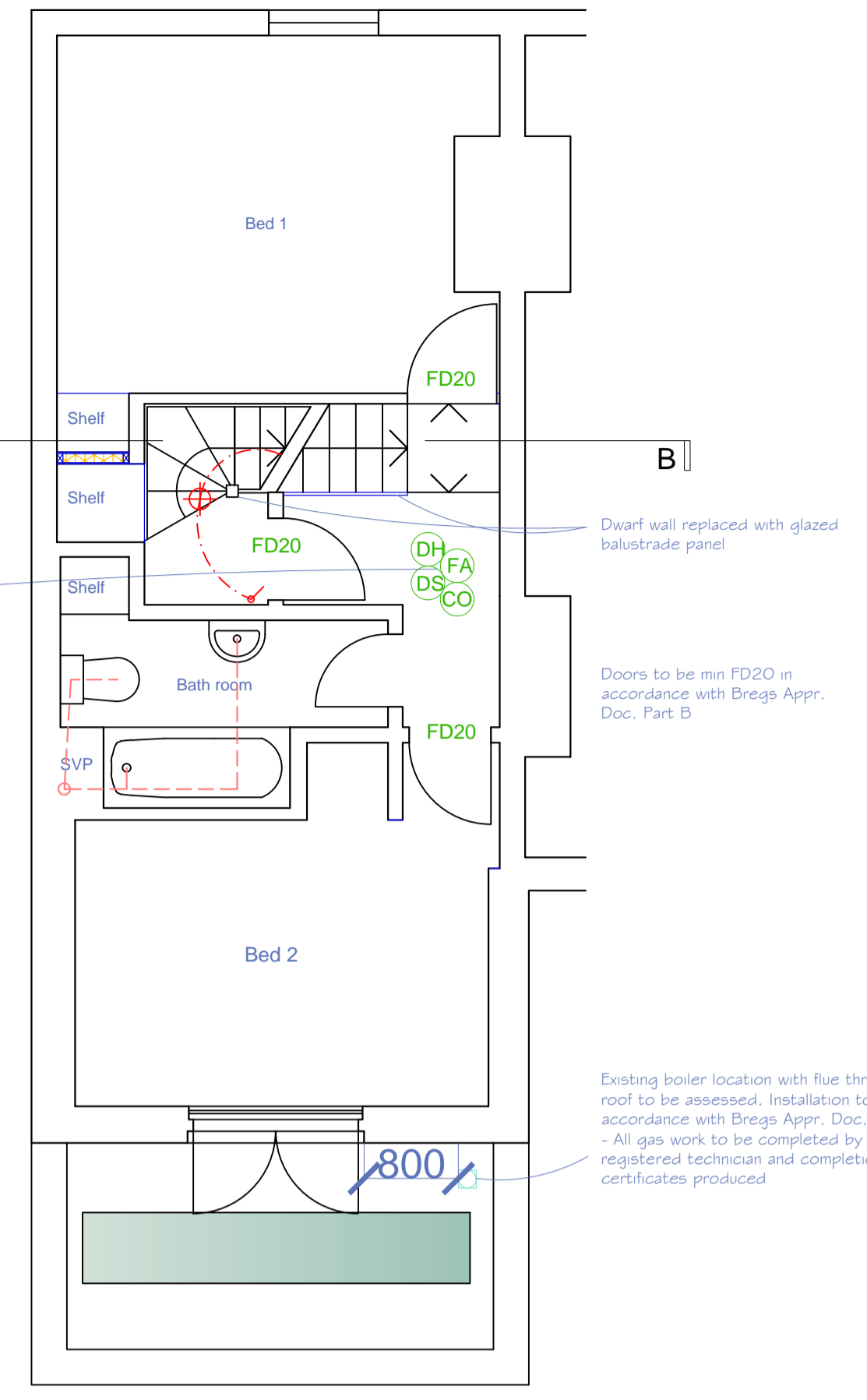
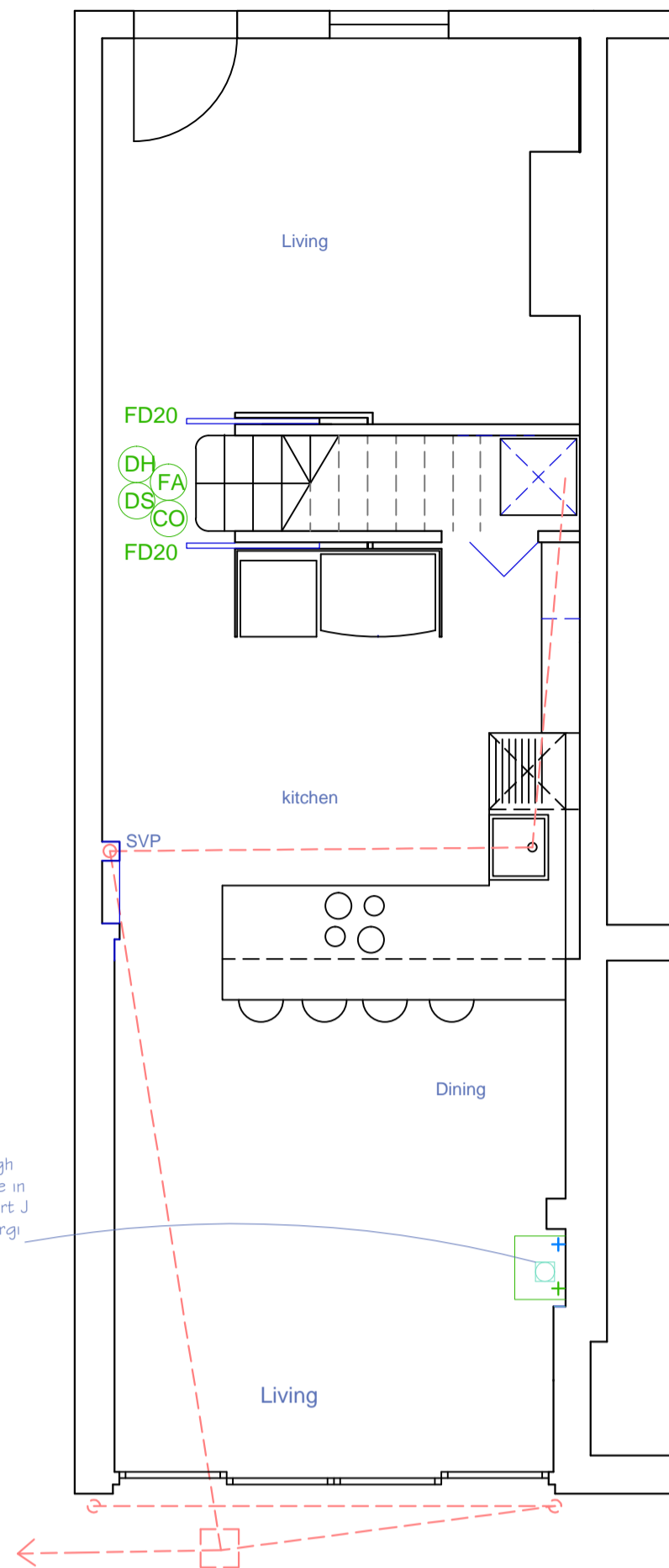


