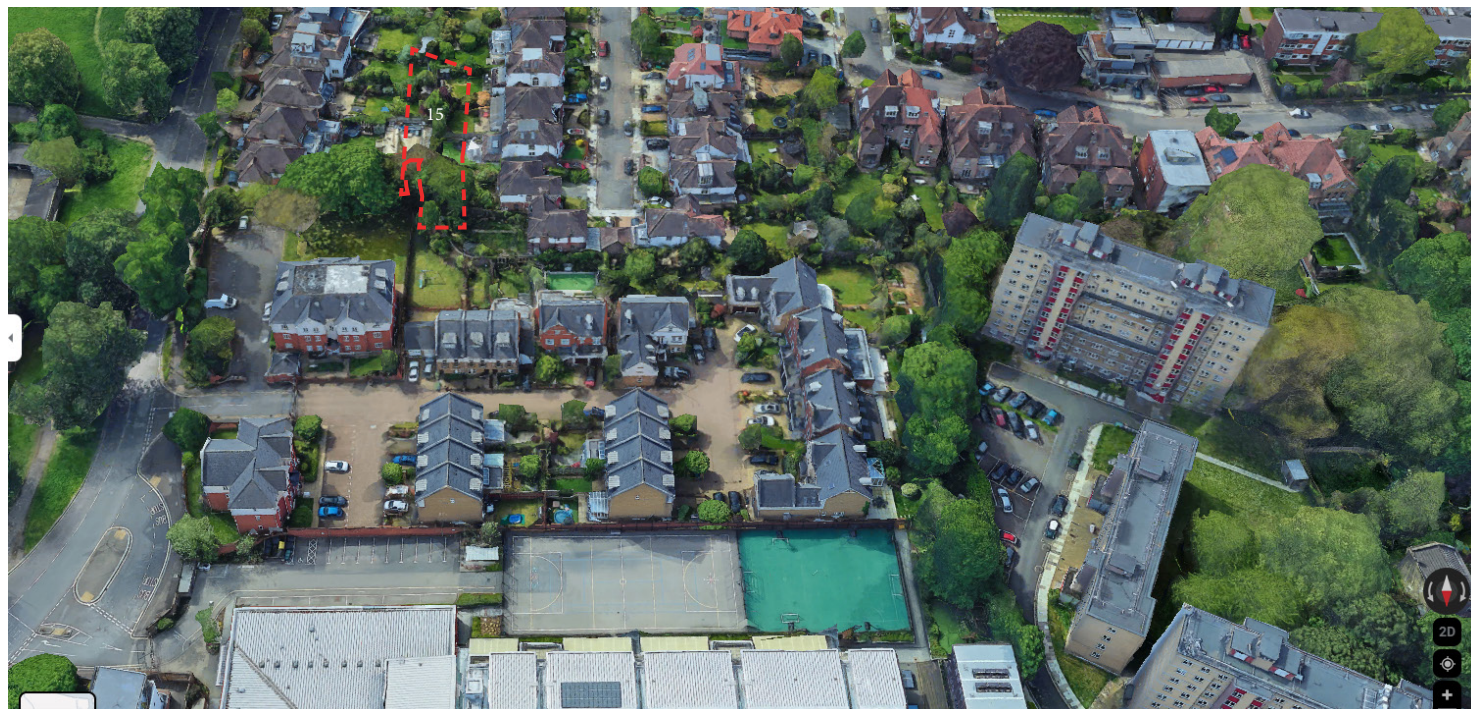




## LANDSCAPING

The front garden will remain untouched by the works.

The rear garden will remain untouched by the works. The proposed rear extension will occupy part of the existing patio, with areas of patio still remaining.



## ACCESS

The main entrance access remain unaffected by the works.

The side access remain unaffected by the works.

Access to the rear garden will continue to be from the rear of the property as part of the new extension.





## CONCLUSION

This proposal has been developed with reference to Richmond Supplementary Planning Documentation; House extensions and alterations.

The proposed works are sympathetic to the existing property and context. The materials proposed for the scheme were chosen to tie into the existing. The modest scale of the proposals is in keeping with the supplementary planning documentation guidance. The proposed works would greatly enhance the spatial quality of the house and the lives of its occupants.