

**TREATMENT AND
ERADICATION OF
WOODWORM AND
TIMBER DECAY SINCE
1971**

**Investigation
Report and
Recommendations**





Domestic & Commercial Properties

We have been successfully preserving both domestic and commercial properties for over five decades and our vast amount of experience, together with our expertise and high standards, gives you piece of mind for generations to come.



Basement damp proofing at Santander Bank, Marylebone

The Tapco HomeDry Established Guarantee

We are proud of the work we do and stand by our guarantee, so you can feel safe in the knowledge that you have chosen one of the most reputable and reliable companies in our industry.

Tapco HomeDry has been approved and rated by the preservation industries leading trade bodies since 1971 and 95% of our clients say they would use us again.

We fully recognise that your property is probably the most important investment you are ever likely to make, so it is important to us that we provide you with concise advice on how to preserve it, for many years to come.

We are London & the Home Counties market leader for damp-proofing, timber preservation, dry-rot eradication, basement membranes and condensation.

We are highly rated and approved by the preservation industries leading trade bodies, including the Property Care Association, Trust Mark (Government Endorsed Standards) and the Basement Waterproofing Association.

We are also proud to be a certified ISO9001:2015 quality management company.

Our surveyor who carried out this survey, did so, in accordance with the strict standards of the Property Care Association (PCA). Unlike most other companies, he is not paid commission and has only allowed for work that is absolutely necessary.

Once instructed, our fully trained and experienced technicians will carry out the work, thoroughly with as little inconvenience to the occupants as possible.

Remedial work we carry out is covered by our established long-term guarantees, which for a single premium can be insured by GPI (Guarantee Protection Insurance).

Our Reference No: BT/2404S48783/AM

Monday, 29 April 2024

Ali Sultan
Via Email only

Dear Ali

Re: 8 Montpelier Row, Twickenham. TW1 2NQ

Thank you for instructing Tapco HomeDry to carry out a Listed Building Timber Investigation at the above property. Our inspections were carried out specifically in accordance with your instructions, for which we submit herewith our surveyors report and recommendations for your consideration.

Please take the time to **thoroughly read this report**, together with our terms and conditions, to ensure we have not misinterpreted your instructions

Why choose Tapco HomeDry

You can feel safe in the knowledge, you will be using a company that is recognised as one of London and the home counties most established and reputable timber preservation and damp proofing specialists. **We have been trading continuously since 1971** and our technicians are very experienced at carrying out high-quality remedial work, both in domestic and commercial properties, throughout the Southeast of England.

Our health and safety management

Our Health & Safety policy is managed by The Health & Safety People Ltd, we are a CHAS (Contractors Health & Safety Scheme) and a Safe Contractor accredited company. Unless otherwise stated, we have assumed that no hazardous materials such as Asbestos or Artex have been used in the construction of this property, however, it is very important that you inform us if this is not the case.

About our surveyor

Our surveyors observe the code of practice set by the Property Care Association (PCA) but unlike most companies **they are not paid commission**. Therefore, they have nothing to gain by quoting for unnecessary work and will only allow for what that they consider is absolutely necessary.

This investigation was carried out on Thursday, 18 April 2024 By our specialist damp and timber surveyor who is experienced at diagnosing damp and timber decay and to the high standards of the PCA. This report and our proposals are based on his years of experience, professional opinion and the conditions prevailing at the time of his inspection.

Yours sincerely
The Tapco HomeDry Team

Listed Building Timber Report and Recommendations Carried out by Brian Tanner CRDS CTIS

Weather condition

On the day of my survey the weather was overcast.

Survey limitations

My observations are based upon accessibility at the time of my visit, together with information obtained via non-disruptive investigations. **It does not constitute and should not be viewed as a full RICS building survey**, which I strongly recommend on any property prior to purchase. I am neither a building nor structural surveyors and therefore do not provide a comprehensive inventory of any other possible defects the property may have.

The instructions received are taken as specific and this report relates directly to these parts of the property only. Outbuildings or areas considered suitable for storage only, were not included in my survey, unless we were specifically instructed to do so.

