

Opportunities & Constraints

Opportunities

- Improvement of employment opportunities offered by the site in a form suitable for SMEs and compatible with surrounding residential uses.
- Close proximity to local amenities.
- Potential to introduce biodiversity enhancements with a sustainable new development in Hampton, nearby local amenities and various public transport networks.
- Self storage use ensures no loss of privacy will affect local residents.
- Retention of light industrial use with reduction of heavy traffic from the removal yard use to the self storage use.

Constraints

- Boundary of the site only allows for one access through the south where the shop will need to be located.
- Northern boundary addresses railway line.
- Existing building is inefficient and will need demolished to allow development of site.
- Existing trees to southern boundary provide natural screening to residential properties and will be preserved.
- No build zone to the western boundary



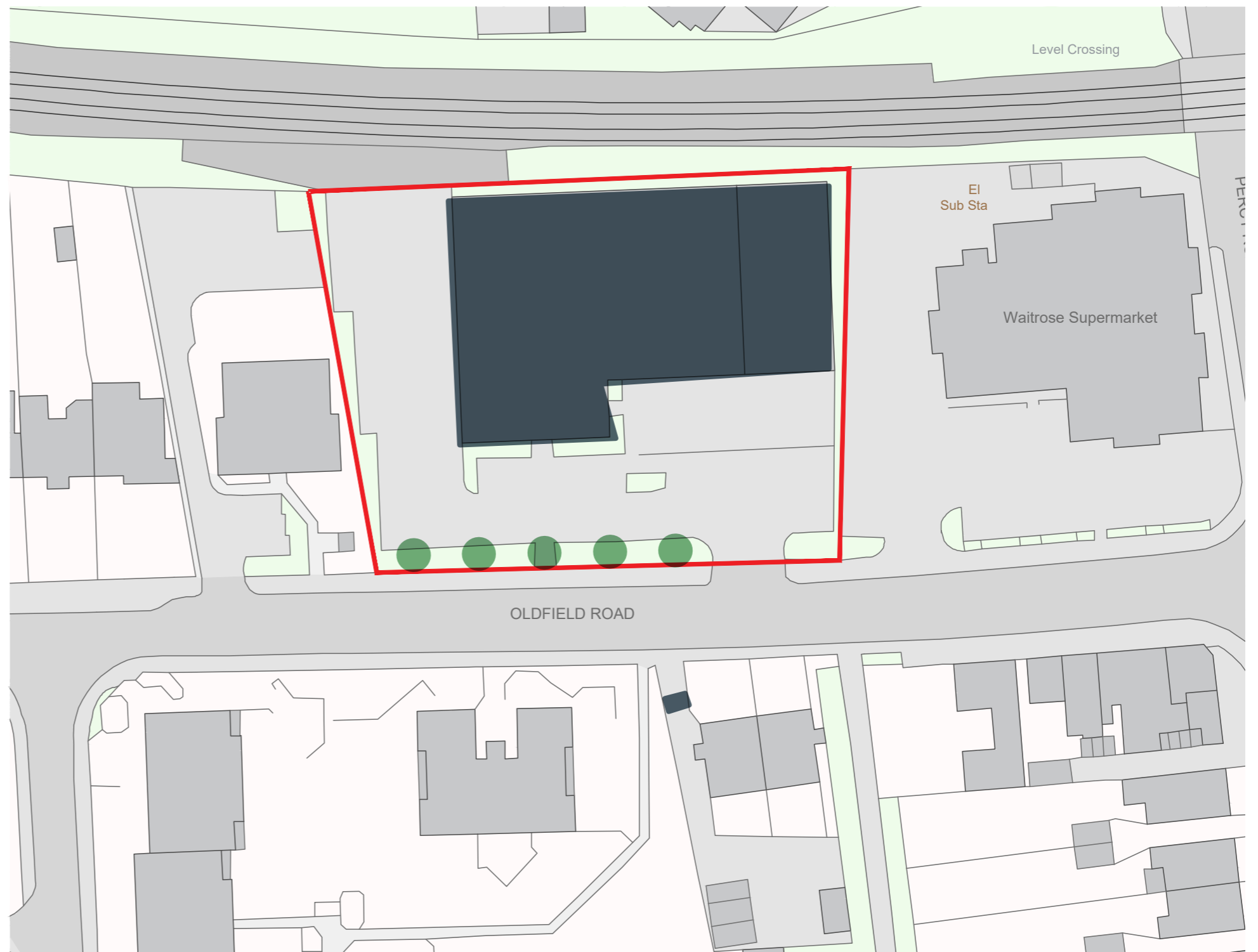
ENHANCED VEHICULAR ACCESS



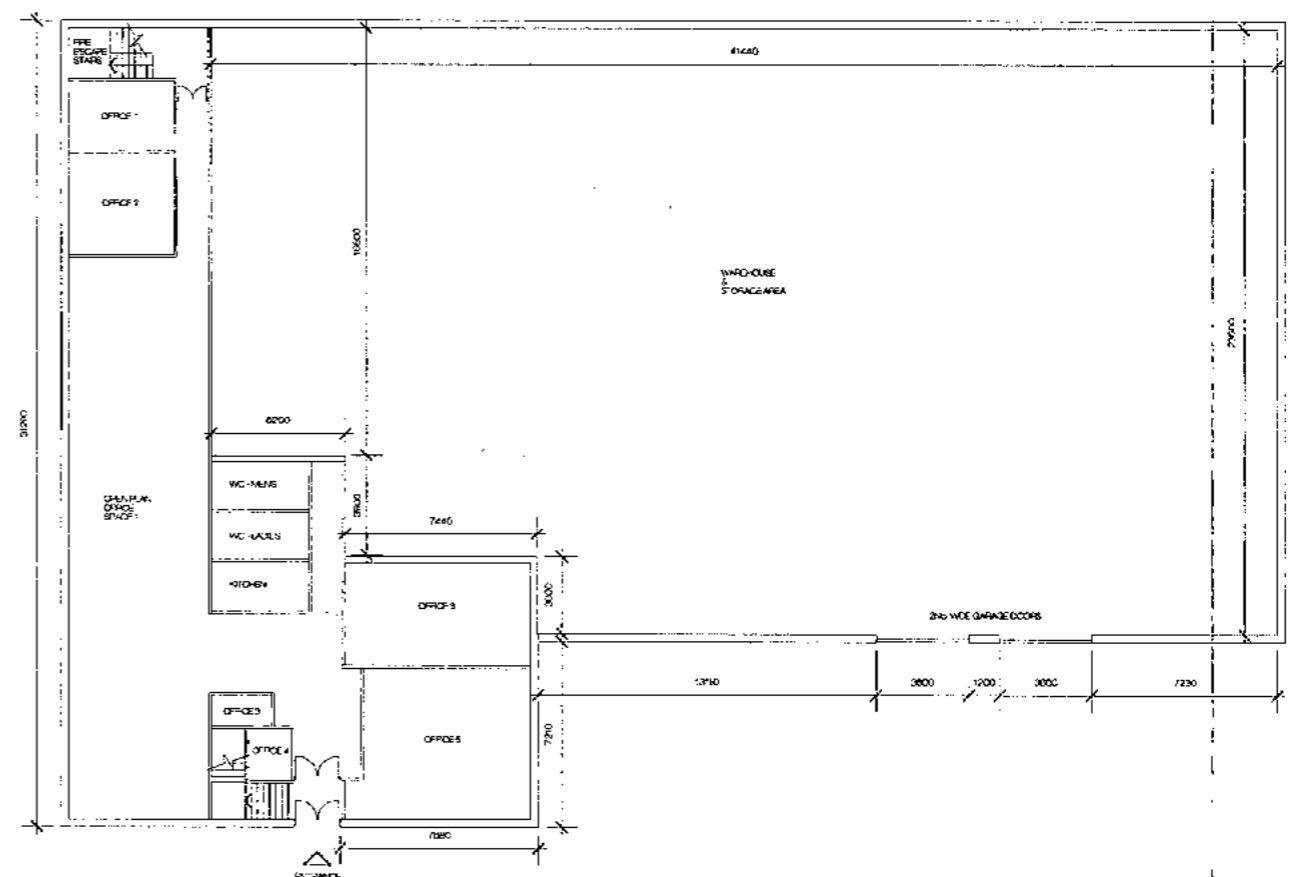
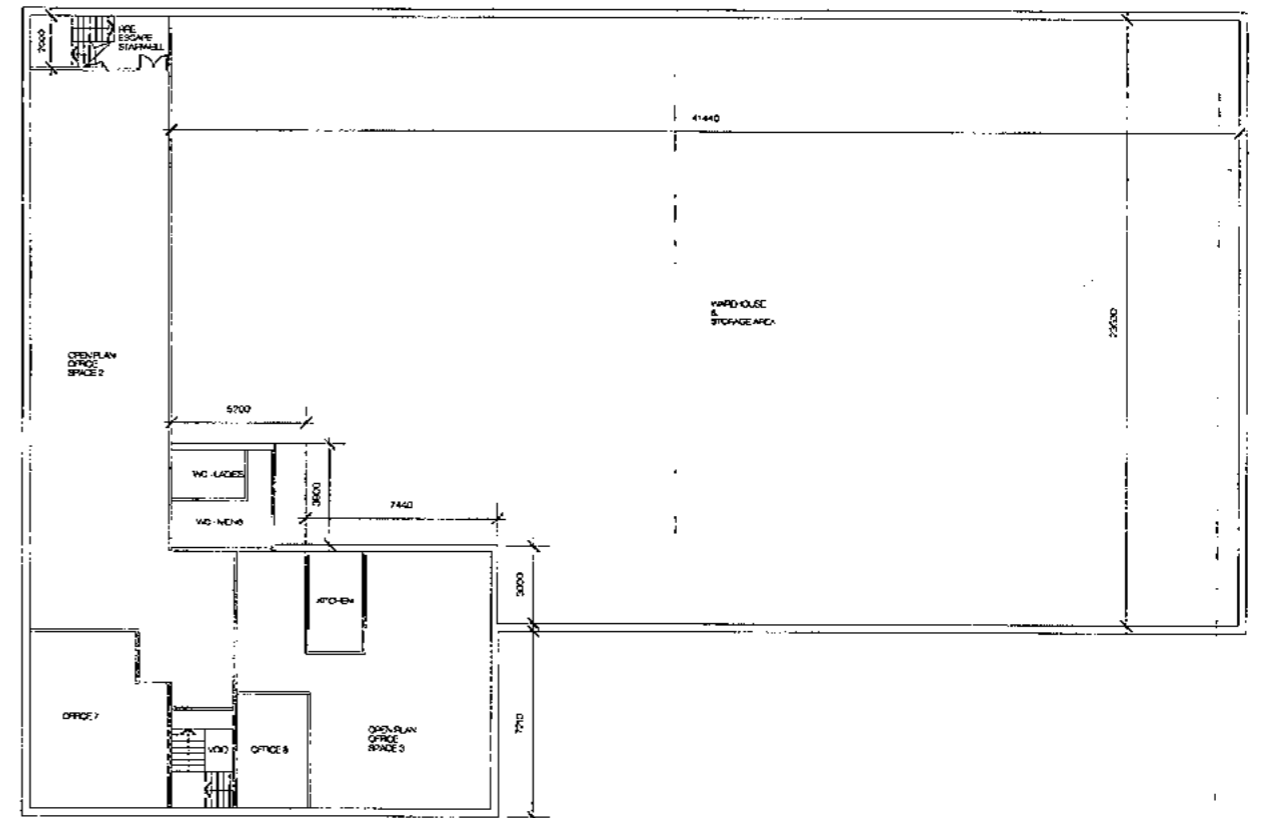
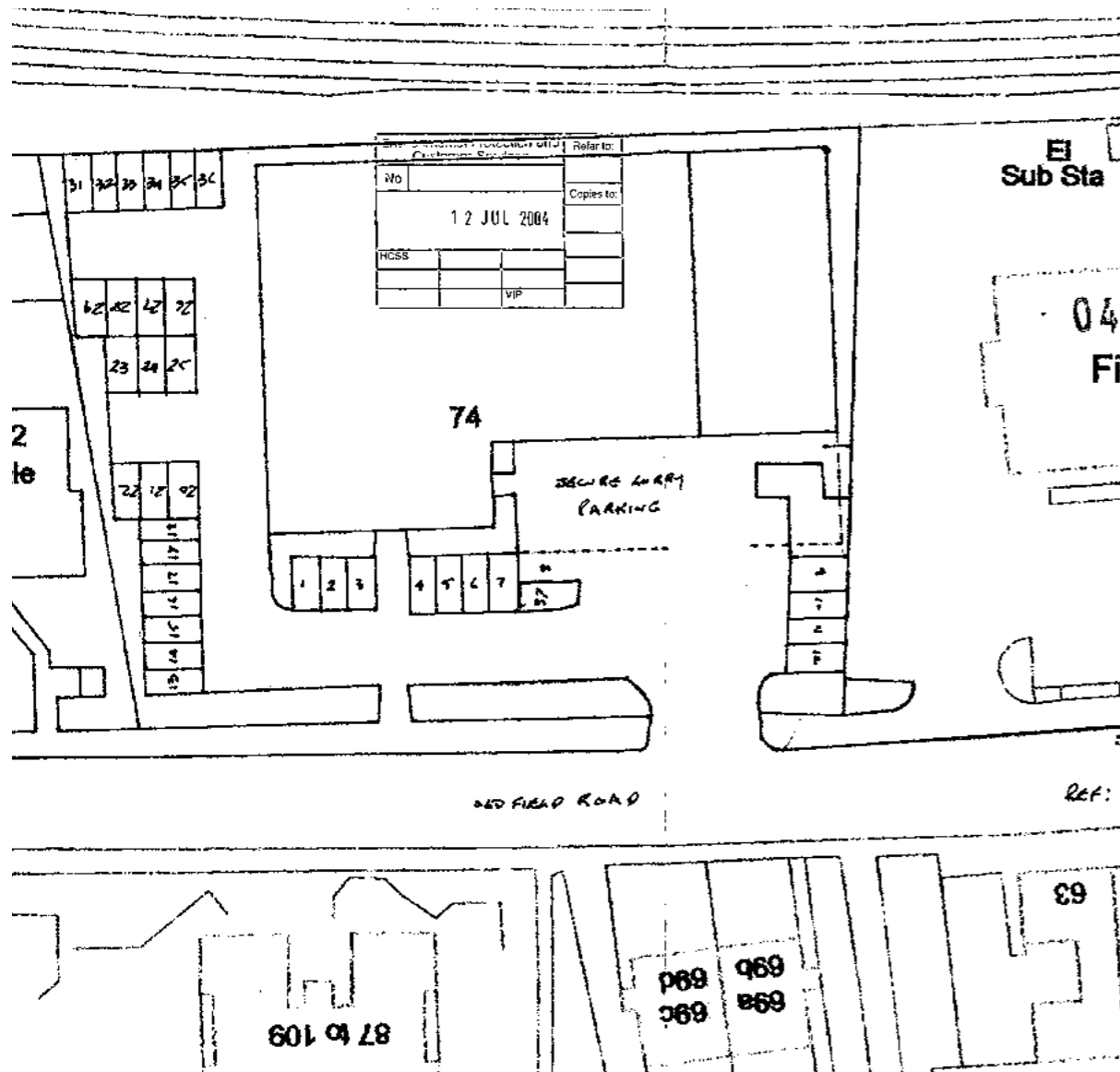
EXISTING TREES TO BE RETAINED TO ESTABLISH VISUAL BUFFER