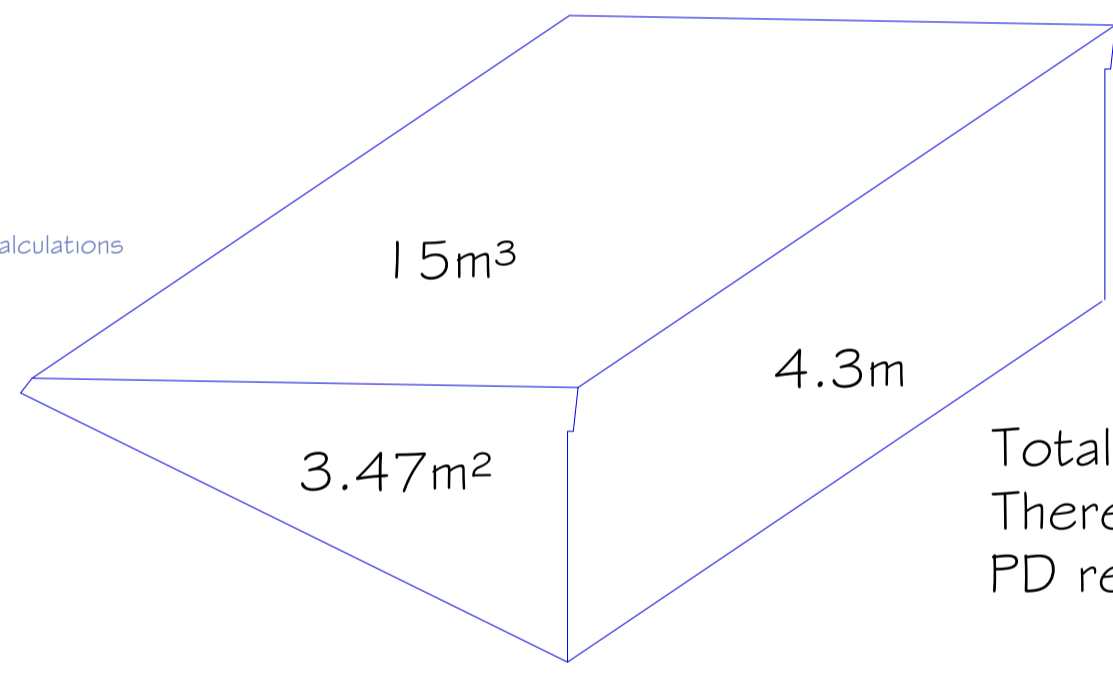
**Proposed Second Floor Plan at 1:50 scale @ A1**