The property viewed as facing the front elevation



Orientation

For ease of reference all directions given, are taken as facing the front elevation from outside of the property. Any measurements given by us are approximate and should not be referred to if accuracy is required.

Internal timber inspection and recommendations

The scope of my timber inspections

Moving items of furniture, lifting fitted floorcoverings, or flooring and removing built in furniture or wall plaster is disruptive and outside the scope of my investigations. **Inaccessible areas that are considered at risk from damp or decay, should either be exposed by our technicians at the time of our remedial work, or by others, as a priority.** Moisture readings were also taken to timbers within the areas where dampness is present, to ensure the moisture content has not exceeded 8%. Above this level they are at risk from decay.

As far as could be seen, the structural timbers throughout are **softwood** and the floors have planned edge floorboards. Unless these have been lifted previously, it is often not possible to do so without possible damage, therefore surface inspections only were carried out.

What causes Timber Decay

Timber decay can be a serious problems for buildings of all ages and wood rot and insect infestation are often found in older properties or period homes. In short, timber elements in a building can decay and rot as a result of adverse environmental conditions such as rising damp, water leaks and prolonged exposure to damp or wetness. Many living organisms use timber as food and biological attack can take many forms. The most common and destructive types of timber decay are caused by **Dry Rot, Wet Rot and Wood Boring Insects**. If you own or considering the purchase of a property and you or a surveyor has flagged up timber decay, it is important to understand the nature of it and immediately take whatever measures are necessary to eradicate it,

Wood Boring Insects

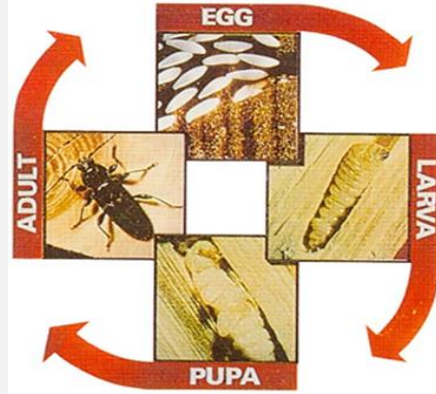
The Common Furniture Beetle (Anobium punctatum), better known simply as woodworm is by far the most widespread of all wood boring insects. Whilst it much prefers the sapwood of softwoods and hardwoods, rot affected heartwoods may also be vulnerable to attack. Poorly ventilated underfloor voids and damp areas under suspended timber ground floors are most at risk from woodworm infestation. Common Furniture Beetle is at it most active between March and August when the weather is warm. Tiny bore holes of 1-2mm in diameter, with gritty, cream coloured bore dust (frass) are it's calling card.

Wet Rot (Cellar) Fungi

The vast majority of timber decay in buildings is caused by Wet Rot (Coniophora puteana) which results in either the timber darkening (known as Brown Rot) or the timber bleaching (aka White Rot). In order to thrive, this fungus requires the presence of persistently damp conditions with a moisture content of about 50-60%. Although some fungi produce fruiting bodies that are similar to dry rot, the main evidence of Wet Rot is usually found in the form of blackish/brown strands. Like Dry Rot, there may also be cuboidal cracking of the timber.

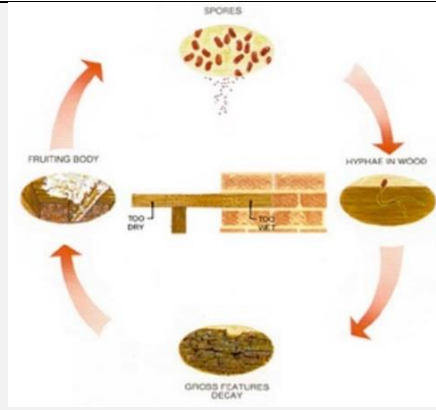
Wood rotting fungi

- The typical life cycle of wood boring insects



Wood boring insects

- The typical life cycle of wood rotting fungi



Roof Timbers

Access to inspect the roof timbers, was gained from a ceiling hatch over the landing.

Areas where Infestations of wood boring insects (woodworm) were found

Evidence of an active infestation of the **Woodworm, Common Furniture Beetle (*Anobium punctatum*)** was found affecting the ceiling joists.

