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Design, Access and Heritage Statement 61 Castlenau, London SW13 9RT

Date : 13/06/2024 Version 1 prepared by Stylus Architects

This statement has been prepared by Stylus Architects on behalf of our clients, Mr and Mrs Turner, as part of a planning application submission to Richmond Upon Thames Council. This statement should be read in conjunction with the other documents and drawings submitted as part of the application. The aim is to explain the design concept and principles for the introducing front dormer and a side window to the property. A planning application for major works has been submitted previously and permission granted - **23/3097/HOT**.

1. Existing Property

- 1.1. The existing property is located on Castlenau in the council of Richmond Upon Thames. It is located within the Conservation Area of Castlenau (No.25). Castlenau consists of 2-3 storey large Victorian, Edwardian and Georgian detached and semi-detached houses. The proposed development site is set back from the main road and is surrounded by hedges and trees.
- 1.2. The dwelling is a 2-storey Late Victorian semi-detached house with an existing loft conversion and basement. There are 3 existing dormers on the roof of the property; 1 to the front elevation, 1 on the side and a larger dormer at the rear facing the garden. The recent planning application has been granted for replacement rear extension and side return, replacement rear dormer and alterations to fenestration. Provision of rooflights. - Application: **23/3097/HOT**.
- 1.3. The house is situated on a large site with an extensive back garden and front driveway.
- 1.4. The front elevation features a bay window from the ground floor to first floor level. The front door is set into the elevation and there is an existing garage to the side of the property.
- 1.5. The rear elevation consists of a dilapidated single storey glass conservatory style extension as well as an additional 2 storey extension where the kitchen is housed. This conservatory is aging and is a source of

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considerable heat loss.

- 1.6. The house is constructed from brick with plaster detailing above the front door and window on the first floor.

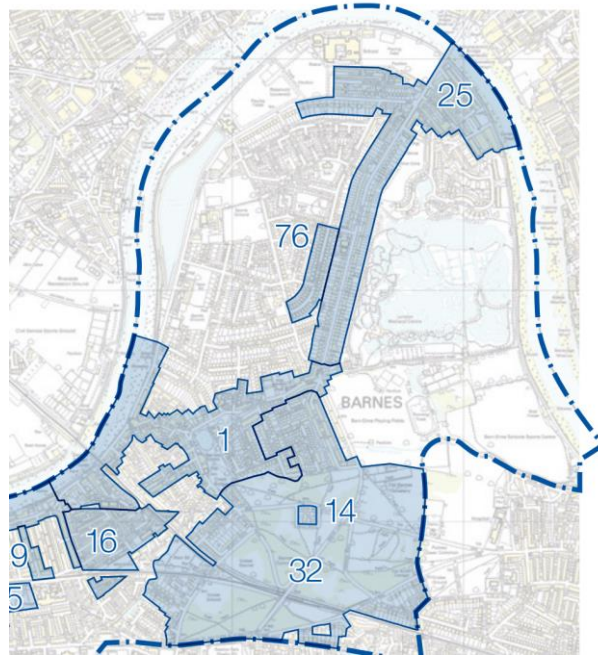


Fig 1: London Borough of Richmond Conservation Areas – Castlenau (25).