**Proposed First Floor Plan at 1:50 scale @ A1**



**Proposed Ground Floor Plan at 1:50 scale @ A1**



Total new volume = 15m<sup>3</sup>  
Therefore under 40m<sup>3</sup> PD requirement

**General notes:**

This drawing is to be used for layout and general guidance use only, and viewed in conjunction with the Structural Engineer's drawings and calculations, Specialist Manufacturer's detailing and Lead Contractor's and Building Inspector's experience.

If there is any case of conflict, the detailing provided by the Structural Engineer, Lead Contractor, Specialist Manufacturers and Building Inspector should take precedence over the details within this drawing and it is imperative that dimensions must be checked and clarified on site and not taken from this drawing.

Qualified electrical, gas and plumbing contractors to recommend exact positions and layout of services on site in line with current health and safety regulations.

Electrical installations should be designed and installed in accordance with BS 7671:2018. Please note that upon completion of the work, sufficient information should be provided to ensure that people can operate, maintain or alter an electrical installation with reasonable safety.

All wall sockets and light fitting plates to match existing, and to British Standards. Internal and external light fittings to be low energy type with a luminous efficacy greater than 45 lumens per circuit-Watt and a total output greater than 400 lamp lumens.

Please note that upon completion of the work completion certificates and sufficient information should be provided to ensure that the end users can operate and maintain the systems installed.

