

| HERITAGE, DESIGN & ACCESS STATEMENT | |
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| Project | New single storey rear and side extension at 2 Sheen Park, Richmond, TW9 1UW |
| Applicant | Mrs E Guilhem |
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1. INTRODUCTION

1.1 Purpose of this document

MBCS Architectural Services Limited have been commissioned to design a new extension to the property at No. 2 Sheen Park, Richmond, London, TW9 1UW.

This heritage, design and access statement has been prepared to support an application for Householder Application for an extension to a dwelling.

1.2 The Site

The site is located at No. 2 Sheen Park.

The 0.2 Hectare site is located approximately 35m from the corner of Sheen Park with the A305 Sheen Road.

Sheen Park is a quiet residential street within an established residential area and situated in the North-East of the London Borough of Richmond upon Thames, near Richmond main line railway station.

The site is within the Sheen Road Conservation Area 31.

The site is defined by approx. 1.8m high fence lines to adjacent rear gardens to the North and South boundaries and an existing garage to the West opening onto Alton Road.

Main access to the site is from the East boundary which is defined by a low-level brick wall and planting.

1.3 The Proposal

The householder planning application is for a single storey rear and side extension.

The proposed development consists of the demolition of the existing out-building housing storage and a WC and the demolition of the ground floor storey to the existing 2-storey addition at the rear.

Following the demolition of the above a new single storey rear and side extension is being proposed to provide larger family spaces and kitchen areas.

2. ANALYSIS

2.1 Existing building

The existing building is a 4-bedroom, mid Victorian, semi-detached house arranged over 3-storeys.

The main building is a typical mid-Victorian design with a large rectangular main block with gabled roof and a mono-pitched 2-storey projection to the rear.

The walls are built with an orange brick to the main block and a yellow stock to the rear projection.

Decorative white stone string courses, corbelling, window arches and cills and fascia panels are incorporated into the main block, with stone cills and grey brick flat arches to the 2-storey projection to the rear.

Off-street parking is provided by a double garage in the rear garden accessed via Alton Road.

2.2 Considerations

The building is not listed on the statutory list of buildings of special architectural or historical interest.

Located within the Sheen Road Conservation Area 31, the main character of the area are the development of the 18th and early to mid-19th century buildings along Sheen Road and later residential terraces and semi-detached houses leading up to the railway line to the North of the area.

2.3 Planning Context

There have been a number of approved planning applications for single-storey rear extensions in the nearby area, not just limited to Sheen Park.

Neighbouring properties 11, 13 and 15 Sheen Park have been granted planning permission for large single-storey rear extensions.

3. DESIGN PROPOSALS

3.1 Design Summary

The adopted approach seeks to retain the characteristics of the conservation area evident in the design of the existing building.

The design proposals are:-

- Facing materials to be in keeping with the existing.
- Design features to be in keeping with the existing.
- Vertical proportions being maintained to co-ordinate with the heights of the existing elevational elements.

The design proposals include new rear aluminium framed bi-fold doors leading onto the rear garden and rooflights to the new flat roof.

3.2 Use

The proposals are to provide larger family spaces and kitchen areas.

3.3 Floor area

The proposed increase in floor area is 18.3m², which represents a circa 10% increase to the floor area of the existing building (180m²).

3.4 Layout

The proposed extension uses part of the existing hard-landscaped areas to the rear and side but retains the majority of the existing planted garden space. The layout of the new extension will provide open plan family and kitchen areas with direct access into the rear garden, as well as side access from the existing path along the gable elevation.

3.5 Scale and massing

The extension is single storey and is harmonious with the vertical proportions of the main building.

The extent of the rear and side extension aligns with the rear wall of the existing 2-storey.

3.6 Landscaping

Existing hard-landscaped areas to the rear garden will be removed to accommodate the new extension.

There is no loss of green space.

3.7 Materials and appearance

The extension will be built in facing brickwork, the front and side elevation in an orange brick and the rear in a yellow stock to match the existing vernacular. Stone and brick detailing will be incorporated to match that of the existing building and the overall design has been put together with the requirements of the 'Local Plan Supplementary Planning Document House Extensions and External Alterations May 2015'.

3.8 Access

There is no change to the existing site access, nor is there any change to the vehicular access to the existing double garage to the rear.

