

| FLOOD RISK ASSESSMENT | |
|-----------------------|--|
| Project | New single storey rear and side extension at 2 Sheen Park, Richmond, TW9 1UW |
| Applicant | Mrs E Guilhem |
| Agent | MBCS Architectural Ltd, Spaces, The Charter Building, Uxbridge, UB8 1JG |
| Contact details | Mark Bretherton T: 01895549100 M: 07812072605 E: markbretherton@mbc-as.co.uk |
| Document reference | MBCS21-004 / APL032 P1 |
| Issue date | 09/04/24 |
| Revision | P1 |

PURPOSE OF THIS DOCUMENT

The purpose of this document is to provide the floor risk assessment for the proposed development at 2 Sheen Park, Richmond, TW9 1UW to accompany the submission of a householder planning application.

The information in this assessment has been prepared using the Environment Agencies 'Flood Map for Planning' online tool and Landmark Flood and Envirosearch documentation.

Flood map for planning

Your reference
MBCS24-003

Location (easting/northing)
518473/175092

Created
9 Apr 2024 13:22

Your selected location is in flood zone 1, an area with a low probability of flooding.

You will need to do a flood risk assessment if your site is **any of the following:**

- bigger than 1 hectare (ha)
- In an area with critical drainage problems as notified by the Environment Agency
- identified as being at increased flood risk in future by the local authority's strategic flood risk assessment
- at risk from other sources of flooding (such as surface water or reservoirs) and its development would increase the vulnerability of its use (such as constructing an office on an undeveloped site or converting a shop to a dwelling)

Notes

The flood map for planning shows river and sea flooding data only. It doesn't include other sources of flooding. It is for use in development planning and flood risk assessments.

This information relates to the selected location and is not specific to any property within it. The map is updated regularly and is correct at the time of printing.

Flood risk data is covered by the Open Government Licence **which** sets out the terms and conditions for using government data. <https://www.nationalarchives.gov.uk/doc/open-government-licence/version/3/>

Use of the address and mapping data is subject to Ordnance Survey public viewing terms under Crown copyright and database rights 2022 OS 100024198. <https://flood-map-for-planning.service.gov.uk/os-terms>






Flood map for planning

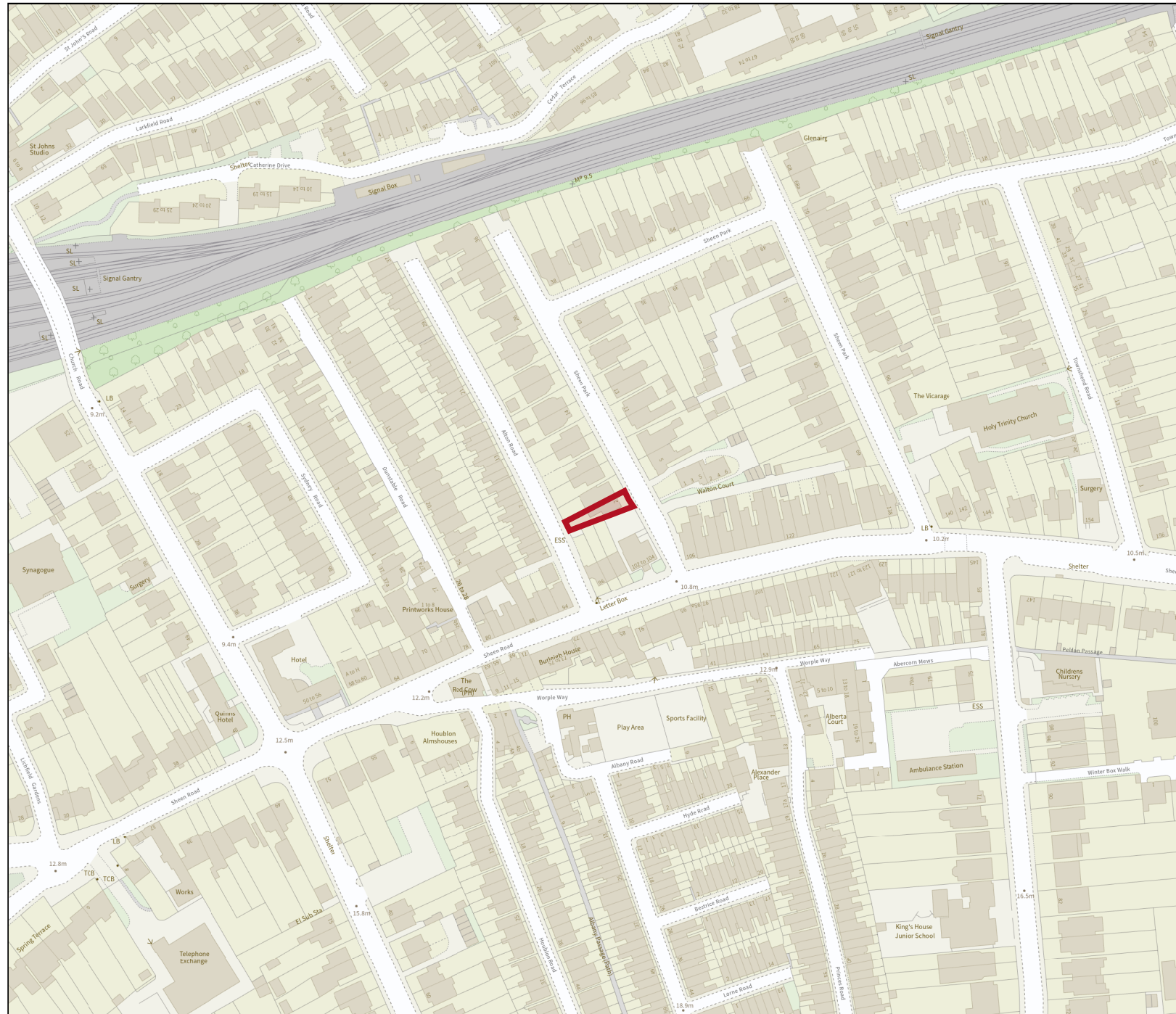
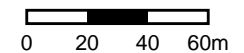
Your reference
MBCS24-003

Location (easting/northing)
518473/175092

Scale
1:2500

Created
9 Apr 2024 13:22

-  Selected area
-  Flood zone 3
-  Flood zone 2
-  Flood zone 1
-  Flood defence
-  Main river
-  Water storage area



Envirosearch Residential

Risk Summary



Section 1: Contaminated Land

PASSED

We consider there to be no potential risk of contaminated land at or within the vicinity of the property. Please **refer to section 1** for further information.



Section 2: Flood

IDENTIFIED

We consider there to be a risk of flooding within 50m of the search centre. Please **refer to section 2** for further information.



Section 3: Energy & Infrastructure

IDENTIFIED

We have identified one or more factors such as HS2, Crossrail 1 and 2, energy exploration, wind or solar farms within the vicinity of the property. Please **refer to section 3** for further information and next steps.



Section 4: Ground Stability

IDENTIFIED

We have identified a factor that may affect the ground stability of the property. Please **refer to section 4** for further information and next steps.



Section 5: Radon

NONE IDENTIFIED

The property is not considered to be within a radon affected area. Please **refer to section 5** for more information.



Section 6: Other Influential Factors

NONE IDENTIFIED

No overhead power lines, environmental or other influential factors have been identified within the vicinity of the property. Please **refer to section 6** for more information.

This report is issued for the property described as
**2, Sheen Park
RICHMOND
TW9 1UW**

Report Reference
328779763_1_1

National Grid Reference
518470 175090

Customer Reference
HM58182_ESR

Report Date
15 December 2023

Landmark Contribution

By purchasing this report, the recipient may be eligible for remediation contribution of **up to £150,000** if served with a Remediation Notice by the local authority. Such a notice may require the homeowner to pay for all, or contribute to, the remediation of the property. For more information see Landmark's Terms and Conditions.

CONTACT DETAILS

If you require assistance please contact our customer services team on:

0844 844 9966

or by email at:
helpdesk@landmark.co.uk

Conveyancer Guidance



Professional Opinion

Contamination Risk: **PASSED CERTIFICATE**

In the professional opinion of Argyll Environmental Ltd. the level of contamination risk associated with the information disclosed in the Envirosearch Residential report dated 15th December 2023 and reference 328779763_1_1, HM58182_ESR for

**2, Sheen Park
RICHMOND
TW9 1UW**

1) is unlikely that the property would be designated "contaminated land" within the meaning of Part 2A of the Environmental Protection Act 1990.

2) is unlikely to have an adverse effect on the security of the property for normal lending purposes.

The professional opinion refers to Section 1 of this report and should always be read in conjunction with the full text of that report. No physical site inspection or survey has been carried out or is proposed.

Approved by:

Argyll Environmental Ltd



Summary of Report Findings



Section 1: Contaminated Land

| Contamination Risk | 0-25m | 25-250m | 250-500m | See Section |
|---|-------|---------|----------|-------------|
| Designated Contaminated Land | No | No | No | 1a |
| Landfill and Waste | No | No | No | 1b |
| Potentially Contaminative Activities | No | No | Yes | 1c |
| Known Contamination Incidents | No | No | No | 1d |
| Other Potential Contaminative Land Uses | Yes | Yes | n/a | 1e |



Section 2: Flood

| Flood Risk | 0-25m | 25-250m | See Section |
|--|-------|---------|-------------|
| River Flooding | No | No | 2a |
| Coastal Flooding | No | No | 2b |
| Surface Water Flooding | No | Yes | 2c |
| Risk of Flooding from Rivers and Sea (RoFRS) | No | No | 2d |
| Historic Flood Events | No | No | 2e |
| Groundwater Flooding | No | No | 2f |



Section 3: Energy & Infrastructure

| Energy & Infrastructure | Result | See Section |
|---|--------|-------------|
| New Rail Infrastructure | No | 3a |
| Oil and Gas Exploration and Production | No | 3b |
| Existing or Proposed Wind Farms and Wind Turbines | Yes | 3c |
| Existing or Proposed Solar Farms | No | 3d |



Section 4: Ground Stability

| Ground Stability Risk | Result | See Section |
|-----------------------|--------|-------------|
| Man-Made Factors | No | 4a |
| Natural Factors | Yes | 4b |



Section 5: Radon

| Radon Risk | Result | See Section |
|-------------------------|--------|-------------|
| Radon Affected Property | No | 5 |



Section 6: Other Influential Factors

| Other Factors | Result | See Section |
|---------------------------|--------|-------------|
| Overhead Power Lines | No | 6a |
| Environmental Constraints | No | 6b |

Property Purchaser Guidance

Understanding This Report

The purpose of this report is to highlight any potential risk of contaminated land and identify other environmental factors at or around the property. It is necessary for your solicitor to consider these risks as part of their due diligence.