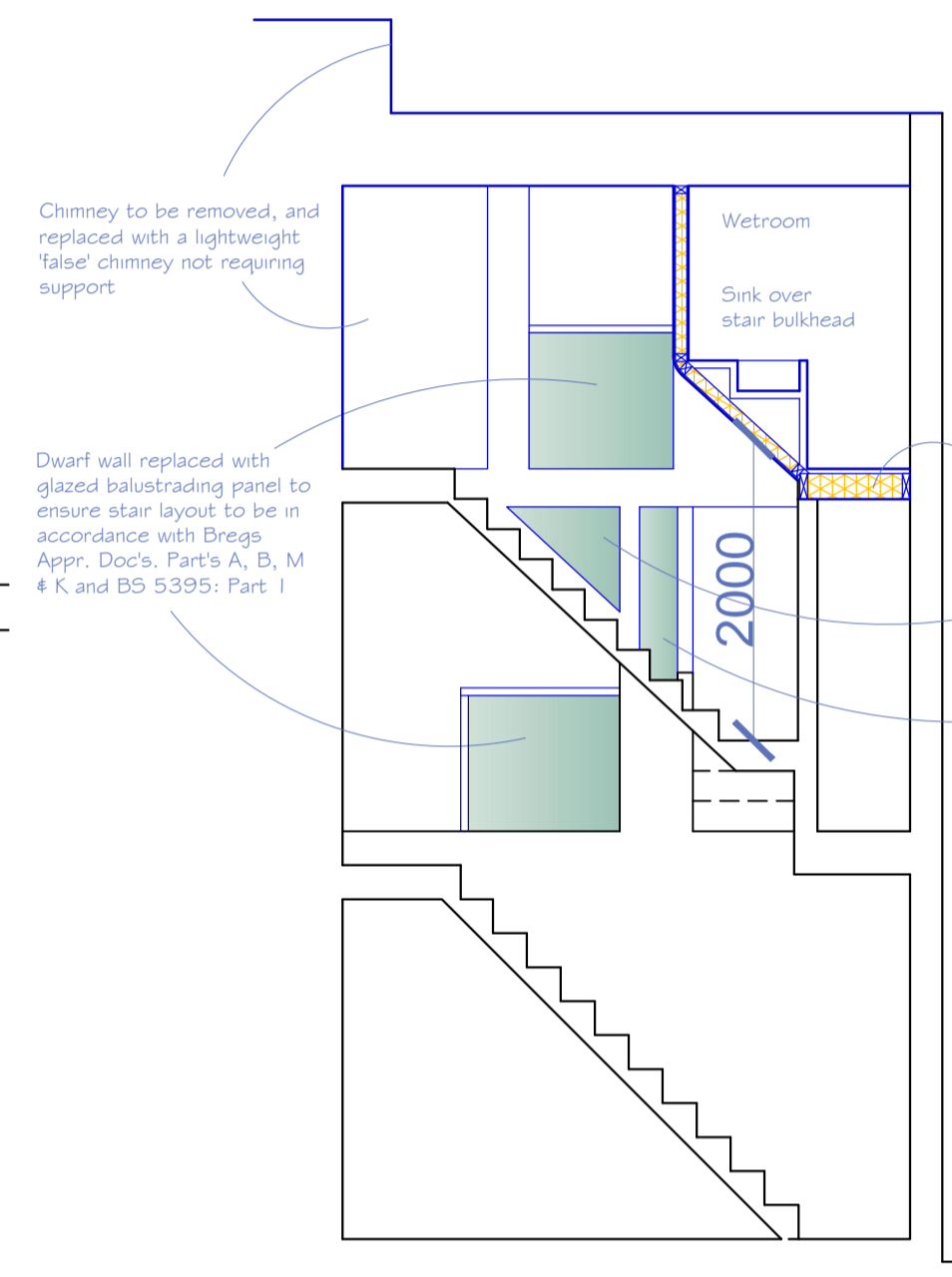
All work to be Building Regulation's compliant, to be agreed and signed off by Building Control; be they a private Approved Inspector or the Local Authority.