4. LIST OF DOCUMENTS AND DRAWINGS

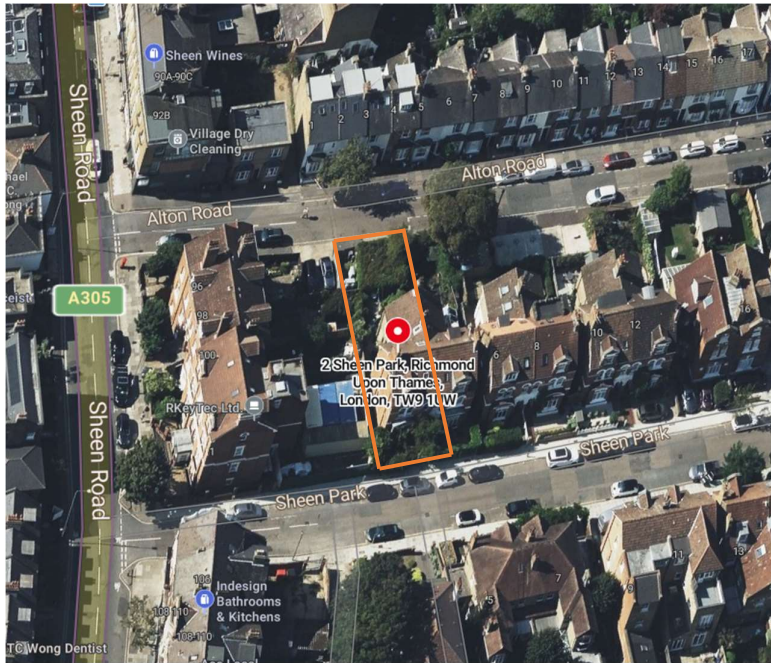
4.1 Drawings

- MBCS2024 003 APL001 P1 LOCATION PLAN
- MBCS2024 003 APL010 P1 EXISTING SITE PLAN
- MBCS2024 003 APL011 P1 EXISTING GROUND AND 1ST FLOOR PLANS
- MBCS2024 003 APL012 P1 EXISTING ELEVATIONS
- MBCS2024 003 APL020 P1 PROPOSED SITE PLAN
- MBCS2024 003 APL021 P1 PROPOSED GROUND AND 1ST FLOOR PLANS
- MBCS2024 003 APL022 P1 PROPOSED ELEVATIONS
- MBCS2024 003 APL023 P1 FIRE STRATEGY DRAWING

4.2 Documents

- MBCS2024 003 APL030 P1 DESIGN STATEMENT
- MBCS2024 003 APL031 P1 HERITAGE DESIGN & ACCESS STATEMENT
- MBCS2024 003 APL032 P1 FLOOD RISK ASSESSMENT
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5. EXISTING PHOTOGRAPHS



5.1 Satellite site photograph



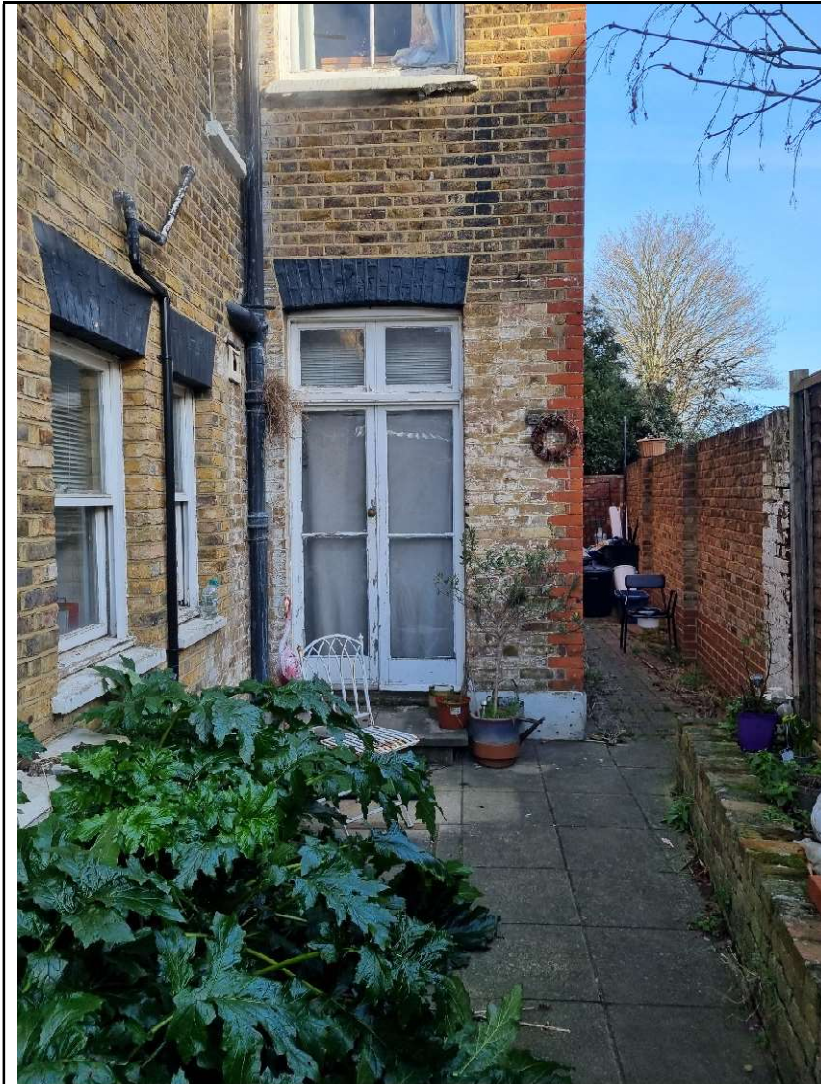
5.2 Front elevation view to East boundary from Sheen Park



5.3 Side elevation view to South boundary from Sheen Park



5.4 Existing out-building to be demolished.



5.5 Existing brick and render detailing to be incorporated within the new proposal.



5.6 Stone corbel and string detail to be incorporated within the new proposal.