For Contaminated Land, we will state '**Passed**' on the front page if our expert consultants have considered there to be no potential risk. If a potential risk of contamination is found, the report will state '**Further Action**'. In this case, we include a 'Next Steps' section to help you to decide what to do next.

For all other environmental factors, we will state '**None Identified**' on the front page if we consider there is little or no significant risk to the property. If a potential risk is found, we will state '**Identified**' and detail the Next Steps within the relevant section of the report.

Section 1: Contaminated Land

In this section, we highlight on a map, and within our findings pages, if there are any potential contaminated land risks at or around the property. Contaminated land contains substances that are actually or potentially hazardous to health or the environment.

Section 2: Flood

In this section, we detail any risks of flooding at or around the property. We consider a number of factors such as river, coastal, groundwater and surface water.

Section 3: Energy & Infrastructure

In this section, we provide information on a variety of energy and infrastructure projects and developments which may affect the property and surrounding area, such as High Speed Rail (HS2), Crossrail 1 and 2, solar and wind farms, etc. (only wind and solar farms with a capacity to produce over 1MW of power are shown).

Section 4: Ground Stability

In this section, we identify if there are any factors present which could affect the ground stability of the property, such as coal mining activities, man-made or natural cavities.

Section 5: Radon

In this section, we identify if the property is located in a radon affected area. Radon is a radioactive gas, which occurs naturally in rocks and soils and may be harmful to health.

Section 6: Other Influential Factors

In this section, we identify factors that may have an influence on the property or surrounding area, such as overhead power lines or any environmental constraints such as national parks or conservation areas.

Next Steps:

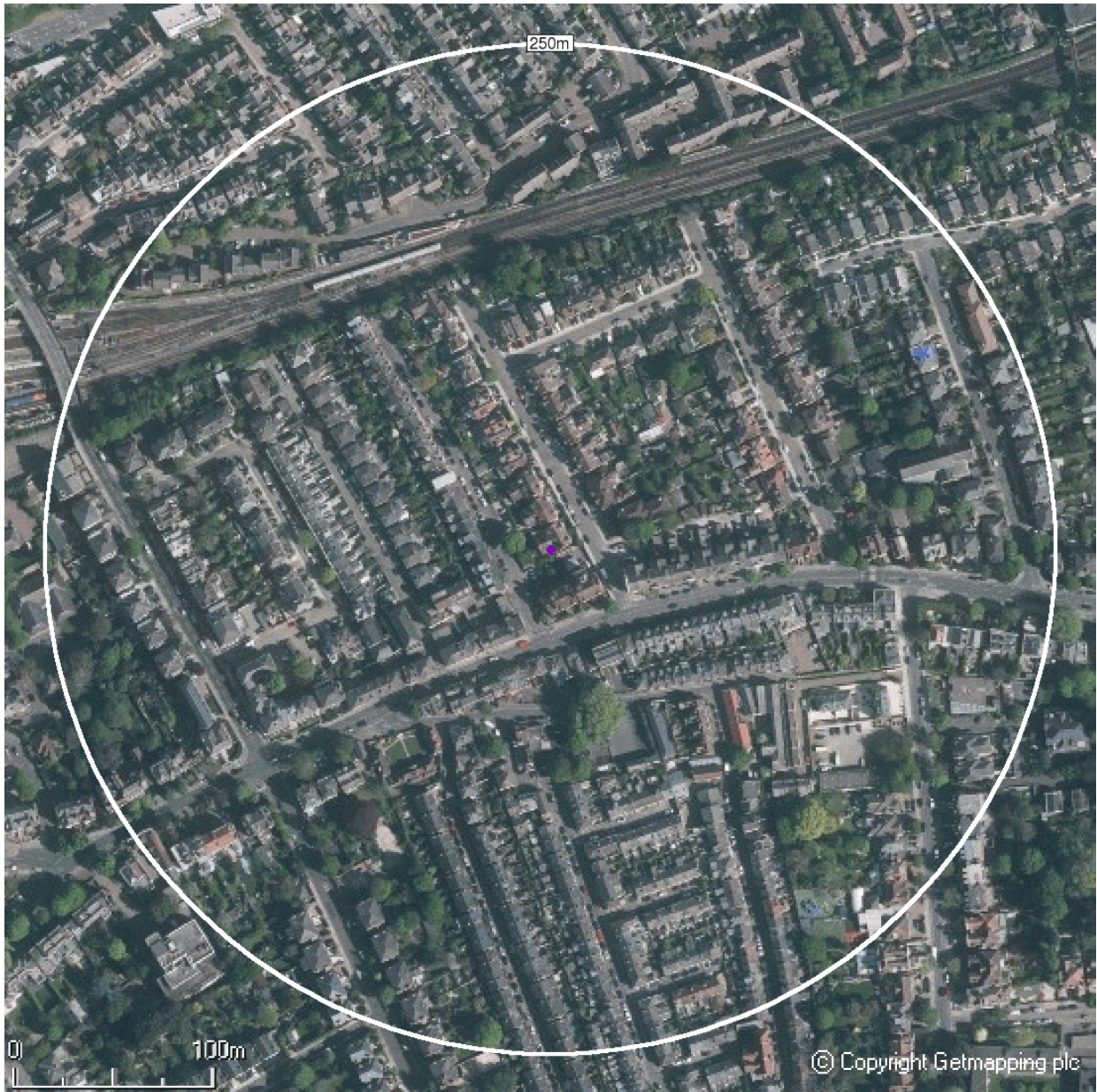
If you require any assistance, please contact our customer service team on: **0844 844 9966** or **helpdesk@landmark.co.uk**

Site Location



Aerial Photograph

The photograph below shows the location of the property.





Section 1a and 1b: Contaminated Land, Landfill and Waste

The map below shows the location of the Designated Contaminated Land and Landfill and Waste features highlighted within sections 1a and 1b of this report. Further details are shown on the following pages.



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| Section 1a | Section 1b | |
|--|---|---|
| Contaminated Land Registry Entries and Notices | Registered Landfill Sites | Permitted Waste Sites - Authorised Landfill Site Boundaries |
| Registered Landfills (Potential Buffer) | Registered Landfills (Potential Buffer) | Environmental Permitting Regulations - Waste |
| BGS Recorded Landfill Sites | BGS Recorded Landfill Sites | Integrated Pollution Control Registered Waste Sites |
| Local Authority Recorded Landfill Sites | Local Authority Recorded Landfill Sites | Registered Waste Treatment or Disposal Sites |
| Historical Landfill Sites | Historical Landfill Sites | Registered Waste Transfer Sites |



Section 1a: Designated Contaminated Land

The data within this section tells you whether your property or surrounding area has been identified by the Local Authority as "Contaminated Land" under the Environmental Protection Act 1990. Should there be an indication of contamination, it is not necessarily a cause for concern. Your report will be assessed by our professional environmental consultants who will advise you what, if any, considerations need to be made should you proceed with the property purchase.

| Enquiry | Result |
|---|-----------|
| Has any contaminated land been identified within 500m of the property? | No |

| Map ID | Reference | Location | Details | Distance | Contact |
|---|-----------|----------|---------|----------|---------|
| Contaminated Land Register Entries and Notices | | | | | |
| No factors identified for this property | | | | | |



Section 1b: Landfill and Waste

The information in this section is telling you about active and historic landfill and waste sites within 500 metres of the property. Having a landfill or waste site near your property does not necessarily mean that you or the property will be affected. However, it is something you need to be aware of, because landfill and waste can have a detrimental effect on the surrounding environment, house value and health. A closed landfill/waste site should be given equal consideration to an active site, because of landfill by-products. For instance, landfill with lots of organic material can continue to produce odours and gas for many years.

| Enquiry | Result |
|---|-----------|
| Have any landfill and waste sites been identified within 500m of the property? | No |

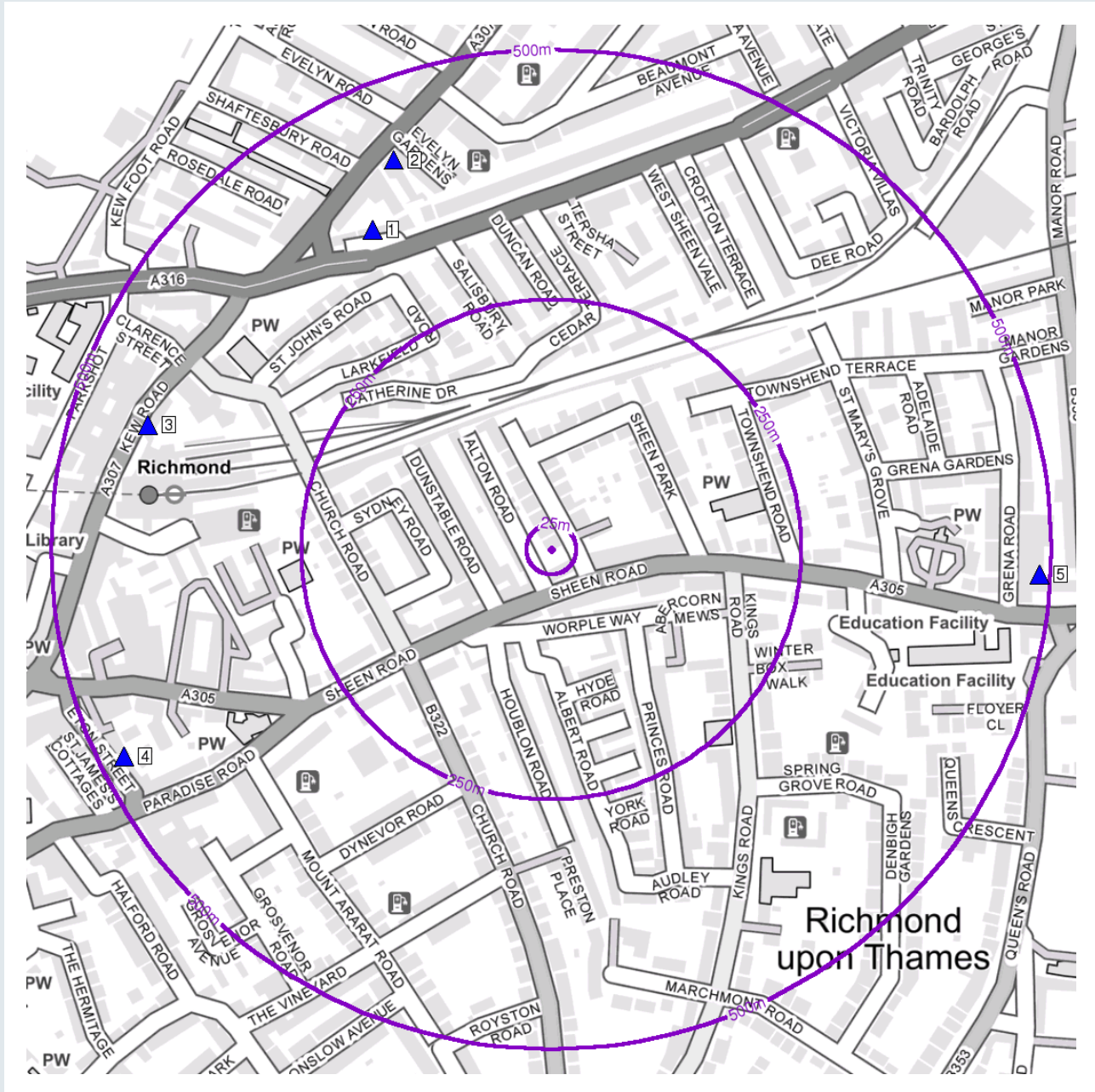
| Map ID | Reference | Location | Details | Distance | Contact |
|--|-----------|---|---------|----------|----------|
| Registered Landfill Sites | | | | | |
| No factors identified for this property | | | | | |
| BGS Recorded Landfill Sites | | | | | |
| No factors identified for this property | | | | | |
| Local Authority Recorded Landfill Sites | | | | | |
| No factors identified for this property | | | | | |
| Local Authority Recorded Landfill Coverage | | | | | |
| The following list details the Local Authorities that cover the search area who have made landfill data available: | | | | | |
| London Borough of Richmond Upon Thames | | - Has no landfill data to supply | | | 5 |
| For further information regarding the availability of Local Authority Recorded Landfill data you may wish to forward enquiries to one or more of the contacts indicated above. | | | | | |

