

DESIGN & ACCESS STATEMENT

HERITAGE STATEMENT

Project Location: 37 MORTLAKE RD, KEW, TW9 3JQ

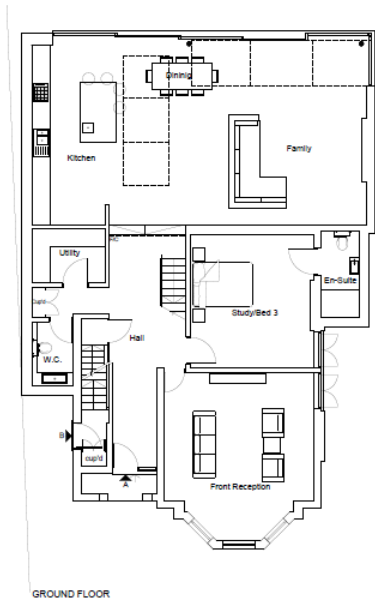
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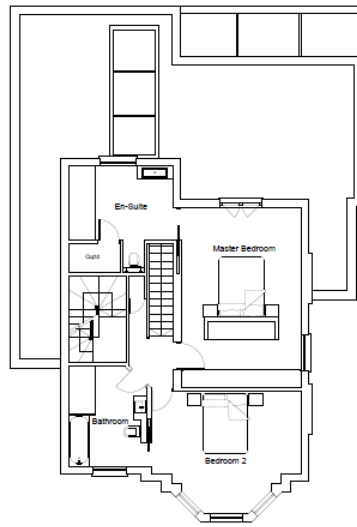
1.0 INTRODUCTION

This Design & Access statement has been prepared on behalf of the applicant to support full planning application for the reversion of the existing ground and first floor maisonette and top floor flat into a single dwelling at 37 Mortlake Rd, Kew, TW9 3JQ.

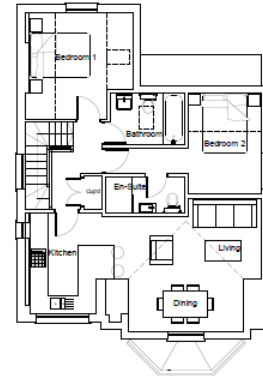
This report should also be read in conjunction with PAD Architects drawings.



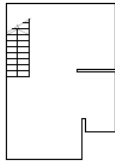
GROUND FLOOR



FIRST FLOOR



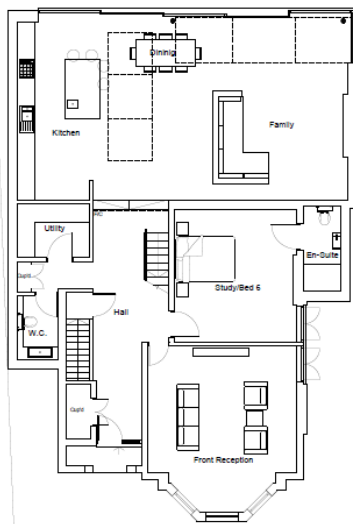
SECOND FLOOR



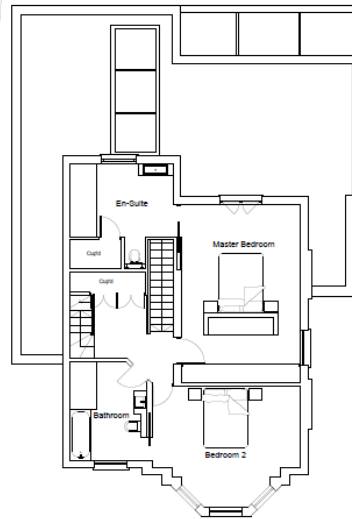
CELLAR



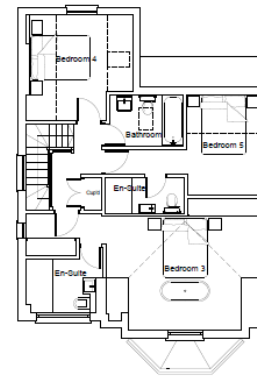
Title: 37 MORTLAKE ROAD, KEW					
Description: EXISTING LAYOUT					
Client: KAYE COLEMAN					
Drawn by: PH	Checked by: LDC/AL	Date: JUN 2022	Project No:	Drawing No: EX-02	
PAD ARCHITECTS LLP 201 Upper Richmond Rd, London SW15 9JQ			Tel: 020 8750 9884 Fax: 020 8750 9885 pad@padarchitects.com		



