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Design and Access Statement 35 Leinster Avenue, London SW14 7JW

Date : 24/06/2024 Version 2 prepared by Stylus Architects

This statement has been prepared by Stylus Architects on behalf of our clients, Mr Pratt, as part of a planning application submission to Richmond Upon Thames Council. This statement should be read in conjunction with the other documents and drawings submitted as part of the application. The aim is to explain the design concept and principles for the proposed ground floor rear extension and alterations to the property.

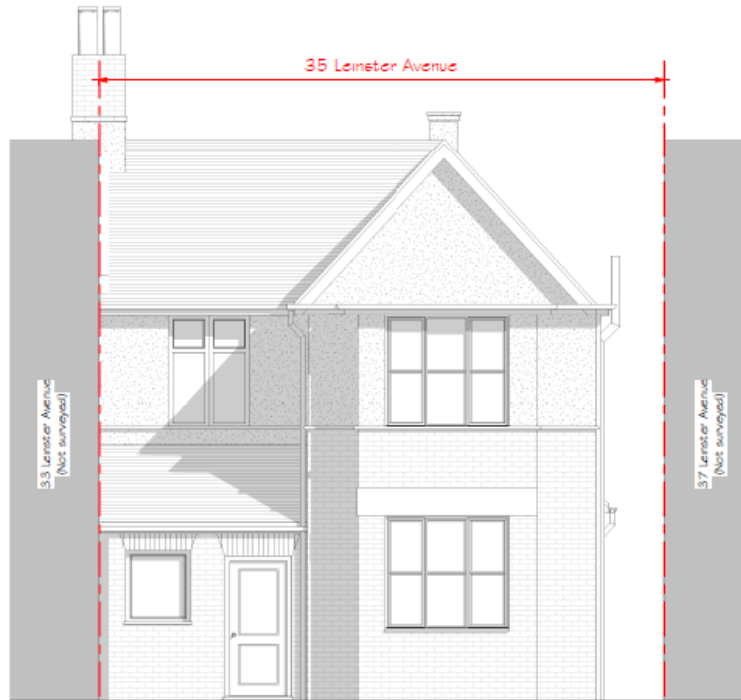
1. Existing Property

- 1.1. The existing property is located on Leinster Avenue in the council of Richmon Upon Thames. It is not located within a Conservation Area. Leinster Avenue consists of 2 storey semidetached houses. The houses all have a drive way to the front and large rear gardens. Leinster Avenue is a Cul de Sac and the property is located at the end.
- 1.2. The property is a 2-storey semidetached house. With a large front gable and a bay window that stretches from ground to first floor. The house is situated on a long site with a large back garden and small front garden.
- 1.3. The dwelling is red brick on the ground floor and painted pebbled dash on the first floor.
- 1.4. The property has a small front garden with side access to the rear.
- 1.5. The rear elevation consists of an existing extension with a hipped roof and a small infill lean too extension. This provides access to the garden which is at a slightly lower level.

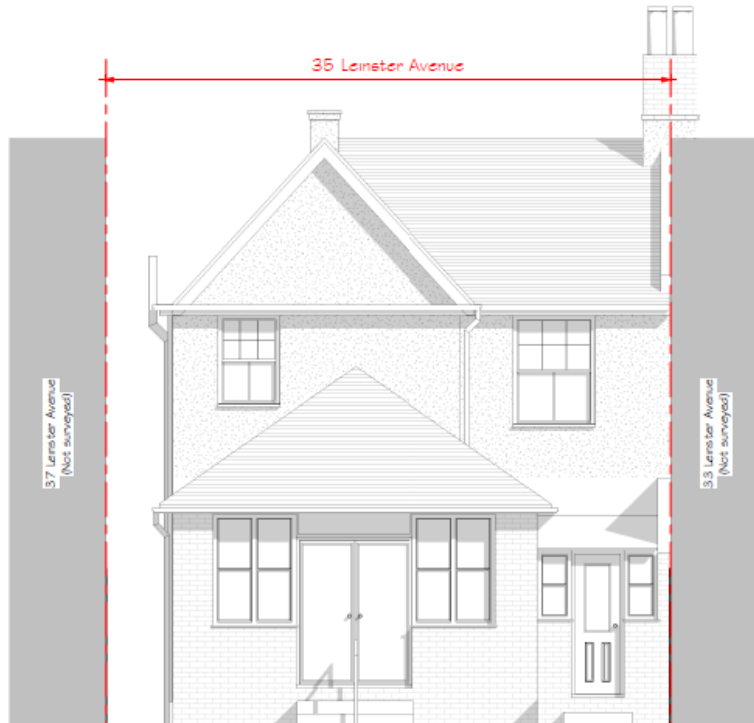
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① Existing Front(North) Elevation
1 : 50



⑤ Existing Rear(South) Elevation
1 : 50

Fig 1: Existing Front and Rear Elevation.