| Map ID | Reference | Location | Details | Distance | Contact |
|--|-----------|----------|---------|----------|---------|
| Historical Landfill Sites | | | | | |
| No factors identified for this property | | | | | |
| Permitted Waste Sites - Authorised Landfill Site Boundaries | | | | | |
| No factors identified for this property | | | | | |
| Environmental Permitting Regulations - Waste | | | | | |
| No factors identified for this property | | | | | |
| Integrated Pollution Control Registered Waste Sites | | | | | |
| No factors identified for this property | | | | | |
| Registered Waste Treatment or Disposal Sites | | | | | |
| No factors identified for this property | | | | | |
| Registered Waste Transfer Sites | | | | | |
| No factors identified for this property | | | | | |



Section 1c and 1d: Potential and Known Contamination

The map below shows the location of the Potentially Contaminative Activities and Known Pollution Incidents in sections 1c and 1d of this report. Further details are shown on the following pages.



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Section 1c

- ▲ Local Authority Pollution Prevention and Controls
- ▼ Local Authority Integrated Pollution Prevention and Control
- ▲ Integrated Pollution Controls
- ▲ Environmental Permitting Regulations - Industry
- ◆ Consent to Discharge to Controlled Waters

- ✕ Radioactive Substances Register
- ✕ Planning Hazardous Substance Consents
- ✕ Control of Major Accident Hazards Sites (COMAH)
- ✕ Notification of Installations Handling Hazardous Substances (NIHHS)
- ★ Explosive Sites

Section 1d

- + Local Authority Pollution Prevention and Control Enforcements
- + Enforcement and Prohibition Notices
- + Planning Hazardous Substance Enforcements
- Prosecutions Relating to Authorised Processes
- Environmental Pollution Incidents
- Prosecutions Relating to Controlled Waters



Section 1c: Potentially Contaminative Activities

This section describes current and historic licensed activities within 500 metres of the property, which have the potential to cause contamination or have an impact on the environment. The licensed activities could range from pollution to air, land or water; storage or disposal of radioactive substances; or storage of hazardous or explosive materials. Licences may no longer be active, but the nature of the past activity means it could still have an impact.

| Enquiry | Result |
|--|--------|
| Have any potentially contaminative activities been identified within 500m of the property? | Yes |

| Map ID | Reference | Location | Details | Distance | Contact |
|--|--|--|--|----------|---------|
| Local Authority Pollution Prevention and Controls | | | | | |
| 1 | Name: Vip Dry Cleaners Reference: Not Supplied | 21 Lower Richmond Road Richmond Tw9 2lp | Description: PG6/46 Dry cleaning Status: Permitted Date of Issue: 17th May 2013 Positional Accuracy: Manually positioned to the address or location | 365m | 1 |
| 2 | Name: Pristine Laundries Reference: LBRUT/DC/21 | 90 Kew Road Richmond Tw9 2pq | Description: PG6/46 Dry cleaning Status: Permitted Date of Issue: 1st April 2007 Positional Accuracy: Manually positioned to the address or location | 419m | 1 |
| 3 | Name: Ducane Dry Cleaners Reference: LBRUT/DC/09 | 2 Westminster House Kew Road Richmond Tw9 2nd | Description: PG6/46 Dry cleaning Status: Permitted Date of Issue: 1st April 2007 Positional Accuracy: Manually positioned to the address or location | 423m | 1 |
| 4 | Name: The Clean Machine Reference: LBRUT/DC/04 | 18 Eton Street Richmond Tw9 1ee | Description: PG6/46 Dry cleaning Status: Permitted Date of Issue: 1st April 2007 Positional Accuracy: Manually positioned to the address or location | 477m | 1 |
| 5 | Name: Black Horse Service Station Reference: 13/PVR | 174-176 Sheen Road RICHMOND Surrey TW9 1XD | Description: PG1/14 Petrol filling station Status: Permitted Date of Issue: 31st December 1998 Positional Accuracy: Automatically positioned to the address | 489m | 1 |

Local Authority Integrated Pollution Prevention And Control

No factors identified for this property

| Map ID | Reference | Location | Details | Distance | Contact |
|--|-----------|----------|---------|----------|---------|
| Integrated Pollution Controls | | | | | |
| No factors identified for this property | | | | | |
| Environmental Permitting Regulations - Industry | | | | | |
| No factors identified for this property | | | | | |
| Consent to Discharge to Controlled Waters | | | | | |
| No factors identified for this property | | | | | |
| Radioactive Substances Register | | | | | |
| No factors identified for this property | | | | | |
| Planning Hazardous Substance Consents | | | | | |
| No factors identified for this property | | | | | |
| Control of Major Accident Hazards Sites (COMAH) | | | | | |
| No factors identified for this property | | | | | |
| Notification of Installations Handling Hazardous Substances (NIHHS) | | | | | |
| No factors identified for this property | | | | | |
| Explosive Sites | | | | | |
| No factors identified for this property | | | | | |

Next Steps

If you would like any further information in respect of the above findings we recommend that you contact the relevant Local Authority or the Environment Agency/Natural Resources Wales. Contact details can be found in the 'Useful Contacts' section of this report. Further Information is also available in the 'Useful Information' section.



Section 1d: Known Contamination Incidents

The data within this section describes unpermitted activity in your area (e.g. polluting incidents, or exceedance of permitted allowance) where the activity led to a prosecution or enforcement of regulations. Whilst all of these records are historic, the nature of the incident may have long term effects.

| Enquiry | Result |
|--|-----------|
| Have any known contamination incidents been identified within 500m of the property? | No |

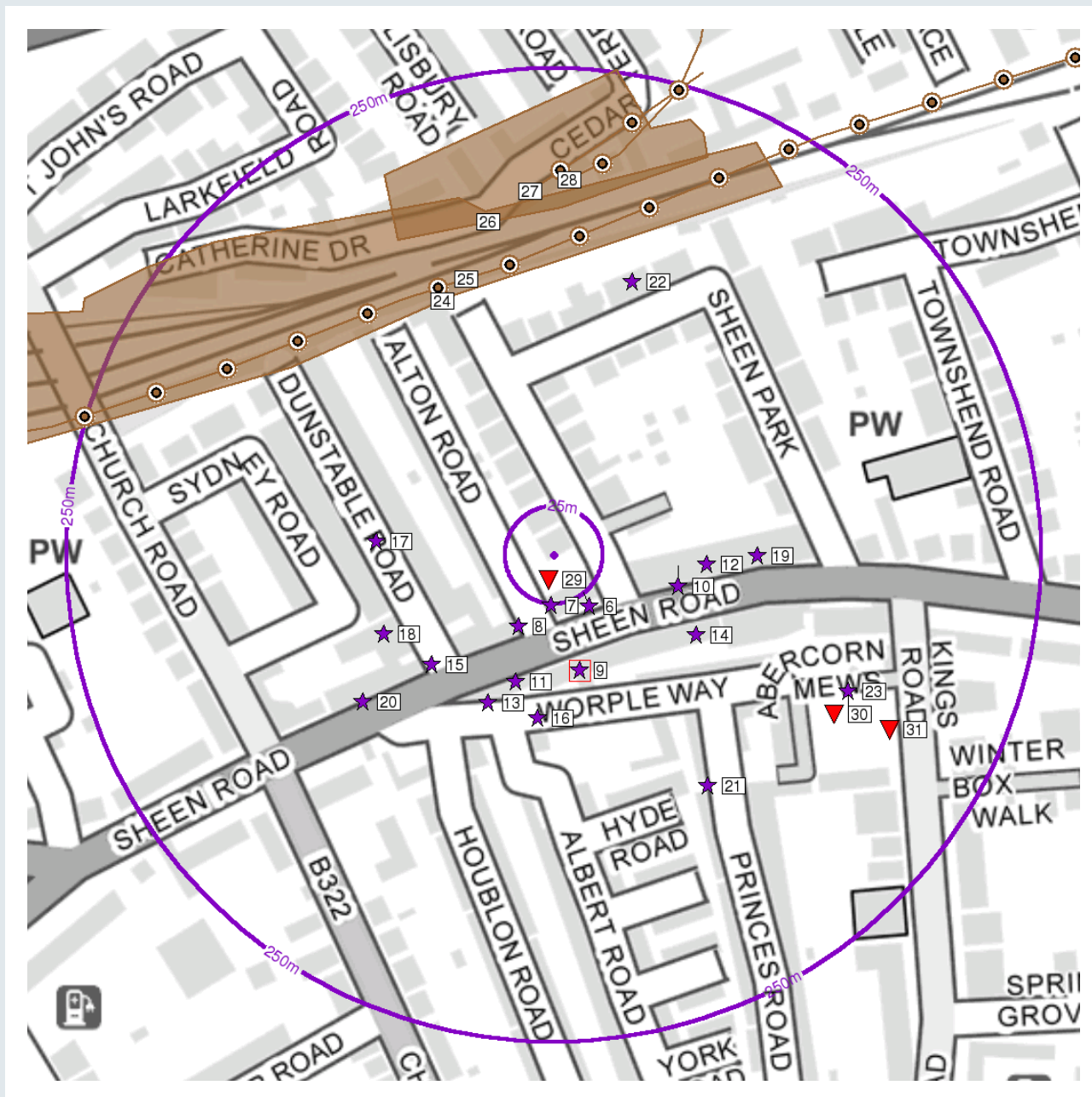
| Map ID | Reference | Location | Details | Distance | Contact |
|--|-----------|----------|---------|----------|---------|
| Local Authority Pollution Prevention and Control Enforcements | | | | | |
| No factors identified for this property | | | | | |

| Map ID | Reference | Location | Details | Distance | Contact |
|--|-----------|----------|---------|----------|---------|
| Enforcement and Prohibition Notices | | | | | |
| No factors identified for this property | | | | | |
| Planning Hazardous Substance Enforcements | | | | | |
| No factors identified for this property | | | | | |
| Prosecutions Relating to Authorised Processes | | | | | |
| No factors identified for this property | | | | | |
| Environmental Pollution Incidents | | | | | |
| No factors identified for this property | | | | | |
| Prosecutions Relating to Controlled Waters | | | | | |
| No factors identified for this property | | | | | |



Section 1e: Other Potential Contaminative Land Uses

The map below shows the location of the Other Potential Contaminative Land Uses highlighted within section 1e of this report. Further details are shown on the following pages.