Recommendations:

- Timber preservation treatment has been recommended to all the accessible roof timbers.

Wood rotting timber decay was found

There is an attack of the **Wet-Rot Fungus (*Coniophora puteana*)** affecting the box gutter timber wall plate and joist ends. This could be due to defects with the roof coverings.

Recommendations:

- Timber preservation treatment has been recommended affected timbers mentioned above.

Second Floor

Wood rotting timber decay was found

Rear Bedroom

There is an attack of the **Wet-Rot Fungus (Coniophora puteana)** affecting the accessible floorboards, lintel over door and the subfloor timbers.

Recommendations:

- Timber preservation treatment has been recommended to the floorboards and lintel, together with specified replacement of heavily affected timber in accordance with good building practice.

First Floor

Evidence of infestations of wood boring insects

Front Room

There is evidence of a **scattered infestation of the Woodworm, Common Furniture Beetle (Anobium punctatum)** to the accessible floorboards. In my opinion, it is likely that the sub-floor timbers are also affected.

Recommendations:

- Timber preservation treatment has been recommended to the floorboards, joists and plates.

Wood rotting timber decay was found

Rear Room and Bathroom

There is an attack of the **Wet-Rot Fungus (Coniophora puteana)** affecting the accessible floorboards to the rooms above. The weakened timbers are beyond treatment and need to be removed and replaced, using new pre-treated timber, in accordance with good building practice.

Recommendations:

- Timber preservation treatment has been recommended to the floorboards, joists and plates, together with specified replacement of heavily affected timber in accordance with good building practice.

Staircase

(Three Affected)

Evidence of infestation of wood boring insects

There is evidence of an infestation of the Woodworm, Common Furniture Beetle (Anobium punctatum) affecting the unpainted lower cupboard timbers, treads, and risers.

Recommendations:

- Timber preservation treatment has been recommended to the unpainted, accessible areas.

To enable thorough treatment to be carried out, the stair carpet will need to be removed, and the underside cupboard emptied, prior to the arrival of our technicians.

Ground Floor

Evidence of infestations of wood boring insects

There is evidence of an active infestation of the Woodworm, Common Furniture Beetle (*Anobium punctatum*) to the floorboards. In our opinion, it is likely that the sub-floor timbers are also affected.

Recommendations:

- Timber preservation treatment has been recommended to the floorboards, joists and plates.

Joinery timbers

My inspections were restricted owing to heavily painted surfaces. No visible evidence of any wood boring insects or timber decay was found to the areas inspected

Some of the joinery timbers were probed, using a sharp instrument which exposed evidence of an advanced attack of **Wet-Rot Fungi (*Coniophora Puteana*)** affecting the door frame of the middle room and the joinery timbers of the basement.


Recommendations:

- Some joinery timber replacement is required, to match existing as closely as possible.

Additional Notes:

Areas of wall plaster to the rear of the property are seriously affected by damp. I recommend a further inspection is carried out.

Our estimates are based on the treatment of the sound timbers only. All heavily affected timbers are to be renewed, using new pre-treated timber. by your own contractors

<p>Wet rot fungus to various areas of the property</p>	
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Wet rot fungus to various areas of the property



Wet rot fungus to various areas of the property





Wet rot fungus to various areas of the property




Wet rot fungus to various areas of the property



<p>Wet rot fungus to various areas of the property</p>	
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<p>Wet rot fungus to various areas of the property</p>	
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Sub-floor ventilation

Sub-floor ventilation is very important in a property that has suspended timber floors because it can prevent high-levels of moisture within the floor void (condensation) that in-turn leads to damp, associated with wood rotting fungi and wood boring insects. Sub-floor ventilation is usually provided by airbricks installed intermediately, at the base of the wall, which provide air flow to keep the timbers and floor void dry.

In my opinion the existing number of airbricks are adequate, providing they are kept clear of debris or obstruction.

Recommendations:

- No additional airbricks are necessary.

Optional guarantee protection insurance (GPI)

Being a long terms member of the **Property Care Association (PCA)**, we can offer our clients peace of mind by giving you the option to insure our guarantee with Quality Assured National Warranties (QANW) through **Guarantee Protection Insurance (GPI)**. For a low cost, single premium you will have a long-term insurance policy, providing you with valuable protection, should for any reason we cease trading during the guarantee period and not be able to satisfy claims against our guarantees.