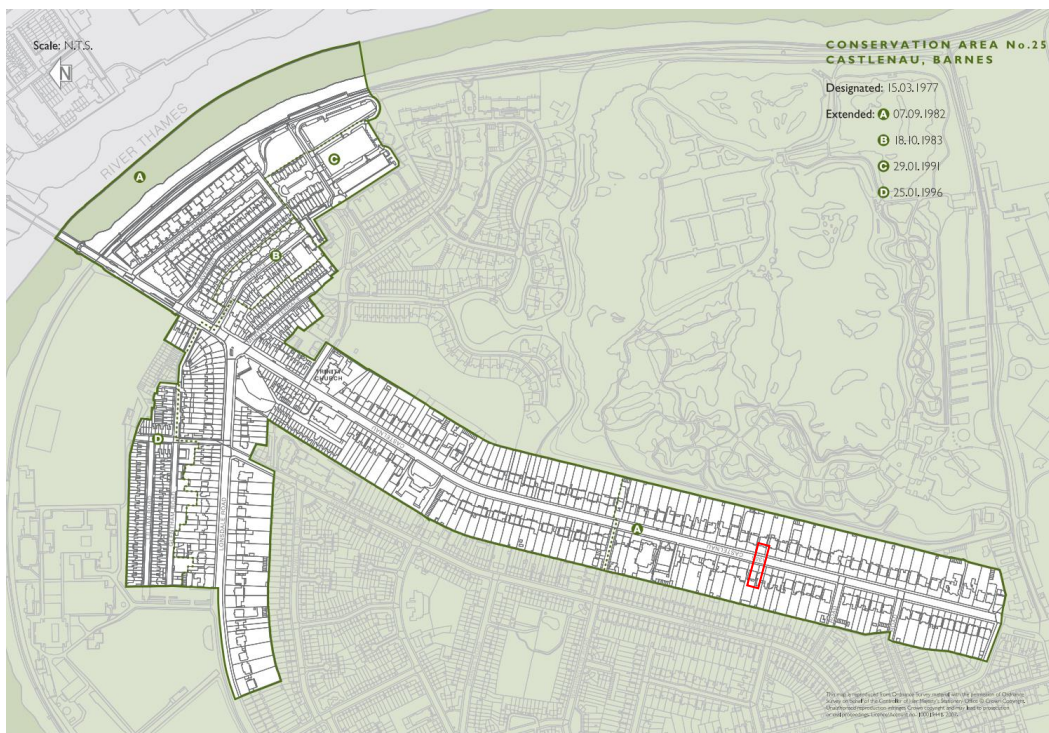


Fig 2: Conservation area 25 – Castlenau (61 Castlenau outlined in red)

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① Existing Front Elevation
1 : 50



② Existing Rear Elevation
1 : 50

Fig 3: Existing Front and Rear Elevation

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Fig 4: Existing front elevation

2. Proposed Works

2.1. The application involves works to the property, including:

- Addition of a front dormer to match with existing.
- Additional new timber framed window to the side elevation
- Internal refurbishments

2.2. The design aims to propose a front dormer that seamlessly matches the existing structure (Fig 5), enhancing the overall symmetry of the house. By mirroring the current dormer, the new addition will make the existing dormer appear more integrated and intentional, rather than as a standalone feature.

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Fig 5: Proposed Front Elevation

- 2.3. The dimensions and materials of the new dormer will be consistent with those of the original, ensuring a harmonious and cohesive aesthetic that gives the impression that both dormers have always been part of the house's design. This approach not only improves the visual balance of the facade but also reinforces the architectural integrity and historical continuity of the property (Fig.5).
- 2.4. The new dormer will also feature white timber-framed windows that match the existing ones. This consistency in materials and colour will further enhance the seamless integration of the new dormer with the original structure. This approach not only preserves the visual harmony of the streetscape but also contributes to the long-term preservation of the area's historical and architectural heritage.

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- 2.5. The new proposed window opening on the side elevation will feature timber-framed window with a sealed, double-obscured glazed unit. To ensure privacy and prevent overlooking, the window will be fixed shut, serving solely as an additional light source for the space.
- 2.6. The proposed scheme aims to provide the best possible solution in terms of energy efficiency, in accordance with national, regional and local policies. The layout of the accommodation would be enhanced with new openings to make best use of natural light and ventilation. The building would utilise thermal and airtight strategies.

3. Precedents on Castelnau

- 3.1. There have been some precedents on the road such as planning application (21/0677/HOT) where the front dormer alternation has been granted, to achieve symmetry within the front elevation while reconstructing the roof and making good.
- 3.2. The current proposal is trying to achieve the principal of symmetry to the front as 29 Castelnau (Fig.6) albeit our proposal is far more subservient to the original host dwelling and therefore proportionally more sensitive than no. 29



Fig 6: 29 Castelnau – double dormer

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- 3.3. The side window has been approved by the neighbouring property at 59 Castelnau, under application 23/2622/PS192.

4. Conclusion

The additional front dormer is proposed to add symmetry to the house's front, enhancing the overall balance and aesthetics. It will also provide extra light and ventilation to the loft conversion. Currently, the existing front dormer appears awkward as it stands to one side of the property with no relationship to any thing else, which makes the front elevation look unbalanced and thus emphasizes the dormer (Fig 4). Adding a second dormer will make the placement look intentional and cohesive, aligning with the style of neighbouring houses such as 29 Castelnau (Fig 6).

The side timber window, which will be obscured and fixed shut, is designed to provide additional natural light to the room. This ensures privacy and respects the neighbouring properties, as the obscured glass treatment prevents any potential overlooking.

The new additions and internal refurbishments have been designed with the existing property in mind. The internal redesign elevates the overall look and feel of the property, while improving the family home in terms of layout and usability.

In preparing this submission in relation to relevant policy and the context of the site, it is considered that the application should be approved for the following reasons:

- There would be no detriment to existing residential amenity for adjacent occupiers.
- The proposed scheme would not harm the street scape but improve the overall look of the front façade.
- The proposed scheme would preserve and enhance the Conservation Area.
- There would be no adverse traffic or highway impacts.
- There would be no adverse ecological, environmental or sustainability impacts.

We believe the above proposal should be looked upon favourably. The integrity of the existing building has been maintained and the proposed would not have any detrimental effect on the neighbouring properties, amenity nor the Conservation Area.