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- | | |
|--|---|
| ✕ Fuel Station Entries | ☑ ▲ Ⓞ Potentially Infilled Land (Non-Water) |
| ★ Contemporary Trade Directories | ☒ ▲ Ⓞ Potentially Infilled Land (Water) |
| ⊕ Former Marshes | ☐ ● Ⓞ Potentially Contaminative Industrial Uses (Past Land Use) |
| ▼ Historical Tanks and Energy Facilities | |



Section 1e: Other Potential Contaminative Land Uses

This section describes either current or historic activity, which could be considered to be contaminative. This section makes no statement about whether the activity requires a licence; however our environmental experts deem that the activities described in this section could lead to potential contamination. The information is taken from a variety of sources including trade directories, Landmark's extensive historical map collection and analysis of historic activity. Records are highlighted due to the potential for contamination to exist.

| Enquiry | Result |
|--|--------|
| Have any other potential sources of contamination been identified within 250m of the property? | Yes |

| Map ID | Reference | Location | Details | Distance | Contact |
|---|--|--|--|----------|---------|
| Fuel Station Entries | | | | | |
| No factors identified for this property | | | | | |
| Contemporary Trade Directory Entries | | | | | |
| 6 | Name: Air & Sea Excess Luggage Worldwide Movers Ltd | 102-104 Sheen Road Richmond Surrey TW9 1UF | Classification: Boxes & Cartons Status: Inactive Positional Accuracy: Automatically positioned to the address | 25m | - |
| 7 | Name: Rapid Clear | 96 Sheen Road Richmond Surrey TW9 1UF | Classification: Rubbish Clearance Status: Inactive Positional Accuracy: Automatically positioned to the address | 27m | - |
| 8 | Name: Village Dry Cleaning | 94 Sheen Road Richmond Surrey TW9 1UF | Classification: Dry Cleaners Status: Active Positional Accuracy: Automatically positioned to the address | 41m | - |
| 9 | Name: Spaceist Ltd | 85 Sheen Road Richmond Surrey TW9 1YJ | Classification: Office Furniture & Equipment Status: Inactive Positional Accuracy: Automatically positioned to the address | 61m | - |
| 9 | Name: Method Products | 85 Sheen Road Richmond Surrey TW9 1YJ | Classification: Cleaning Materials & Equipment Status: Inactive Positional Accuracy: Manually positioned to the address or location | 61m | - |

| Map ID | Reference | Location | Details | Distance | Contact |
|--------|-----------------------------------|---|---|----------|---------|
| 10 | Name: Quickprint | 114 Sheen Road Richmond Surrey TW9 1UR | Classification: Printers Status: Inactive Positional Accuracy: Automatically positioned to the address | 64m | - |
| 11 | Name: Wingas | Burleigh House 73 Sheen Road Richmond TW9 1YJ | Classification: Gas Suppliers Status: Inactive Positional Accuracy: Automatically positioned to the address | 70m | - |
| 12 | Name: Cleaners Of Richmond | 120a Sheen Road Richmond Surrey TW9 1UR | Classification: Carpet, Curtain & Upholstery Cleaners Status: Inactive Positional Accuracy: Automatically positioned to the address | 79m | - |
| 13 | Name: Flavoil Edible Oils | St Davids House,15 Worple Way Richmond Surrey TW10 6DG | Classification: Oils - Edible Status: Active Positional Accuracy: Automatically positioned to the address | 84m | - |
| 14 | Name: Alpha | Maisonette First and Second Floor 107 Sheen Road Richmond TW9 1YJ | Classification: Rubbish Clearance Status: Inactive Positional Accuracy: Automatically positioned to the address | 84m | - |
| 15 | Name: White Hart | 78 Sheen Road Richmond Surrey TW9 1UF | Classification: Dry Cleaners Status: Inactive Positional Accuracy: Automatically positioned to the address | 85m | - |
| 16 | Name: Nations Petroleum | Worple Way Richmond Surrey TW10 6AG | Classification: Oil & Gas Exploration Supplies & Services Status: Inactive Positional Accuracy: Manually positioned to the road within the address or location | 85m | - |
| 17 | Name: Action Graphics Ltd | Dunstable Rd Richmond Surrey TW9 1UH | Classification: Printers Status: Inactive Positional Accuracy: Manually positioned to the road within the address or location | 92m | - |

| Map ID | Reference | Location | Details | Distance | Contact |
|--------|---------------------------------------|--|--|----------|---------|
| 18 | Name: Simpson Drewett & Co Ltd | 70 Sheen Road Richmond Surrey TW9 1UF | Classification: Printers Status: Inactive Positional Accuracy: Automatically positioned to the address | 97m | - |
| 19 | Name: A Dunn | 128 Sheen Road Richmond Surrey TW9 1UR | Classification: Antiques - Repairing & Restoring Status: Inactive Positional Accuracy: Manually positioned to an adjacent address or location | 104m | - |
| 20 | Name: Great Projects | 62 Sheen Road Richmond Surrey TW9 1UF | Classification: Engineers - General Status: Inactive Positional Accuracy: Automatically positioned to the address | 124m | - |
| 21 | Name: William Mehornay | 17 Princes Road Richmond Surrey TW10 6DQ | Classification: China & Glassware Manufacturers & Repairs Status: Inactive Positional Accuracy: Automatically positioned to the address | 143m | - |
| 22 | Name: Deeez Services Ltd | 58 SHEEN PARK RICHMOND TW9 1UP | Classification: Carpet, Curtain & Upholstery Cleaners Status: Active Positional Accuracy: Automatically positioned to the address | 146m | - |
| 23 | Name: Ats Euromaster Ltd | Kings Road Richmond Surrey TW10 6EG | Classification: Tyre Dealers Status: Inactive Positional Accuracy: Automatically positioned to the address | 171m | - |

Former Marshes

No factors identified for this property

Potentially Infilled Land (Non-Water)

No factors identified for this property

Potentially Infilled Land (Water)

No factors identified for this property

Potentially Contaminative Industrial Uses (Past Land Use)

| | | | | | |
|----|--------------|--------------|--|------|---|
| 24 | Not Supplied | Not Supplied | Class: Railways Map Published Date: 1871 - 1988 | 143m | - |
|----|--------------|--------------|--|------|---|

| Map ID | Reference | Location | Details | Distance | Contact |
|--------|--------------|--------------|--|----------|---------|
| 25 | Not Supplied | Not Supplied | Class: Railways Map Published Date: 1874 - 1988 | 149m | - |
| 26 | Not Supplied | Not Supplied | Class: Road haulage Map Published Date: 1988 | 175m | - |
| 27 | Not Supplied | Not Supplied | Class: Railways Map Published Date: 1920 - 1949 | 188m | - |
| 28 | Not Supplied | Not Supplied | Class: Railways Map Published Date: 1898 | 193m | - |

Historical Tanks And Energy Facilities

| | | | | | |
|----|--------------|--------------|---|------|---|
| 29 | Not Supplied | Not Supplied | Type: Electrical Sub Station Facilities Positional Accuracy: Positioned to location of cartographic text Date of Mapping: 1983 | 12m | - |
| 30 | Not Supplied | Not Supplied | Type: Potential Tanks Positional Accuracy: Positioned to location of cartographic text Date of Mapping: 1974 | 165m | - |
| 31 | Not Supplied | Not Supplied | Type: Electrical Sub Station Facilities Positional Accuracy: Positioned to location of cartographic text Date of Mapping: 1974 | 194m | - |

Next Steps

If you would like any further information in respect of the above findings we recommend that you contact our Customer Services Team, whose details can be found in the 'Useful Contacts' section of this report. Further Information is also available in the 'Useful Information' section.



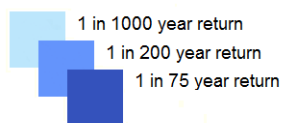
Section 2a and 2b: River and Coastal Flooding

The map below shows the location of potential river and coastal flood risk. The potential risk has been modelled on the basis of events with a 1 in 75, 200 or 1000 chance of occurring in any given year. Further details are shown on the following pages.