For further information on how to take up this option, email alex@tapcohomedry.com

Sometimes it's easier to talk

If you would like to discuss any aspect of my findings or recommendations, feel free to call me on 07956 463 788 and I will be pleased to help you. **Brian**

Quotations for specialist timber preservation

No two jobs are the same but to help you plan the work, I anticipate, the measures I have recommended, will take approximately 2 separate visits to complete.

As a part of our service and to avoid you having to employ other trades, we have separately allowed for certain items of preparation and reinstatement. These are not a direct part of our remedial work, so doing it yourself or having it done properly by a third party will not affect our guarantee.

Our quotations are for carrying out specific works recommended by us only, they do not infer that full, in-depth inspections were undertaken. Our initial inspections are non-disruptive, therefore, it is not possible to fully expose items covered by plaster or floor coverings, until they are fully exposed at the time of our remedial work. If additional work is found to be required, our quotation would have to be accepted and authorised by you, in writing, prior to us continuing.

Please note, if items such as consumer units/meters, pipes or other fitted obstructions aren't moved from walls to be damp proofed, prior to us commencing, we will work around them, and these areas will be exempt from our guarantee.

Minimum charge

Our quotations are based on **all of the recommended work, being carried out as one project**. If only part of the work is accepted our individual prices could change. We have a minimum charge of £580.00 plus vat, where applicable. **Please note:** It is more economical to carry out our recommendations as one job

All timber preservation and associated work undertaken by us will be in accordance with BS8102:2009, the Property Care Association (PCA) code of practice and covered by our 20-year guarantee, with an option of Guarantee Protection Insurance. <https://www.gp-insurance.co.uk/>

Roof Timber Preservation Treatment

- Brush clean and prepare the accessible roof frame and apply an application preservative treatment to all accessible roof timbers, at the approved rates.

Floor Timber Preservation Treatment

- Lift sufficient floorboards to gain complete access to the underside timbers, bush clean and apply a preservation treatment to all the exposed flooring timbers at the approved rates.

Staircase Timber Preservation

- Brush clean and prepare the staircase and apply two applications of a preservative treatment to all unpainted staircase timbers.

Our technicians are very experienced at carrying out remedial timber preservation and damp proofing at occupied properties and will consider the needs of the occupants at all times. We use only the most up to date methods, best quality materials and the safest of preservatives which have no odour, no vapour and a one-hour room re-entry time.

PLEASE BE AWARE OUR WORK IS DISRUPTIVE

Important preparation that must be done, prior to the arrival of our operatives

Please be aware, the remedial work we have recommended is disruptive, therefore, all items in rooms to be treated should ideally be removed by others, prior to the arrival of our operatives. We appreciate the obvious inconvenience this may cause, but we must emphasise, there is no 'quick fix' for treating timber and **compromise should not be considered.**

- Some air-borne dust or blemishes, when carrying out the treatment is unavoidable, so it is important that you ensure all soft furnishings including carpets, curtains, blinds etc are removed from the rooms to be treated before our arrival. All wood and laminate flooring, ceramic tiles and general floor tiles must be fully covered and protected against scratches and blemishes. We also suggest that all doors to surrounding rooms are sealed against dust using a suitable tape.

Damage to unprotected electrical wiring, cables or plumbing is possible

- It is your responsibility to inform us of the possible location of any hidden pipes or wiring, prior to our work commencing. In the absence of such information, Tapco HomeDry will not accept any liability for any damage that may occur to any such items, or for the cost of repairing them.

If the property is tenanted, it is very important that you make the occupants fully aware of this information and that all necessary preparation and protection is carried out, prior to our arrival. Failure to do so could result in an abortive visit charge being made.

- Work starting without the necessary preparation **will be at your own risk**
- Our technicians will remove all debris and excess material accumulated by our work only and leave the areas tidy. **Please be aware, further cleaning will be required by others.**

Our terms of payment

50% deposit is required at the time of scheduling with the total balance being due **7-days following receipt of our invoice**. On larger contracts, we may ask for interim payments as the work progresses. To avoid delaying completion of the work, these must also be paid immediately on receipt of our invoice.