**Part L Calculation**

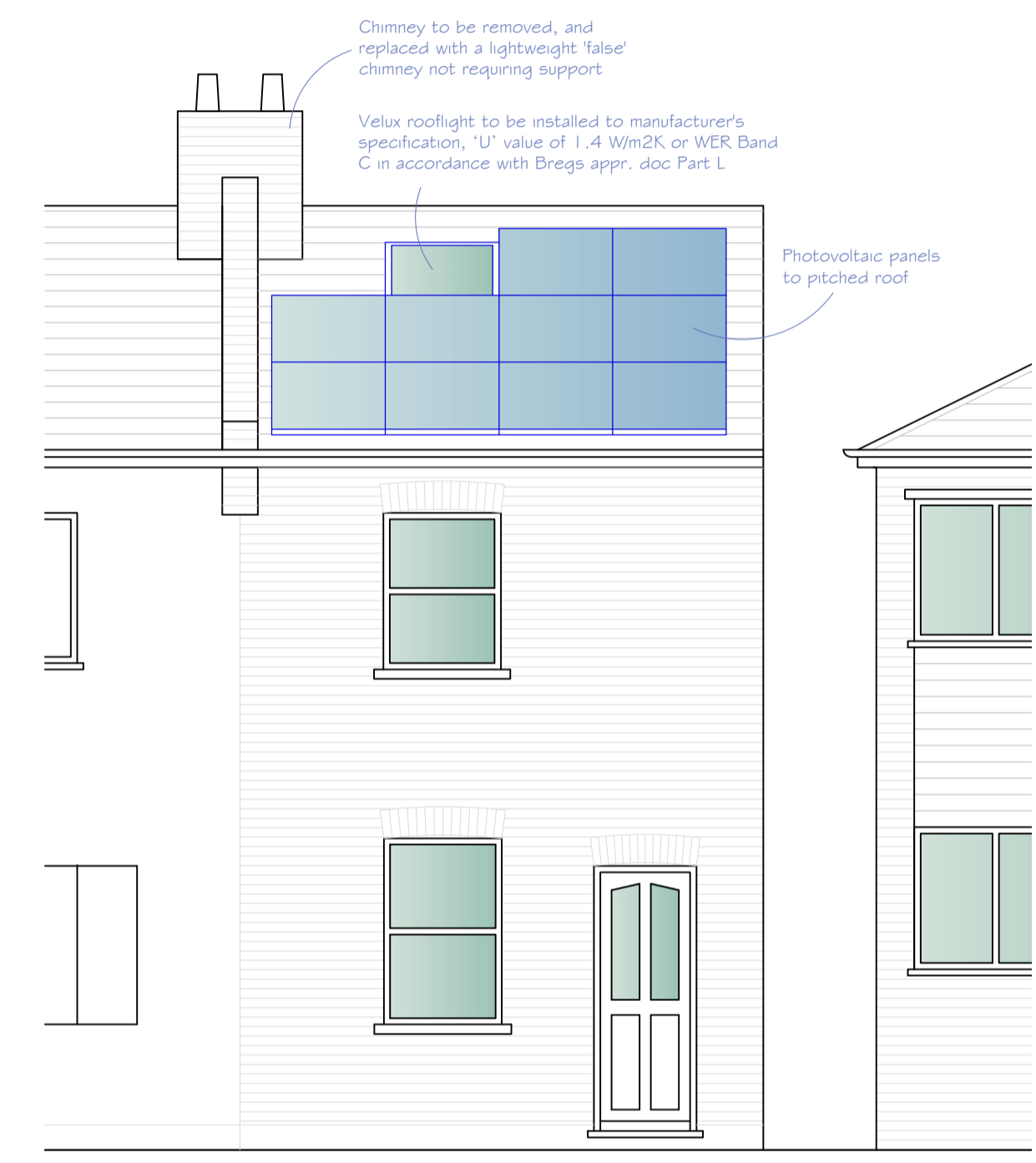
Floor areas - Ground floor - 40.8 sqm + First floor - 33.2 sqm + Second floor - 15.6 sqm = Total - 89.6 sqm

Glazing area - Existing doors, windows and rooflights = 12.17 sqm  
 First floor - Existing window and doors = 4.15 sqm  
 Second floor - Proposed Juliet balcony (2sqm) + Rooflights (0.8sqm) = 2.8 sqm  
 Total - 19.2 sqm

25% of 89.6sqm (floor area) = 22.4sqm  
 Glazing is therefore compliant with Part L1B