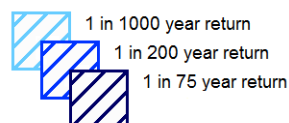


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River Flooding



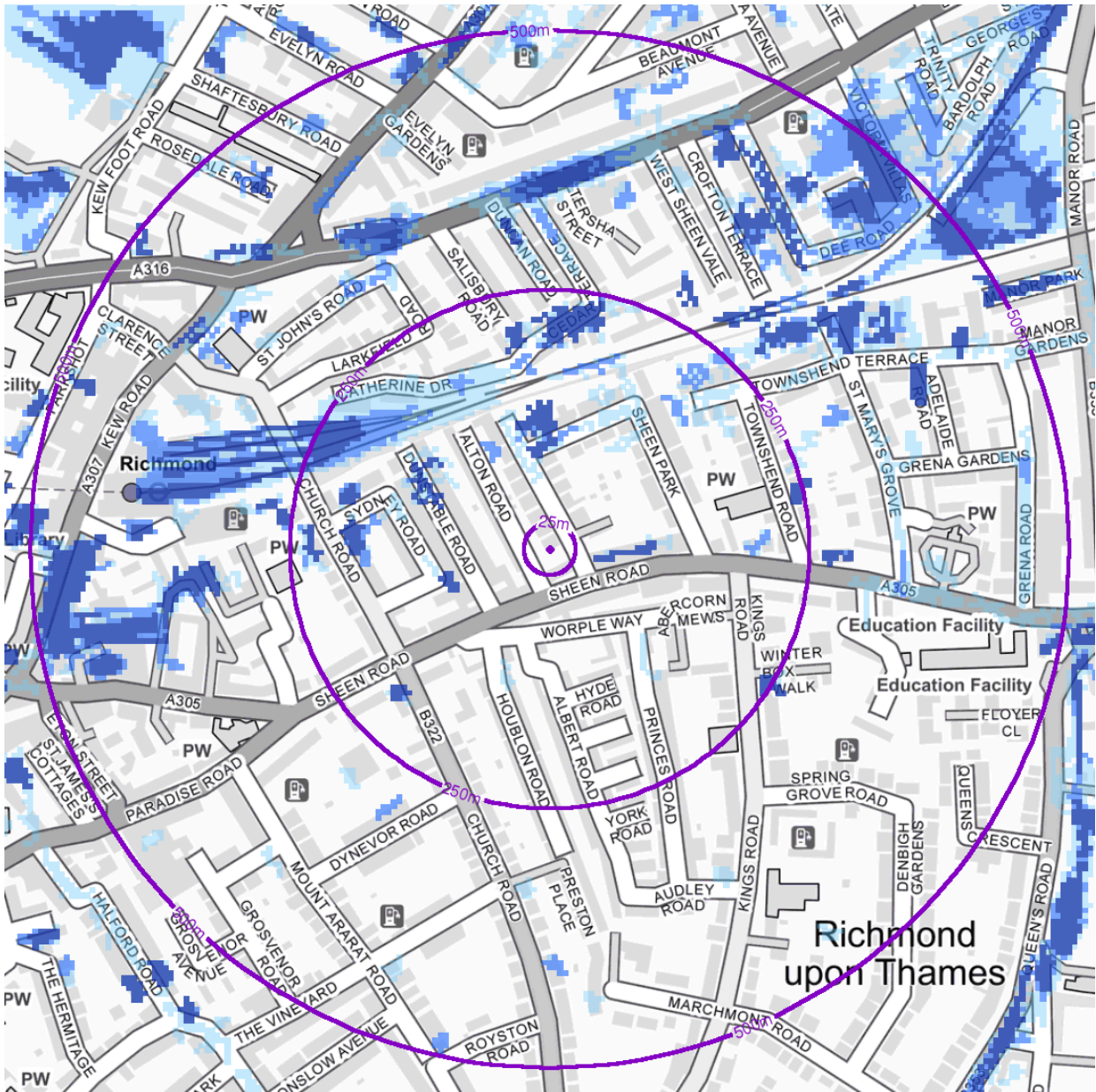
Coastal Flooding





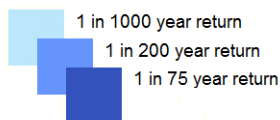
Section 2c: Surface Water Flooding

The map below shows the location of potential surface water flood risk. The potential risk has been modelled on the basis of events with a 1 in 75, 200 or 1000 chance of occurring in any given year. Further details are shown on the following pages.



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Surface Water Flooding





Section 2a: River Flooding

River flooding mainly happens when the river catchment (that is the area of land that feeds water into the river and the streams that flow into the main river) receives greater than usual amounts of water (for example through rainfall or melting of snow). The amount of runoff depends on the soil type, catchment steepness, drainage characteristics, agriculture and urbanisation as well as the saturation of the catchment. The extra water causes the level of the water in the river to rise above its banks or retaining structures. The result is a worst-case scenario and assumes the failure of any defences which may be present.

| Enquiry | Result | Contact |
|--|--------|---------|
| Is there a potential risk of river flooding within 250m of the property? | No | - |



Section 2b: Coastal Flooding

Coastal flooding is the inundation of land caused by sea water rising above normal tidal conditions due to the effects of severe weather conditions (a combination of storm surge, tides and river inflow). The result is a worst-case scenario and assumes the failure of any defences which may be present.

| Enquiry | Result | Contact |
|--|--------|---------|
| Is there a potential risk of coastal flooding within 250m of the property? | No | - |



Section 2c: Surface Water Flooding

Surface water flooding results from rainfall running over ground before entering a watercourse or sewer. It is usually associated with high intensity rainfall events (typically greater than 30mm per hour) but can also occur with lower intensity rainfall or melting snow where the ground is already saturated, frozen, developed (for example in an urban setting) or otherwise has low permeability.

| Enquiry | Result | Contact |
|--|--------|---------|
| Is there a potential risk of surface water flooding within 250m of the property? | Yes | - |

Next Steps

If you wish to gain more detailed information on the type and likelihood of your property being impacted by a flood event and the potential impact on insurance, we recommend that you purchase our Landmark Flood Report. If you would like more information please contact your Search Provider or our Customer Services Team on **0844 844 9966** or email helpdesk@landmark.co.uk.

Flood data provided by JBA Risk Management Limited. © Copyright JBA Risk Management Limited 2008-2023.



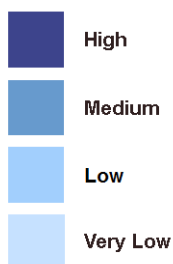
Section 2d and 2e: RoFRS and Historic Flood Events

The map below shows the location of RoFRS and Historic Flood Events. Further details are shown on the following pages.



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Risk of Flooding from Rivers and Sea (RoFRS)



Historic Flood Events





Section 2d: Risk of Flooding from Rivers and Sea (RoFRS)

The Risk of Flooding from Rivers and Sea (RoFRS) database provides an indication of river and coastal flood risk at a national level using a 50m grid as used by many insurance companies. The RoFRS data product has been created by calculating the actual likelihood of flooding to areas of land within the flood plain of an extreme flood and considers the probability that the flood defences will overtop or breach. The risk level is divided into four categories 'Low', 'Medium', 'High', and 'Very Low'.

| Enquiry | Result |
|---|--------|
| Is there a risk of flooding identified within 250m of the property based on the Risk of Flooding from Rivers and Sea (RoFRS)? | No |

| Map ID | Reference | Location | Details | Distance | Contact |
|--|-----------|----------|---------|----------|---------|
| Risk of Flooding from Rivers and Sea (RoFRS) | | | | | |
| No Risk Found | | | | | |



Section 2e: Historic Flood Events

The Historic Flood Events shows the individual areas of all historic flood events recorded by the relevant agency. This information is a useful tool to identify homes and businesses that may have experienced flood problems in the past. An area affected by a historic flood event may now be protected through an increase in flood management schemes and defences, meaning that it may not necessarily flood again. Equally the absence of a historic flood event does not mean that flooding has never occurred in an area, but that the agency do not have a record of it.

| Enquiry | Result |
|--|--------|
| Have any Historic Flood Events occurred within 250m of the property? | No |

| Map ID | Reference | Location | Details | Distance | Contact |
|-----------------------|-----------|----------|---------|----------|---------|
| Historic Flood Events | | | | | |
| No Events Found | | | | | |



Section 2f: Groundwater Flooding

| Enquiry | Result | Contact |
|---|--------|---------|
| What is the risk of Groundwater Flooding within 250m of the property? | Low | 2 |

Comment: There is a low risk of groundwater flooding in this area with a chance of greater than 1% annual probability of occurrence. For sensitive land uses further consideration of site topography, drainage, and historical information on flooding in the local area should be undertaken by a suitably qualified professional.

Next Steps

If you wish to gain more detailed information on the type and likelihood of your property being impacted by a flood event and the potential impact on insurance, we recommend that you purchase our Landmark Flood Report.

If you would like more information please contact your Search Provider or our Customer Services Team on **0844 844 9966** or email helpdesk@landmark.co.uk.



Section 3a: New Rail Infrastructure

High Speed Rail Link and Crossrail 1 and 2 are new rail links proximity to which is likely to have an impact on surrounding areas

| Enquiry | Result |
|--|--------|
| Is the property within 2km of the proposed HS2 rail development? | No |
| Is the property within 2km of the proposed Crossrail 1 or 2 rail developments? | No |



Section 3b: Oil and Gas Exploration and Production

Any areas to be explored for their energy potential by the oil & gas industry must be licensed by the Oil and Gas Authority. Such exploration includes areas subject to hydraulic fracturing ("fracking") investigation.

| Enquiry | Result |
|---|--------|
| Is the property within 4km of an area licensed for onshore energy exploration and production? | No |
| Is the property within 4km of an area that has been offered for licensing for the onshore exploration oil and gas by the Oil and Gas Authority? | No |
| Is the property within 4km of a well used for energy exploration or extraction? | No |



Section 3c: Existing or Proposed Wind Farms and Wind Turbines

Wind energy is one of several alternative energy sources; however, the location of wind farms or turbines can be contentious due to visual and auditory impact on the surrounding area. The information in this section gives insight into whether there are wind farms or turbines (planned or existing) in the vicinity of the report location. Planning Applications showing a "Planning Application Refused" status are reported as active as they can be resubmitted or appealed until Planning Permission has expired, or they are withdrawn or abandoned by the Applicant. We detail only those wind power developments which generate between 1MW and 50MW of power.

| Enquiry | Result |
|---|--------|
| Is the property within 4km of existing or proposed wind farms or wind turbines? | Yes |



Section 3d: Existing or Proposed Solar Farms

Solar energy is one of several alternative energy sources; however, the location of a solar farm can be contentious due to its visual impact on the surrounding area. The information in this section gives insight into whether there are solar farms (planned or existing) in the vicinity of the report location. Planning Applications showing a "Planning Application Refused" status are reported as active as they can be resubmitted or appealed until Planning Permission has expired, or they are withdrawn or abandoned by the Applicant. We detail only those solar developments which generate between 1MW and 50MW of power.

| Enquiry | Result |
|---|--------|
| Is the property within 2km of existing or proposed solar farms? | No |

Next Steps

In order to gain more detailed information regarding the potential impact of HS2, Crossrail 1 and 2, Energy Production, Wind Farms or Solar Farms on your property we recommend that you purchase an Argyll Energy & Infrastructure report. If you would like more information please contact your Search Provider or our Customer Services Team on **0844 844 9966** or email helpdesk@landmark.co.uk.



Section 4a: Man-Made Factors

| Enquiry | Result | Contact |
|---|-----------------|---------|
| Is the property within 25m of a Coal Mining Affected Area? | No | - |
| What is the potential for ground instability relating to non-coal mining within 50m of the property? | No Known Mining | - |
| <p>Comment: The British Geological Survey has assessed that there are no known hazards because of underground non-coal mine workings in this area. It should be noted that there is always the possibility of excavations that are outside of the scope of this dataset which could affect ground stability.</p> | | |
| Are there any Man-Made mining cavities within 250m of the property? | No | - |



Section 4b: Natural Factors

| Enquiry | Result | Contact |
|--|----------|---------|
| Are there any Natural cavities within 250m of the property? | No | - |
| What is the potential for natural ground instability in the area within 50m of the property? | Moderate | 3 |
| <p>Comment: The British Geological Survey has assessed the area of search as having moderate potential for natural ground instability. This does not necessarily mean there is cause for concern in terms of the property's stability. Active subsidence will be dependent on local conditions, such as the proximity of trees or areas where trees have been removed, which require an inspection of the site to identify the nature of the ground on which the property is built. A house buyers survey is advised to look for signs of property damage that may indicate poor natural ground conditions.</p> | | |

Next Steps

This section has highlighted that ground stability is an area of concern, meaning that your property may be affected by subsidence or land-heave. If you would like any further information in respect of the above findings we recommend that you purchase our Homecheck Mining and Subsidence Report. Please contact your Search Provider or our Customer Services Team on **0844 844 9966** or email helpdesk@landmark.co.uk.