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2. Proposed Works

2.1. The application involves works to the property, including:

- Replacement rear extension
- Replacement rear windows
- First floor refurbishment

2.2. No changes are proposed to the front façade.

2.3. The proposed rear extension consists of a flat roof extension. The extension is proposed in brick to tie in with the front façade. The glazing across the rear gives the mass a more delicate feel. The corner glazing allows light into the depth of the plan. The glass box will only protrude 1metre further than the existing extension line.

2.4. The proposed rear elevation will consist of sliding glass doors with glazing wrapping around the corner and over the top with brick set back, this allows access to the garden and provides ventilation and light.

2.5. The materials of the proposed extension will consist of brick and glass. Brick is used to tie in with the properties along the street and the glass gives the elevation a more light weight delicate feel with the brick set back from the glazing line. This allows the extension to appear subservient to the existing house.

2.6. The existing first floor substandard windows will be removed and new aluminium frame windows that allow better views over the garden are proposed.

2.7. The proposed scheme aims to provide the best possible solution in terms of energy efficiency, in accordance with national, regional and local policies. The layout of the enlarged accommodation would be enhanced with new openings to make best use of natural light and ventilation. The building would utilise thermal and airtight strategies.

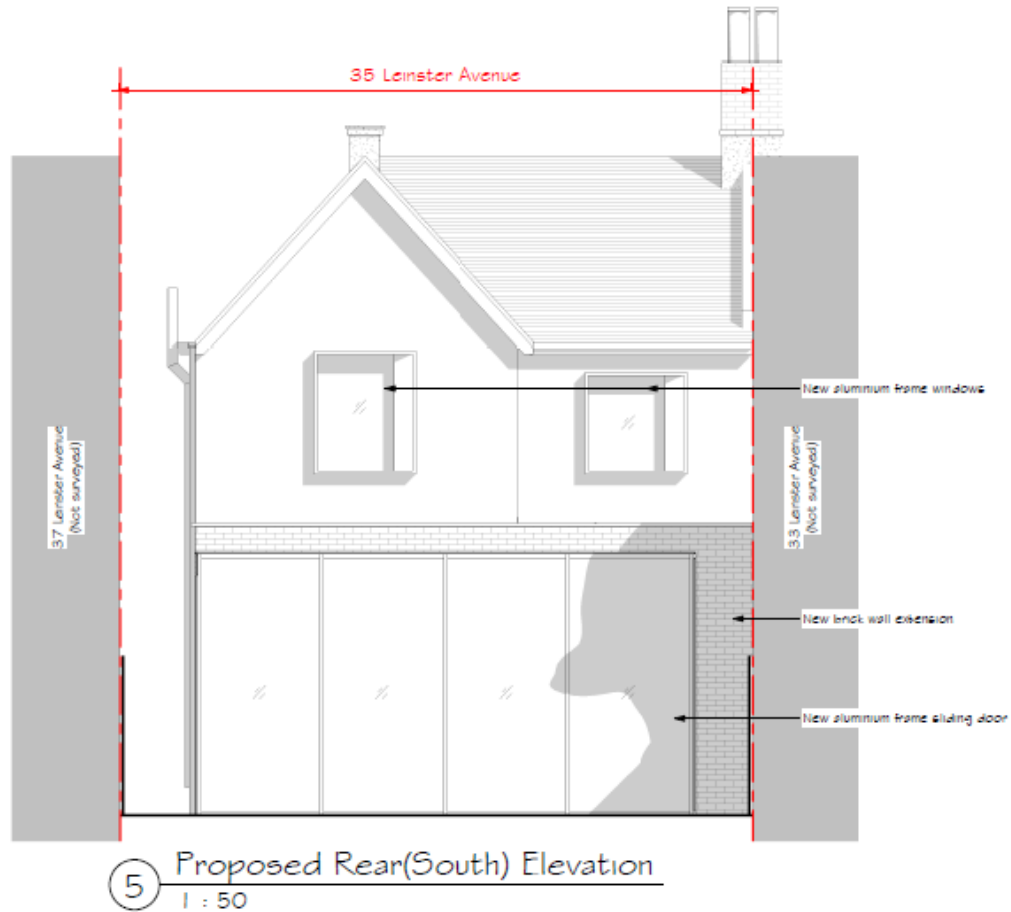


Fig 2: Proposed Rear Elevation.

3. Conclusion

The new additions and internal refurbishments have been designed with the existing property in mind. The internal redesign elevates the overall look and feel of the property, while improving the home in terms of layout and usability.

The proposed additional mass to the rear is similar in size and scale to those previously approved on the road. The design is subservient in form to the original host dwelling. The proposed extension is subservient to the main house and the use of brick as the main material ties it in with the housing type along the street.