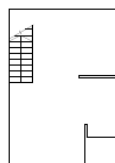
GROUND FLOOR



FIRST FLOOR



SECOND FLOOR



CELLAR



Title: 37 MORTLAKE ROAD, KEW					
Description: PROPOSED LAYOUT					
Client: KAYE COLEMAN					
Drawn by: PH	Checked by: LDC/AL	Date: JUN 2022	Project No:	Drawing No: PL-01	
PAD ARCHITECTS LLP 201 Upper Richmond Rd, London SW15 9JQ			Tel: 020 8750 9884 Fax: 020 8750 9885 pad@padarchitects.com		

2.0 HERITAGE

37 Mortlake Rd is a three-storey detached house within the Kew Green Conservation Area 2 in Richmond Borough. The property is not listed.

Kew Green Conservation Area 2 is situated to the north-east of Kew Gardens, adjacent to the River Thames. The majority is located to the North and East of Kew Green adjoining Kew Gardens (15), Kew Road (55) and Royal Botanic Gardens (63) conservation Areas to the south.

The development of the area began when Frederick, Prince of Wales established his country residence; the White House, there in 1728. This was followed by the development of the Royal Botanic Gardens and Kew Bridge which was completed in 1758. The advent of the railway in 1860 led to the development of the Priory estate as commuter housing. The architectural character of the area is predominantly late Victorian, with few Edwardian buildings.

No. 37 is one of the 19th Century detached Victorian dwellings on Mortlake Road. Each dwelling was originally three stories with cellars/small basements and passageways either side, giving access to the rear gardens.

3.0 ACCESS

Access to the building will not be affected by or changed as part of the proposals

4.0 PROPOSAL OVERVIEW

The proposed development comprises reversion of the property back to a single dwelling.

4.1 EXISTING SETTING

The property is currently divided into a maisonette over the ground and first floors and a top floor flat. Most of the properties on Mortlake Road that are of a similar scale and style to the proposed development site are still single dwellings as originally planned.

5.0 PROPOSED DESIGN

5.1 USE

The proposal is to reinstate a family home.

5.2 LAYOUT

The internal reconfiguration required is minimal and the original layout of the property respected. Existing staircase will serve the dwelling. The Kitchen/Living/Dining space on the top floor flat will become a bedroom with en-suite bathroom.

5.3 APPEARANCE

There will be no amendments made to exterior of the property

6.0 PLANNING POLICY

The relevant policies within Local Plan are:

6.1 Loss of Housing

Policy LP 38

9.5.6 - Reversions of houses converted into flats back into a single family dwelling house may be considered acceptable if the property was originally a single family dwelling house and it can be demonstrated the loss of units will be outweighed by environmental, street scene, transport or parking benefits which could not be easily achieved without the reversion. Evidence of tangible benefits is required from an applicant to justify an exception on this basis. This can include assessments of sustainability or the poor standards of existing units. A stronger justification for an exception needs to be made where there is a greater loss of existing units.

Policy LP 35 - Housing Mix and Standards

A. Development should generally provide family sized accommodation, except within the five main centres.

C. All new housing development, including conversions, should provide adequate external space.

The property sits within the Kew Green Conservation Area and as such, it would be preferable for it to be configured as was originally intended, as a single dwelling.

In terms of meeting the council's reversion policy the onus is on its benefits outweighing the loss of the unit.

The loss of the top floor flat, which isn't compliant with the current housing mix and standards for its location because it is not a family unit and has no outside/amenity space, is clearly outweighed by the positive impact of its removal.

Our proposal would result in family-sized accommodation with a satisfactory internal layout and an accessible garden of adequate size to meet needs identified in the council's own strategic housing market assessment and in accordance with their housing mix policy.

The proposal would result in the benefit of better reflecting the character of other properties in the road, a matter which carries significant weight given its location within a conservation area. There are also streetscene benefits such as less waste bins and the additional strain on on-street parking created by an additional two bedroom flat.

It is our opinion that the benefits of the proposed reversion conclusively outweighs the loss of one substandard unit.

7.0 CONCLUSION

We believe that our proposal at 37 Mortlake Rd will make a positive contribution to the conservation area, while also addressing the needs for family accommodation.

The proposal seeks to recreate a high standard family dwelling as it was originally which would have a positive effect on the overall area.

Overall, our proposal respects the conservation area and provides a high-quality family dwelling which does not detract from the character of the existing property and neighbouring buildings. We therefore believe that our proposal at 37 Mortlake Rd should be approved.