Section 5: Radon Findings

The information within this section tells you whether the property is located in a radon affected area. Radon is a radioactive gas which occurs naturally in rocks and soils. You cannot see, hear, feel or taste it. Exposure to particularly high levels of radon may increase the risk of developing lung cancer, and is therefore something you need to be aware of.

| Enquiry | Result | Contact |
|--|--|---------|
| Is the property in a radon affected area? | The property is in a lower probability radon area, as less than 1% of homes are above the action level | 4 |
| What level of radon protection measures for new dwellings or extensions to existing ones is required for the property? | No radon protective measures are necessary in the construction of new dwellings or extensions | 4 |

Next Steps

The level of radon concentration can only be established by having the building tested. Action should be taken if the indoor radon level is measured and found to be above 200 becquerel's per cubic meter. If you would like any further information we recommend you contact Public Health England, whose details can be found in the 'Useful Contacts' section of this report.

Further Action

Airtech Environmental Systems can advise on radon testing kits, which cost £39.36 including VAT and can run from 7 days to 3 months. They also have a team of surveyors on hand to provide recommendations and advice for any properties above the target level of 100 becquerel's per cubic meter or action level of 200 becquerel's per cubic meter. Airtech Environmental Systems can provide a report, recommendations and a quotation for any recommended works. For more detailed information please call their free-phone number 0800 378017.



Section 6a and 6b: Other Influential Factors

The map below shows the location of any Overhead Power Lines highlighted within Section 6a of this report. It also shows the location of any Environmental Constraints that are from datasets recognised as being relevant to Part 2A of the Environmental Protection Act 1990, that are highlighted in Section 6b of this report. Further details are shown on the following pages.



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Section 6a

- Overhead Power Line
- Pylon or Mast

Section 6b

- Local Nature Reserves
- Marine Conservation Zones
- National Nature Reserves
- Ramsar Sites
- Sites of Special Scientific Interest
- Special Areas of Conservation
- Special Protection Areas



Section 6a: Overhead Power Lines

This section of the report contains information on pylons and overhead power lines. Overhead lines can be contentious and may have a visual impact on the surrounding area. Please note that Overhead Transmission Lines are extracted from Ordnance Survey Landline data in MasterMap and only show significant lines; if the pylons and lines are not shown on the mapping then they will not be reported.

| Enquiry | Result | Contact |
|---|--------|---------|
| Are there any Overhead Power Lines within 250m of the property? | No | - |



Section 6b: Environmental Constraints

This section provides information on areas which have been designated as having environmental or historical importance; as such there may be constraints on property or land developments or alterations.

| Enquiry | Result |
|--|--------|
| Is the property within 250m of an area likely to be impacted by Environmental Constraints? | No |

| Map ID | Reference | Location | Details | Distance | Contact |
|--|-----------|----------|---------|----------|---------|
| Ancient Woodland | | | | | |
| No factors identified for this property | | | | | |
| Areas of Outstanding Natural Beauty | | | | | |
| No factors identified for this property | | | | | |
| Boundaries - National Parks | | | | | |
| No factors identified for this property | | | | | |
| Country Parks | | | | | |
| No factors identified for this property | | | | | |
| Environmentally Sensitive Areas | | | | | |
| No factors identified for this property | | | | | |
| Forest Parks | | | | | |
| No factors identified for this property | | | | | |
| Local Nature Reserves | | | | | |
| No factors identified for this property | | | | | |
| Marine Conservation Zones | | | | | |
| No factors identified for this property | | | | | |

| Map ID | Reference | Location | Details | Distance | Contact |
|---|-----------|----------|---------|----------|---------|
| National Nature Reserves | | | | | |
| No factors identified for this property | | | | | |
| National Parks | | | | | |
| No factors identified for this property | | | | | |
| National Scenic Areas | | | | | |
| No factors identified for this property | | | | | |
| Nature Improvement Areas | | | | | |
| No factors identified for this property | | | | | |
| Ramsar Sites | | | | | |
| No factors identified for this property | | | | | |
| Sites of Special Scientific Interest | | | | | |
| No factors identified for this property | | | | | |
| Special Areas of Conservation | | | | | |
| No factors identified for this property | | | | | |
| Special Protection Areas | | | | | |
| No factors identified for this property | | | | | |
| World Heritage Sites | | | | | |
| No factors identified for this property | | | | | |

Useful Contacts

Please see below the contact details of all those referred to within this report.
For all other queries please contact:

Landmark Information Group

Imperium
Imperial Way
Reading
RG2 0TD

If you require assistance please contact our customer services team on:

0844 844 9966

or by email at:
helpdesk@landmark.co.uk

| Contact | Name | Address | Contact details |
|---------|---|--|--|
| 1 | London Borough of Richmond upon Thames Environmental Health Department | 4 Waldegrave Road Teddington Middlesex TW11 8EN | T: 020 8891 1411 F: 020 8891 7702 W: www.richmond.gov.uk |
| 2 | Landmark Information Group Limited | Imperium Imperial Way Reading Berkshire RG2 0TD | T: 0844 844 9966 F: 0844 844 9951 E: helpdesk@landmark.co.uk W: www.landmark.co.uk |
| 3 | British Geological Survey Enquiry Service | British Geological Survey Environmental Science Centre Nottingham Nottinghamshire NG12 5GG | T: 0115 936 3143 F: 0115 936 3276 E: enquiries@bgs.ac.uk W: www.bgs.ac.uk |
| 4 | Public Health England Radon Survey, Centre for Radiation, Chemical and Environmental Hazards | Chilton Didcot Oxfordshire OX11 0RQ | T: 01235 822622 F: 01235 833891 E: radon@phe.gov.uk W: www.ukradon.org |
| 5 | London Borough of Richmond upon Thames | Civic Centre 44 York Street Twickenham Middlesex TW1 3BZ | T: 020 8891 1411 F: 020 8891 7702 W: www.richmond.gov.uk |
| | Argyll Environmental Ltd | 1st Floor 98-99 Queens Road Brighton BN1 3XF | T: 0845 458 5250 F: 0845 458 5260 E: info@argyllenviro.com W: www.argyllenvironmental.com |

The Landmark website contains links to many of our data suppliers which may prove useful.

Please note that the Environment Agency/Natural Resources Wales/SEPA have a charging policy in place for enquiries.

Useful Information

The following explanatory notes may be of assistance to users of the Envirosearch Residential report. Practitioners are reminded that full guidance notes are contained in the Practitioners Guide.

Professional Opinion

A Professional Opinion in relation to Part 2A of the Environmental Protection Act 1990 is provided by Argyll Environmental Ltd. In many cases the report will be PASSED without referral. However, in some cases, entries that may be of concern are revealed by the search, in which case the report is REFERRED free of charge for more detailed consideration, although this will not include a physical site inspection. After such referral the report may be PASSED or suggestions made of some FURTHER ACTION that could be taken, in the form of questions to ask of the appropriate authorities. When responses to these questions are received it is the responsibility of the client and their professional advisors to decide if they are happy to proceed.

Flood Risk

A limited flood risk screening exercise is included in this report designed to satisfy basic flood risk screening due diligence including consideration of river, coastal, surface water and groundwater flooding. Where a potential flood risk is "Identified" you may wish to consider commissioning a more detailed flood risk screening report. When there is "None Identified" this does not indicate that there is not risk of flooding at the property, but that the risk of flooding from the sources screened (river, coastal, surface water and groundwater) within the vicinity of the property is such that the risk may not be considered significant.

Positional Accuracy

We locate data in a variety of ways according to information provided to us and subsequent in-house research. If data is provided as a point on the ground, we provide a "positional accuracy" which tells you how confident we are of the actual location.

Section 1b: Landfill and Waste

At present no complete national data set exists for landfill site boundaries, therefore, a point grid reference, provided by the data supplier, is used for some landfill sites. In certain cases the point grid references supplied provide only an approximate position, and can vary from the site entrance to the centre of the site. Where the exact position of the site is unclear for Registered Landfill data, Landmark construct either a 100 metre or 250 metre "buffer" around the point to warn of the possible presence of landfill. The size of this "buffer" relates to the positional accuracy that can be attributed to the site. The "buffer" is shown on the map as a red hatched area. For further information regarding landfill sites identified in the report, please contact the relevant agency or authority referenced in the Useful Contacts section.

The BGS holds records of over 3,000 landfill sites that accepted waste prior to the Control of Pollution Act (COPA) 1974. These were not subject to any strict regulation or monitoring.

Permitted Waste Sites and Environmental Permitting Regulations - Waste cover current or recently current consents issued for landfill sites, waste transfer, treatment or disposal sites by the relevant agency, under Section 64 of the Environmental Protection Act 1990 (Part 2) and prescribed by regulation 10 of SI No. 1056 of the Waste Management Licensing Regulations 1994.

Section 1c: Potentially Contaminative Activities

Identified discharge consents could be for storm water discharges, soakaways or septic tanks.

If a radioactive substance licence has been identified the consent band will be given under enquiries and replies. Consents fall into one of four bands: Band 1 and 2 Nuclear licensed sites authorised by the Nuclear Installations Inspectorate e.g. nuclear power stations Band 3 Site registered/authorised to accumulate and dispose of radioactive materials, only non-nuclear operations are carried out on site e.g. hospitals Band 4 Sites registered to keep and use radioactive material e.g. laboratories, universities, commercial premises using appliances such as monitoring equipment, alarm systems, tritium lighting etc.

Data supplied for Explosive Sites, Control of Major Accident Hazards Sites (COMAH) and Notification of Installations Handling Hazardous Substances (NIHHS) contains public sector information published by the Health and Safety Executive and licensed under the Open Government Licence.

Section 1e: Other Potential Contaminative Land Uses

This section relates to categories of potentially contaminative land uses that have been identified by the analysis of selected Ordnance Survey historical mapping. The published date (range of dates) of the map (s) and the distance from the centre of search to the nearest point of the feature is given. Further details of the extent of the site or its activities are not available. Should you wish to examine the Ordnance Survey maps these are normally available for public inspection at the local archive or local major library. Alternatively, extracts of editions of Ordnance Survey maps are available on www.old-maps.co.uk

Potentially infilled land has been identified when a 'cavity' (a hole made by an extractive industry or natural occurrence e.g. pond) was indicated on a historic map but there was no evidence of its existence in the last available map for the area. No details of what may have been used to fill the cavity or exactly when or if it was filled are available from the mapping.