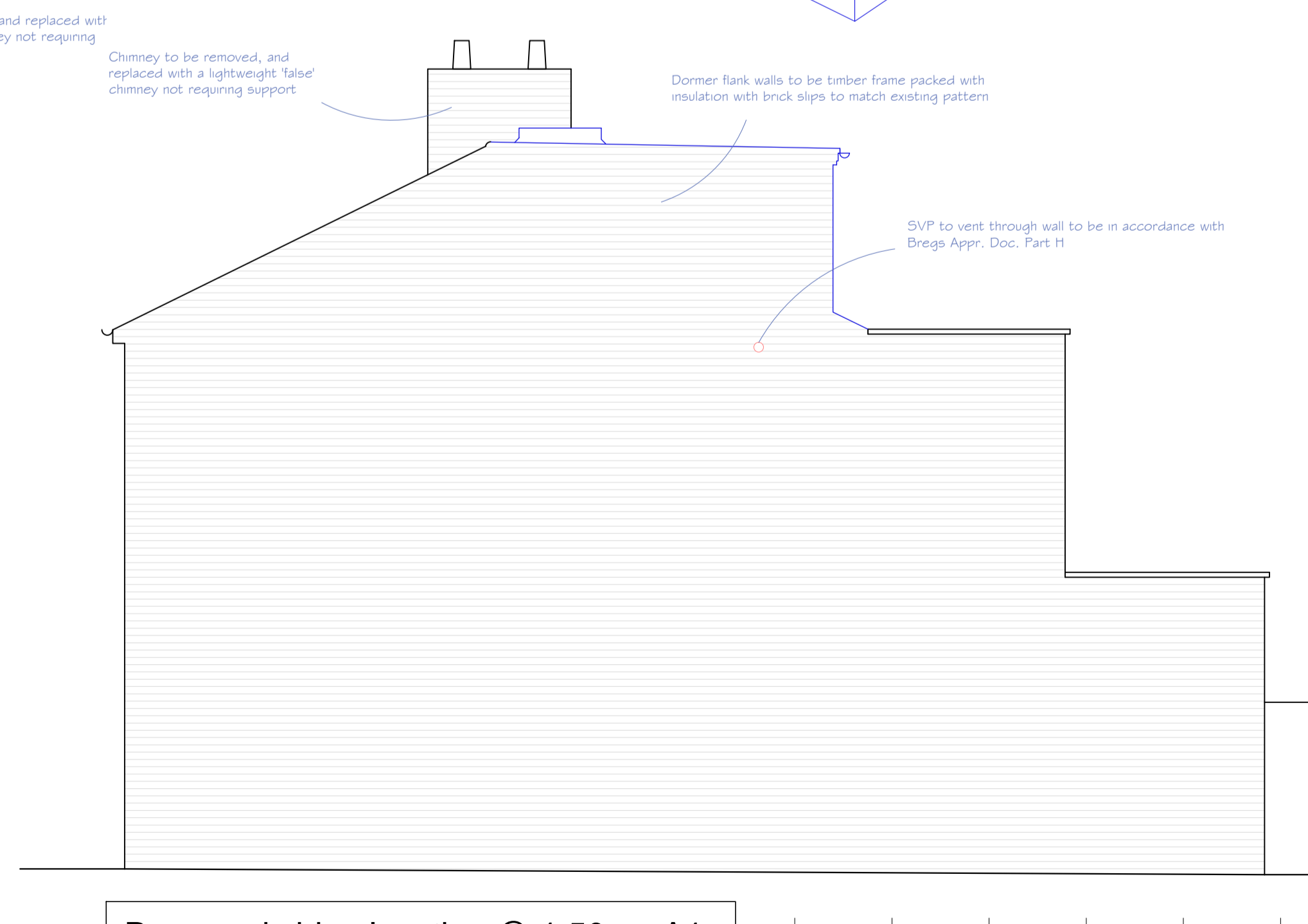
**Proposed section BB at 1:50 scale @ A1**