Late payments, whether this be before or after judgement, will incur a late payment fee of **4% a month, above the base lending rate**, Should this action be necessary you will forfeit your rights to our guarantee..

Ownership of any equipment, manufacturers warranties and our guarantee will only apply from the date we receive full and final settlement of our account.

If you have any questions about us or you would like to schedule the work

We hope you find our information helpful, however **please take the time to read our report and our terms and conditions thoroughly** to ensure we have dealt with your concerns and not misinterpreted your instructions. Alternatively, if you have any questions about us, or you would like to schedule the work, **call one of our contracts team on 020 8398 6663** and they will be pleased to help you.

Aborted visit charge

The work at your property will be scheduled for our most suitable operatives. If it is postponed, with less than two working days' notice, or upon their arrival they can't commence, for whatever reason, on your part, **an aborted visit charge of £380.00 plus vat will be made** to cover part of our loss.

It is important that you ensure all areas where we are working, are clear of all obstructions and are fully accessible before we arrive.

Report copyright

Please note: The contents of this report and our recommendations are for the benefit of the addressee only and covered by copyright. They must not be reproduced for a third party, in any form, including electronic or mechanical means, without written permission from **Tapco (Preservation) Ltd.**

Thank you again for choosing **Tapco HomeDry**, we assure you of our very best attention and service for the duration of the contract and await your further instructions.



'Tapco HomeDry, the Professional Preservation Company you can Trust'