The point locations of historical tanks and energy facilities are identified from the text on Ordnance Survey 1:1250 and 1:2500 scale mapping published between 1943 and 1996, based upon a predetermined list of abbreviations, e.g. El Sub (Electricity Sub-station) and F Stn (Filling Station). The position of the point has been located at the centre of the identified text so that it would be within approximately 30 meters of the feature it was describing. The features themselves are related to energy and petroleum storage and cover the following: tanks, petrol storage, potential tanks (at depots etc.), electricity sub stations and related features, gas and gas monitoring related features, oil related features and miscellaneous power features. NB: It should be noted that the Ordnance Survey abbreviation for tank (tk) is the same as that for tracks. Therefore some of the captured text may relate to tracks and not tanks when the exact nature of the feature is not clear from the mapping.

Useful Information

Section 2: Flood Findings

Sections 2a, b and c of the report provide data on modelled extents of river, coastal and surface water flooding generated by JBA Risk Management, a market leader in flood risk assessment commonly engaged by insurers to assess flood risk. The data has been modelled for several perils or return periods: 1 in 75, 1 in 200 or 1 in 1000 which relate to areas with a 1.3%, 0.5% and 0.1% annual probability of flooding in any one year respectively. Properties at risk of flooding during a 1 in 75 year event are typically considered to be at a high risk of flooding. The data has been generated to provide a UK wide screening tool and as a result may have inherent limitations. In addition, there may be areas of the country which are modelled to varying degrees of accuracy based on currently available topographical information.

Section 2d of the report provides data relating to the Risk of Flooding from Rivers and Sea (RoFRS) dataset provided by the environment relevant agency. Each agency has used its own data to further assess the risk of river or coastal flooding to the area of land located within an extreme flood zone. It was originally conceived to guide where flood defences were most needed. The risk assessment takes into account a variety of hypothetical levels of rainfall or coastal flooding (both in terms of intensity and duration) and certain flood defences, which it assumes will work effectively. The data generated considers a 50m² area and assigns a risk level (either low, medium or high). The model does not differentiate between properties within the grid square, nor does it predict the depth of any resultant flood (merely the risk of a flood occurring). The RoFRS data does not include flood risk from very small catchments areas as these are not considered reliable for UK-wide flood risk assessments, nor does it consider the potential impacts of climate change on flood risk or provide coverage in Scotland. The assessment is regularly updated and Landmark uses the latest version supplied by RoFRS. Many insurers use RoFRS as a guide to where to offer flood risk insurance cover.

Section 2e of the report includes information relating to records of historical flooding provided by the Environment Agency/Natural Resources Wales. It should be noted that the historical flood event database is not comprehensive. Further details regarding the nature of any historical flood events are not supplied in this report, but can be obtained by contacting your local agency office.

Section 2f of the report provides data relating to the risk of groundwater flooding and is provided by GeoSmart, a leading independent scientific environmental consultancy specialising in water, land and sustainable development. Through research and development, building on their expertise in addressing groundwater flooding issues for the Environment Agency/Natural Resources Wales and other clients in the UK, GeoSmart has developed algorithms and calibrated predictions of the risk of groundwater flooding occurring in England and Wales. This differs from other suppliers of data regarding groundwater flooding which only report on the susceptibility of groundwater flooding. Susceptibility merely has to be identified, whereas risk must be quantified. The resulting data is a 5x5m classification of groundwater flooding risk into four categories (Negligible, Low, Moderate and High). GeoSmart's classifications are based on the level of risk, combining severity and uncertainty that a site will suffer groundwater flooding within a return period of about 100 years.

The data is a general purpose indicative screening tool, and is intended to provide a useful initial view for a wide variety of applications. However, it does not provide an alternative to a site specific assessment, and a detailed risk assessment should be used for any site where the impact of groundwater flooding would have significant adverse consequences.

Section 3: Energy & Infrastructure Findings

The Energy & Infrastructure section has been designed to satisfy standard due-diligence enquiries for residential and commercial sites. It is a limited, desk-based screen - we would recommend purchasing an Argyll Energy & Infrastructure report for further information. The report does not include data on all UK energy and infrastructure projects, nor does Landmark Information Group make specific information requests of the regulatory authorities for any relevant information they may hold. Therefore, Landmark Information Group cannot guarantee that all land uses or factors of concern will have been identified by the report. Landmark Information Group is unable to comment directly with regards to the potential effect these key energy or infrastructure projects will have on the value of nearby properties. We would recommend contacting an appropriate surveyor who can provide a valuation. While every effort is made to ensure accuracy, Landmark Information Group cannot guarantee the accuracy or completeness of such information or data. We do not accept responsibility for inaccurate data provided by external data providers. For further information regarding the datasets reviewed within our analysis, please contact our customer services team on 0844 844 9966. Crossrail 2 data is sourced from consultation documents as published by the Department of Transport

Section 5: Radon Findings

Due to the nature of way the information is gathered, your property/site may have more than one probability of radon attributed to it. We report the worst case scenario on the property/site you have provided. This information is an estimate of the probability that a property /site in Great Britain is at or above the "Action Level" for radon (the level at which Public Health England recommends that radon levels should be reduced, those with an average of 200 Bq m⁻³ or more). This information satisfies CON29 Standard Enquiry of Local Authority; 3.13 Radon Gas: Location of the Property in a Radon Affected Area and can also be used to advise house buyers and sellers in Scotland. Where the property/site is a new build, this information provides information on the level of protection required for new buildings under BR211 (Scivyer, 2007) Radon: Guidance on protective measures for new buildings and BR376 (BRE, 1999) Radon: Guidance on protective measures for new dwellings in Scotland.

Disclaimer: "Some of the responses contained in this section are based on data and information provided by the Natural Environment Research Council (NERC) or its component bodies the British Geological Survey (BGS). Your use of any information contained in this report which is derived from or based upon such data and information is at your own risk. Neither NERC, BGS nor Public Health England where applicable, gives any warranty, condition or representation as to the quality, accuracy or completeness of such information and all liability (including liability for negligence) arising from its use is excluded to the fullest extent permitted by law."

Section 6b: Environmental Constraints

The Local Nature Reserves national dataset is "indicative" not "definitive". Definitive information can only be provided by individual local authorities and you should refer directly to their information for all purposes that require the most up to date and complete dataset.

Useful Information

General

If after reading the details in this report regarding the sites identified, you still require further information, please contact the relevant agency or authority indicated in the Useful Contacts section quoting the corresponding reference given in the text of the report.

The contacts in the Useful Contacts section may be able to provide further information relating to items identified in the report, however they are not in a position to advise how these might affect the value of a property. The findings of the report should be discussed with your professional advisor.

The Purpose and Scope of the Report

The report is designed to satisfy the concerns raised by the Law Society warning card and has been prepared to assist conveyancing professionals who may be advising clients when they sell or buy a property, obtain a mortgage, seek further mortgage advice, or commence any building works. It is designed to bring information to their attention and help them decide whether they need to seek any further specialist advice. As the report is so detailed, this information can cause concern, but professional advisors will see that further action is suggested on all issues that have been identified.

Limitations

This report has been published by Landmark Information Group Limited ("Landmark") and is supplied subject to our Terms and Conditions of Business, which can be found at <http://www.landmarkinfo.co.uk/Terms/Show/534>. It has been prepared on the understanding that it is to be used for an individual residential property transaction and should not be used or relied upon in a commercial property transaction. This report is neither a guarantee of the physical condition of the subject property nor a substitute for any physical investigation or inspection. The information in Envirosearch Residential is derived from a number of statutory and non-statutory sources (see The Practitioner Guide for details). Whilst every effort is made to ensure the details in the report are correct, Landmark cannot guarantee the accuracy or completeness of such information or data, nor identify all the factors that may be relevant. If you are a private individual using this report Landmark recommends that you discuss its contents in full with your professional advisor. The methodology for risk assessment and the conclusions drawn therefrom are the responsibility of Argyll Environmental Ltd.

Insurance

Houses registered between 1st April 1999 and 31st December 2002 and covered by the NHBC Buildmark scheme probably have insurance against certain costs if contamination occurs within ten years of their construction. From 1st January 2003, NHBC will only provide this cover if building control has been carried out by NHBC Building Control Services Limited.

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Full Terms and Conditions can be found on the following link: <http://www.landmarkinfo.co.uk/Terms/Show/534>

If you experience difficulties accessing our Terms and Conditions, please copy and paste the link directly into your browser, you will then be able to access our Terms and Conditions from there. Should you still experience difficulties, please telephone our Customer Service Team on 0844 844 9966.

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Fax: 0844 844 9980
Email: helpdesk@landmark.co.uk

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The Standards:

- Conveyancing Information Executive Members shall act in a professional and honest manner at all times in line with the Conveyancing Information Executive Standards and carry out the delivery of the Search with integrity and due care and skill.
- Compliance with the Conveyancing Information Executive Standards will be a condition within the Conveyancing Information Executive Member's Terms and Conditions.
- Conveyancing Information Executive Members will promote the benefits of and deliver the Search to the agreed standards and in the best interests of the customer and associated parties.
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Please note that all queries or complaints regarding your search should be directed to your search provider in the first instance, not to TPO.

TPOs Contact Details:

The Property Ombudsman scheme
Milford House
43-55 Milford Street
Salisbury
Wiltshire SP1 2BP

Tel: 01722 333306
Fax: 01722 332296
Website: www.tpos.co.uk
Email: admin@tpos.co.uk

Complaints Procedure

If you want to make a complaint to Landmark, we will:

- Acknowledge it within 5 working days of receipt.
- Normally deal with it fully and provide a final response, in writing, within 20 working days of receipt.
- Keep you informed by letter, telephone or e-mail, as you prefer, if we need more time.
- Provide a final response, in writing, at the latest within 40 working days of receipt.
- Liaise, at your request, with anyone acting formally on your behalf.

Complaints should be sent to:

Customer Relationships Manager
Landmark Information
Imperium
Imperial Way
Reading
RG2 0TD

Tel: 0844 844 9966
Email: helpdesk@landmark.co.uk
Fax: 0844 844 9980

If you are not satisfied with our final response, or if we exceed the response timescales, you may refer the complaint to The Property Ombudsman Scheme (TPOs):

Tel: 01722 333306
Email: admin@tpos.co.uk

We will co-operate fully with the Ombudsman during an investigation and comply with his final decision.

Landmark Flood

Overall Flood Risk PASSED

The property is considered to be at minimal or no risk of flooding. However, you should ask the seller if the property has flooded in the past. The home buyer may wish to visit the online viewer to explore the surrounding area.

Insurability

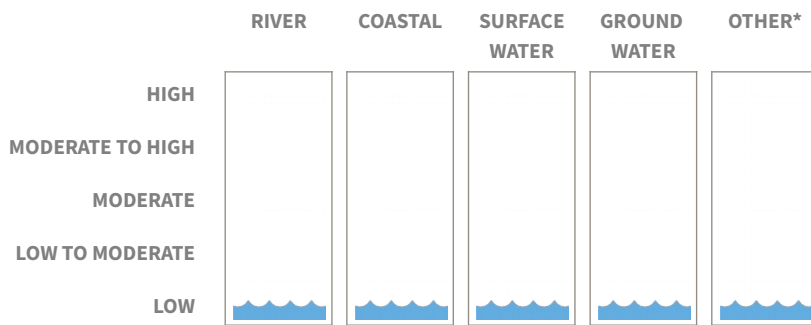
Buildings and contents insurance should be available and affordable. However, we recommend you obtain buildings and contents insurance terms before exchange of contracts to confirm this.