EXISTING BUILDINGS TO BE REMOVED, IMPROVEMENT OF EMPLOYMENT OPPORTUNITIES



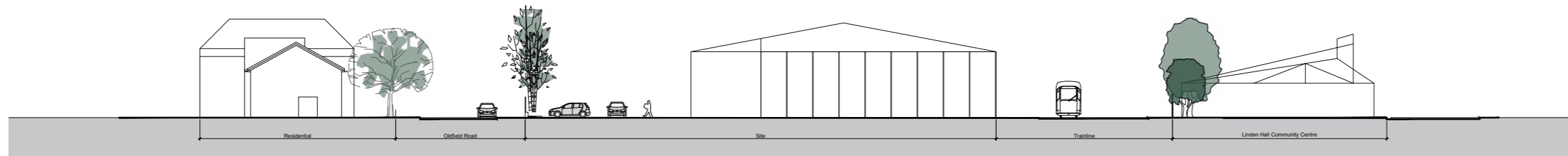
Existing Building



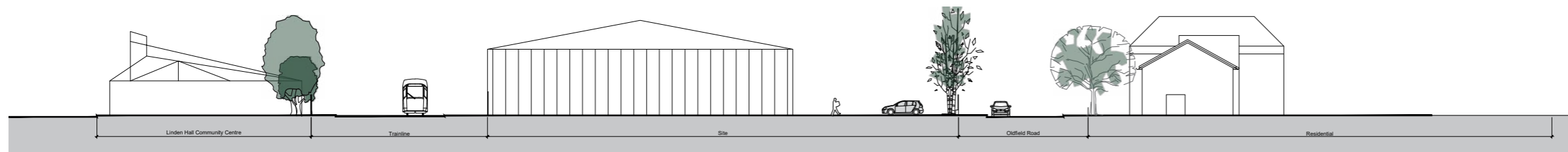
Existing Elevations and Sections



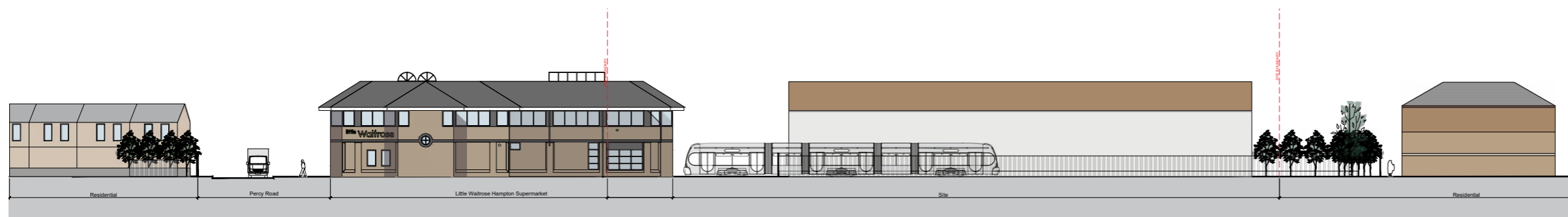
SOUTH ELEVATION FROM OLDFIELD ROAD



EAST ELEVATION FROM WAITROSE CAR PARK



WEST ELEVATION



NORTH ELEVATION FROM TRAINLINE

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Planning Policy Considerations

The area is allocated in the local plan as part of Policy LP 42: Industrial Land and Business Parks:

“The borough has a very limited supply of industrial floorspace and demand for this type of land is high. Therefore the Council will protect, and where possible enhance, the existing stock of industrial premises to meet local needs.

[...] There is a presumption against loss of industrial land in all parts of the borough as this space provides valuable employment opportunities and can encourage creativity and entrepreneurialism. Local service trades such as builders or car repair garages provide useful services to residents and other businesses in the borough as well as a source of local employment opportunities. Small firms such as these and start-up businesses require cheaper accommodation and small incubator units but often find it difficult to acquire suitable affordable premises as the higher value of land for other uses creates pressure for redevelopment for higher quality and priced accommodation. It is therefore important to retain a diverse range of different types and sizes of industrial spaces across the borough.”

The proposal looks to expand the light industrial area available from approx. 1,629 sqm GIA to approx. 5,434 sqm.

The proposal for a self-storage facility would provides direct employment generation through operation of the site. A typical facility will create between 3 and 4 full time equivalent (FTE) jobs as well as supporting small and start up businesses in the local catchment. A typical store will have 15% -20% of the units let to business customers, which generally represents between 150 to 200 units and businesses.