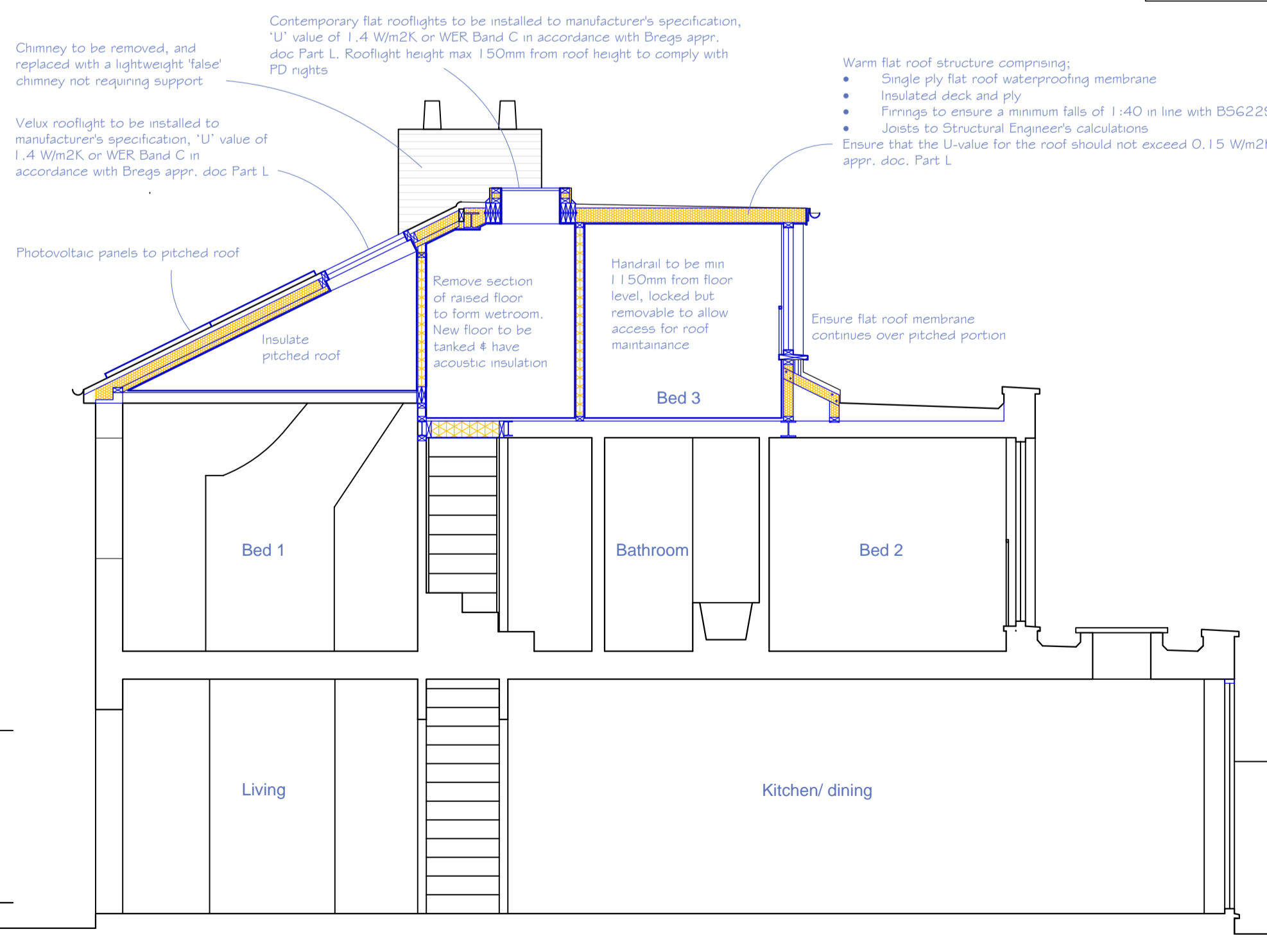
**Proposed front elevation at 1:50 scale @ A1**



**Proposed rear elevation at 1:50 scale @ A1**



**Proposed side elevation @ 1:50 on A1**



**Proposed section AA at 1:50 scale @ A1**

**KEY - PROPOSED TO BE INSTALLED**

- 13 amp twin socket outlet with USB ports
- fused spur (high level)
- 5 amp Light switch position
- Pendant Light fitting
- Recessed ceiling spot lights
- Moisture resistant recessed ceiling spot lights
- Heat Detector - part of a wired, integrated system to all floors
- Smoke Detector - part of a wired, integrated system to all floors
- Fire alarm - part of a wired, integrated system to all floors
- Carbon monoxide alarm - part of a wired, integrated system to all floors
- Gas outlet
- Water Outlet
- Radiator position
- Bathroom towel radiator position
- Existing waste pipework
- New waste pipework
- New steel beams to structural engineer's calculations

CoL/ BREGS 25/06/24

No dimensions to be scaled from this drawing. All dimensions to be checked on site, and works completed by competent and qualified personnel. This drawing is copyright and should not be reproduced without the permission of the Draftsman.

**Fergus Carr, RIBA**  
 ARB Reg. No. 089563F  
 0789995111  
 ferguscarr@gmail.com

**CARR Architecture**  
 Pear tree cottage, Circular Road  
 Seaview, Isle of Wight, PO34 5ET

rev.	date	description

Client: Mr & Mrs Lawton Drawing: Proposed plans and sections  
 Project: 21 St Margarets Grove Scale: 1:50 @A1 Date: June 2024

FRFC\_LDN\_20\_CoL\_BR\_02