Flood Defences

Are there existing river/coastal flood defences that have been identified and taken into account in our overall risk assessment? **No**

Individual Flood Risks

The gauges below detail the level and type of individual flood risks at the property.



* Includes historic flood events, proximity to surface water features and elevation above sea level

This report is issued for the property described as:
2, Sheen Park, RICHMOND, TW9 1UW

Report Reference:
328779763

National Grid Reference:
518470 175090

Customer Reference:
HM58182_HCF

Report Date:
15 December 2023

 [Click here](#) to view the **online viewer**



CONTACT DETAILS

If you require any assistance please contact our customer support team on:

0844 844 9966

or by email at:
helpdesk@landmark.co.uk

Professional Opinion and Recommendations

Please see below our recommendations and next steps with regards to the property.



Overall Flood Risk

PASSED

Professional Opinion

Landmark Information Group have identified the property to be within an area that is at minimal or no risk of flooding.

Recommendations

1. Ask the seller and other nearby residents if flooding has historically occurred in the area. If it has, why did it what was the impact and what areas were affected.

Insurance

Buildings and contents insurance should be available and affordable. However, we recommend you obtain buildings and contents insurance terms before exchange of contracts to confirm this.

Flood Risk

Flood risk is based on probability; to understand more about flood and the information reviewed, including flood protection measures, please explore the flood section of this report or visit the 'Know Your Flood Risk' website at: www.knowyourfloodrisk.co.uk.

Useful Information:

No physical site inspection has been carried out or is proposed. This report highlights only the information which we have determined should be drawn to your attention however, other risks may be present. To review the complete information and for a full list of the data used for this report, please see the Useful Information section on the online viewer. Available at <https://landmarkflood.co.uk/?guid=dbb9941c-011b-4e81-b7d4-8ccf638ddc65>.

Next Steps:

If you require any assistance, please contact our customer service team **0844 844 9966** or helpdesk@landmark.co.uk

Property Location





Location Plan

The map below shows the location of the property



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-  Property
-  Search Radii

Property Purchaser Guide



Understanding this report

The purpose of this report is to provide a professional opinion on the likelihood of flooding at the property. The front page provides an overall assessment, an indication of the availability of insurance, as well as a flood gauge which is broken down into River, Coastal, Surface, Groundwater and Other flood risks to help visualise the potential flood risks. Within the report, we provide recommendations and further detail of any risk requiring further attention.

Overall Flood Risk

The overall flood risk is an assessment of all the flood data which has been analysed. It may differ from the individual risks on the flood gauge as we consider the overall risk to the property.

Risk Rating

Landmark Information Group provide one of three possible responses for the Overall Flood Risk at the property. These are:

Passed: this means no risk of flooding has been identified.

Passed moderate: this means that while potential flood risks have been found, these are not considered significant or frequent enough for a Further Action to be issued. The property purchaser should refer to the online viewer to explore these potential issues further.

Further Action: this means a significant risk of flooding at the property has been identified. Further assessment will be required.

Insurability

Based on the data assessed within this report, an indication of whether buildings insurance is likely to be available and affordable is provided.

Flood Defences

If river/coastal flood defences are known to be present, these are assumed to be operational and are taken into consideration in our Overall Flood Risk analysis.

Individual Flood Risks

These enable you to easily identify your level of risk from the various causes of flooding. However, a residual risk of flooding may be present if flood defences fail. We therefore, provide on the Professional Opinion and Recommendation

page the level of risk should any defences identified fail. It is important to note that flood defences do not usually protect the site against groundwater or surface water.

Flooding Types

There are several types of flooding taken into account when making our overall opinion. These are explained below. Where a risk is found, this is shown on the front page and further details are provided within the body of the report.

River Flooding

River flooding occurs when rivers and streams are unable to carry away floodwaters within their usual drainage channels. River flooding can cause widespread and extensive damage because of the sheer volume of water.

Coastal Flooding

Coastal flooding results from a combination of high tides, low lying land and sometimes stormy conditions. Coastal flooding can cause widespread and extensive damage because of the sheer volume of water.

Surface Water Flooding

Surface water flooding is common during prolonged or exceptionally heavy downpours, when rainwater does not drain away into the normal drainage systems or soak away into the ground.

Ground Water Flooding

Groundwater flooding generally occurs during long and intense rainfall when underground water levels rise above surface level. Groundwater flooding may last for weeks or several months.

Other Flooding

We analyse any historic flood events records, the proximity of the property to surface water features and the elevation of the property above sea level to enhance our overall analysis of the property.

Next Steps:

If you require any assistance, please contact our customer service team **0844 844 9966** or **helpdesk@landmark.co.uk**.

Preparation for a Flood Event

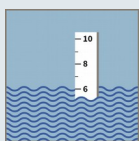
Understanding Flood Risk

It is important to understand that flooding can happen anywhere, even if you don't live near to a watercourse or the sea. This is because in periods of very heavy rainfall, water can collect in many places where there may be a dip in the ground or a barrier blocking the water's path. Severe rainfall events can also lead to water rising from under the ground as the ground becomes saturated and water is unable to drain away naturally.

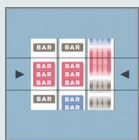
The impacts of flooding are not just financial as flooding can also devastate lives, causing both severe disruption at the time as well as continued disturbance through the drying out period in the months that follow. Therefore, it is important to consider any potential flood risk when purchasing a property.

Insurance may be expensive or difficult to obtain if your home is at risk, so it is vital to understand the risk of flooding of your home or before purchasing a property.

How is the Overall Flood Risk Calculated?



Impact: We consider the expected depths of flooding at your house. Low depths, for example, 10cm, are unlikely to put people at risk but water damage to buildings and contents may be significant without any flood protection. High water depths, for example 1m, may severely threaten the safety of people and may cause extensive damage to buildings. It may be dangerous to keep deep floods out of a building because of the large weight of water pressing against the wall.



Likelihood: Flood risk is based on probability and different approaches to flood protection may be needed depending upon how likely flooding is expected. A common way of expressing how likely a flood event is to occur is 'return period'. For example, a 1:100 year event has a 1% likelihood of occurring in any given year, whereas a 1:200 year event has a 0.5% likelihood of occurring in any given year. The 1:200 event would be expected to result in a greater extent of flooding than the 1:100 event, as it would be more severe, but the likelihood of it occurring is lower.



The Purpose and Scope of the Report

The Landmark Flood report is a desktop flood risk screening report, designed to satisfy the concerns raised by the Law Society Practice Note and to enable home buyers and property professionals to assess the risk of flooding at residential sites. It examines two key areas: (1) the overall risk of flooding at a site taking into account any flood defences present (where these are identified within the vicinity of the property and based on the presence of flood defences registered by The Environment Agency). It should be noted that a residual risk of flooding may remain if such defences were to fail owing to extreme weather conditions, over-topping or poor maintenance. In addition, it should be noted that flood defences do not generally offer protection against groundwater or surface water flooding (2) how flood risk affects the availability of insurance for a site. Where no flood defences are present in the vicinity of the property the overall risk rating provides a worst case scenario which may be alleviated by smaller scale local flood defences or recently constructed flood defences not currently registered by The Environment Agency.

Where several flood risks have been identified, the report highlights the most risky and details the information Landmark consider should be drawn to your attention as part of the conveyancing transaction. However, other flood risks may be present. A home buyer may wish to review the complete information at and around the property using the online viewer.

The Landmark Flood report is a general purpose indicative screening tool, and is intended to provide a useful initial analysis for a residential conveyancing transaction. It does not provide an alternative to a property specific assessment, such as the Flood Solutions Consult Report, which should be used when this report suggests 'Further Action'.

The Individual Flood Risks

The individual flood risk gauges on the front page highlight the individual river, coastal, surface water, ground water and other types of flooding risk at the property, taking into consideration any flood defences found. These risks are used to determine the overall flood risk to the property. The individual flood risks are demonstrated in the gauges as follows:

| | |
|----------------------------------|--|
| High Moderate To High | Landmark consider the individual flood risk to be significant. This is because there is a potential flood risk that would be likely to occur fairly frequently or the predicted depth of any flood event would result in significant impact and/or there is a flood water storage area on property and/or there is information to suggest a flood has happened in the past. It is recommended that you refer to the Overall Flood Risk and take note of the Professional Opinion and Recommendations as further action will be required. |
| Moderate | Landmark consider the individual flood risk to be moderate. This is either because of a potential flood that is likely to occur with moderate frequency, or because the predicted depth of potential flooding at the property is likely to be shallow and insufficient to cause a significant issue. It is recommended that you check the Overall Flood Risk result and refer to the Professional Opinion and Recommendations for guidance and next steps. |
| Low To Moderate | This describes areas that Landmark Information Group consider are at low to moderate risk flooding. These are areas where we have found some indication of potential flood risk, however any resulting flooding would be expected to be infrequent, or have a low predicted depth. It is recommended that you check the Overall Flood Risk to the property as this may differ from the individual flood risks. |
| Low | This describes areas that Landmark Information Group consider are at minimal or no risk of flooding. These are areas where there may be some indications of potential flood risk, however any flooding would be expected to be very infrequent, or have a very low predicted depth. It is recommended that you check the Overall Flood Risk to the property as this may differ from the individual flood risks. |

Useful Information

Limitations and Terms & Conditions

This report has been published by Landmark Information Group Limited (“Landmark”) and is supplied subject to our Terms and Conditions of Business, which can be found at <http://www.landmarkinfo.co.uk/Terms/Show/534>. It has been prepared on the understanding that it is to be used for an individual residential property transaction and should not be used or relied upon in a commercial property transaction. This report is neither a guarantee of the physical condition of the subject property nor a substitute for any physical investigation or inspection. Whilst every effort is made to ensure the details in the report are correct, Landmark cannot guarantee the accuracy or completeness of such information or data, nor identify all the factors that may be relevant. If you are a private individual using this report Landmark recommends that you discuss its contents in full with your professional advisor.

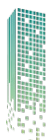
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Landmark works in association with:



Environment Agency



Conveyancing Information Executive



Cyfoeth Naturiol Cymru
Natural Resources Wales



Important Consumer Protection Information

This search has been produced by Landmark Information Group Ltd, Imperium, Imperial Way, Reading, Berkshire, RG2 0TD.

Tel: 0844 844 9966

Fax: 0844 844 9980

Email: helpdesk@landmark.co.uk

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