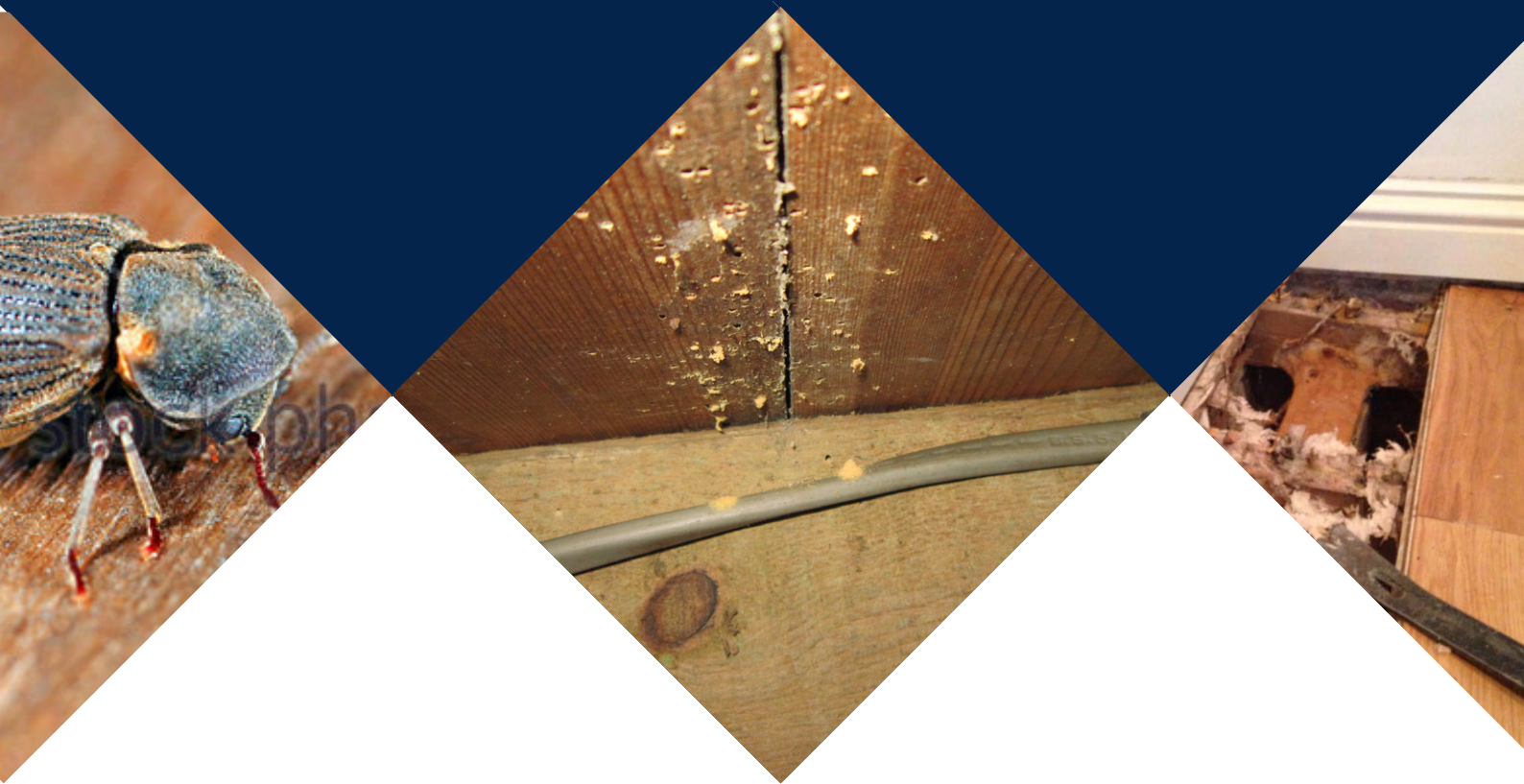
Trust in our accreditations

We are a long-term member of the Property Care Association (PCA), Trustmark (Government Endorsed Standards), an accredited ISO 9001:2015 quality management approved company, a member of the Basement Waterproofing Association (BWA) and rated as 'Excellent' by Trustpilot.



Tapco HomeDry Terms & Conditions (The Small Print)

1. Our quotation allows for treatment recommended by us and where specified only. If it is found whilst our work is in progress that other areas are affected, in need of timber replacement or plastering, an additional estimate or quotation would be submitted.
2. We reserve the right to make any variation in design, construction, or materials, should it become necessary during the course of our treatment, without prior notice, but without lessening the design performance.
3. Payment terms must be agreed, and our form of acceptance completed and returned to us, prior to commencement of the work.
4. Payment in full is due on completion of the work. Interest on a daily rate of 4.0% per year above the base lending rate will be charged on late payment. If it is necessary for us to instruct a third party or to take legal action to recover monies, we reserve the right to withhold our guarantee. A deposit is required before commencement of work and interim payments may be required whilst our work is in progress. We also reserve the right to withdraw our labour and materials until due payment has been received.
5. Failure to pay our invoice in full, immediately on completion of the work, will result in our offer of discount, being withdrawn.
6. In cases where the treatment is subject to an insurance claim, we shall require the client to complete an assignment, thereby authorising the insurance company to pay us directly. It is the sole responsibility of our client to ensure we are paid in full.
7. For the safety of any occupants of the property or any other persons or pets, the property must be vacated whilst our work is in progress and for one hour following completion. If work is to be carried out to a party wall, it is the client's responsibility to obtain a party wall agreement prior to us commencing the work.
8. It is your responsibility to ensure that all areas where work is to be carried out, including areas of access, are clear of furniture, floor coverings, curtains. Blinds, soft furnishings and any other obstructions, before we commence work. If you require Tapco HomeDry to move any such, or obstructions, this will need to be agreed and paid for, prior to us starting. Any items remaining in rooms to be treated will be at the owners own risk.
9. Although care will be taken, we will not be liable for any repairs that may be required to plumbing, electrical fittings, valves, appliances etc, if found to be defective at the time of moving, or for damage caused to plumbing or electricity cables, that cannot reasonably be seen, whilst our work is in progress.
10. Client is to ensure that a supply of electricity and water is available. If it is necessary for us to obtain an electricity generator, a charge for hire would be made.
11. Should the work be interrupted by you causing delay of completion, or should you cancel part of the work whilst it is in progress, any loss incurred by us, or any additional expenses would be charged to the client. Time scales for completing the work, are a guide time only and cannot be guaranteed.
12. Our quotations include the removal of rubbish and debris accumulated by us only.
13. Where it was not possible for our surveyor to assess the thickness of the existing wall plaster, any additional thicknesses, exceeding 25mm, will require additional render coats and be charged for. A further price would have to be submitted and agreed by you, in writing, prior to us continuing the work.
14. Removing wall plaster is dusty and plastering is a wet trade. Whilst care will be taken, we cannot accept any liability for any damage, blemishes or staining which may occur to decorations, polished floors, tiled floors, floor covering, fitted carpets, drives, gardens etc., all of which must be fully protected by you, prior to the arrival of our technicians.
15. We accept no responsibility for the renewal or repair of any ceiling cornices, mouldings, external plinths etc. which may be damaged, or may need to be removed, during the course of certain treatments. Further quotations would be given by us or a specialist company for the renewal or repair of such items.
16. Whilst care will be taken when removing skirting boards or joinery timbers, some damage may be unavoidable, particularly if they are decayed or fixed with large nails or screws. Should damage occur or decay is discovered, you will be informed and upon your request, we shall submit a further quotation to supply and fit new timbers to match existing as closely as possible.
17. Because of the restricted preservative penetration to timbers which are painted or varnished, such timbers would not be covered under the terms of our guarantee, unless they be stripped of paintwork/varnish by you before we commence the work.
18. We accept no responsibility for any decayed timbers or wall plaster removed or replaced by others, if found to be defective at a later date.
19. Damage caused to our damp proof membranes or structural waterproofing systems by a third party will invalidate our guarantee.
20. Any redecorating must be delayed until such time that all residual moisture has dried out. Any wallpapering (including lining paper) must be delayed for a minimum of 12-months. Temporary redecoration such as two mist coats of matt 'trade' emulsion paint may be applied 4-weeks after completion of the plastering. Under no circumstances should paint containing vinyl be used as this will invalidate our guarantee.
21. Our guarantee relating to work carried out will be issued on completion and full and final settlement of our account. It will apply to treatment carried out by us, in accordance with our specification only. We reserve the right to withhold our guarantee if our terms and conditions are not adhered to.
22. In addition to our recommendations, it is imperative that all building repairs specified by us, are carried out either by Tapco HomeDry or your own contractor without delay. It is also your responsibility to ensure the property is kept well maintained and free from moisture ingress at all times. Failure to do so would invalidate the terms of our guarantee.
23. Should we be called upon during the guarantee period to reinspect the premises you will be required to complete a claims form and return it to us, together with a nominal deposit and a copy of the guarantee. Should the reinspection be abortive, your deposit will be retained as payment of our costs. Alternatively, if there is a reoccurrence of dampness, decay or infestation, in areas covered by our guarantee, and there is a fault with our recommended treatment, the deposit will be refunded and any remedial works carried deemed necessary by us will be carried out in accordance with our recommendations, without charge.
24. An admin charge would be made for duplicate reports and guarantees.
25. Once a start date for the work has been scheduled, a minimum of two- working days' notice is required should the date be altered. Shorter notice will incur a fee to cover any loss incurred by the company.
26. Notification of any claim or alleged damage or complaint must be made in writing within fourteen-days of the completion of work. We shall not accept any liability for any repairs carried out by a third party without our prior consent.



There is no 'quick fix' for treating woodworm, timber decay or damp and compromise shouldn't be considered. We pride ourselves on being London and the Home Counties premier timber preservation and damp proofing company with service and a high standard we are proud of.

We eradicate woodworm and timber decay from all domestic and commercial properties, using only the safest methods and preservatives. We are specialists at:

- Treating and eradicating infestations of wood boring insects
- Treating and repairing timbers affected by wood rotting fungi
- Rectifying building defects that cause timber decay
- Increasing sub-floor ventilation

For our domestic clients, we are a long-term member of the PCA (Property Care Association) and a **5-star Which? Trusted Trader**

For our corporate clients we are a certified ISO9001@2015 quality management company, Safe Contractor accredited, Chas accredited and our technicians hold CSCS certification. Health and Safety is managed by The Health & Safety People Ltd.



Tapco HomeDry are London and the Home Counties leading specialists in the diagnosis and eradication of dampness, timber infestation and decay.

☎ 020 8398 6663

🌐 www.tapcohomedry.com