

Twickenham Studios

Twickenham Studios London LTD



Block B

- Entrance & Reception
- Offices
- 'The Lounge' Rooftop Bar

Block D

- Art Department
- Ancillary

Block C

- Studios 2 & 3
- 2x Studio Apartments
- Offices
- Ancillary

Block E

- Dubbing Theatre 2
- Projector Room
- Offices
- Canteen

Blocks F & G

- Studio 1
- Post Production
- Preview Theatre

Block H

- Richard Attenborough Theatre
- Theatre 3
- Sound Studios
- Offices
- Undercroft Parking



SITE APPLICATION BOUNDARY

Approved Design









Consented Site Development Summary

EXISTING SPACES ON SITE

- BLOCK B**
- Entrance and Reception
 - Offices
 - Prop Storage
 - 'The Lounge' Bar

- BLOCK D**
- Art Department
 - Ancillary
 - Offices
 - Storage

- BLOCK C**
- Studios 2 & 3
 - Ancillary
 - Dressing Rooms
 - Hair and Makeup
 - 2 x Studio Apartments
 - Offices

- BLOCK E**
- Dubbing Theatre 2
 - Projector Room
 - Canteen and Kitchen
 - Offices

- BLOCKS F & G**
- Studio 1
 - Post production facilities
 - Dressing Rooms
 - Hair and Makeup
 - Ancillary
 - Preview Theatre

- BLOCK H**
- Richard Attenborough Theatre
 - Theatre 3
 - Sound Studios
 - Offices
 - Parking



REFURBISHMENT OF EXISTING BUILDINGS

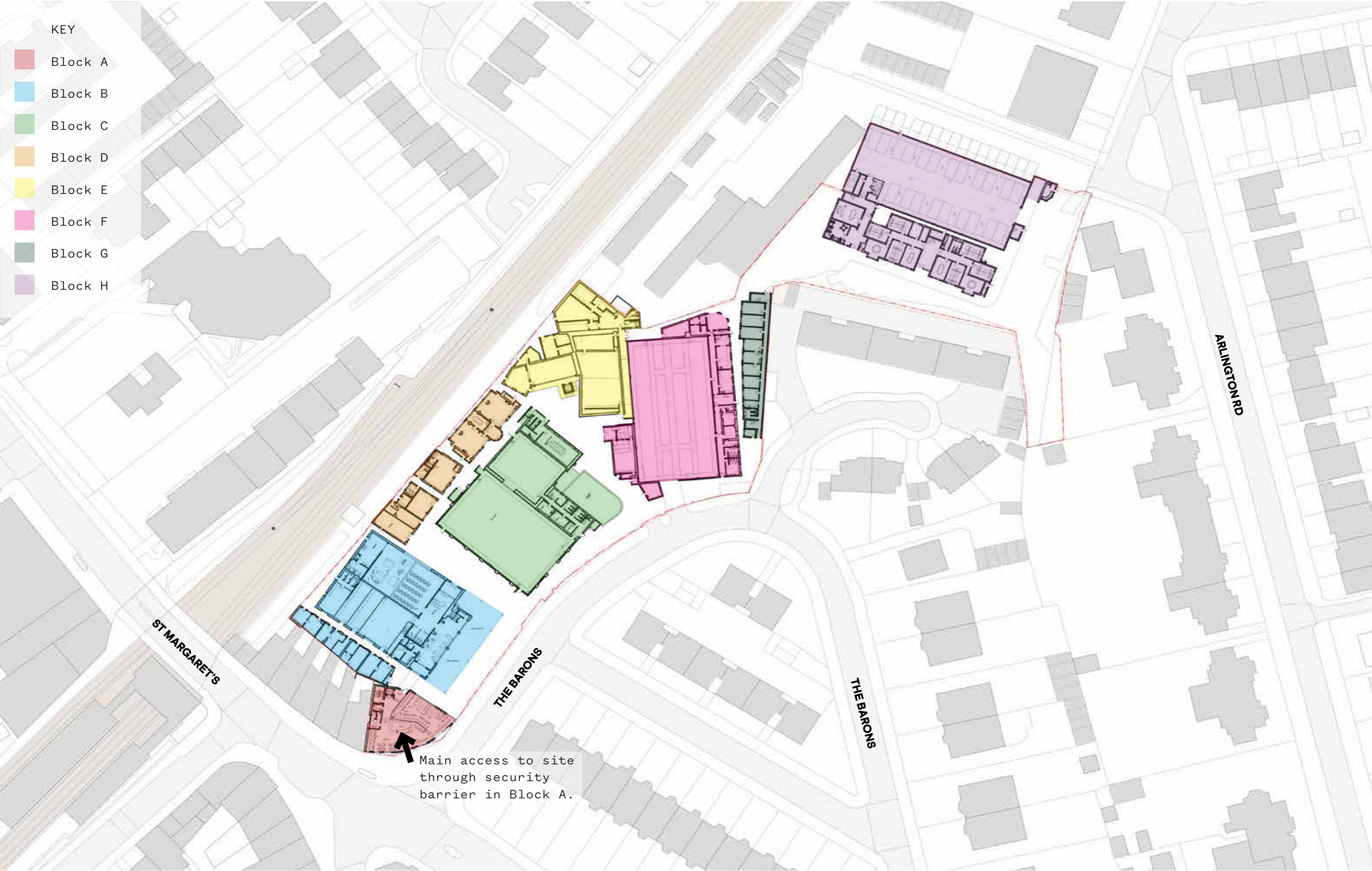


PROPOSED ADDITIONS

- DEMOLITION
- EXTERIOR & INTERIOR REFURBISHMENT
- EXTERIOR REFURBISHMENT ONLY

- NEW BUILD
- EXTENSION

Consented Site Plan



The proposals to update and enhance the existing boundary wall facing the site will tie the site together as a whole.

We are proposing to use the wall to not only tie the scheme together but also as a means of art and storytelling. As shown in the visualisations on the right, pop-out frames have been incorporated to the boundary wall which have the potential to be filled with artwork/historical images of Twickenham Studios, creating visual interest, and potentially telling a story through the journey along the wall along The Barons.

The proposed wall also continues the playful language of Block A across the whole site with both the material selection, and the pop out frames further unifying the scheme and making it clearer the buildings behind all belong to Twickenham Film Studios.

We are proposing to clad the wall with micro-cement to the same colour pigment as Block A front elevation, which will successfully tie the two together. The existing wall will be stripped back, a mesh attached and the render will be coated on top, sealing the existing materials.

Some of the benefits of using micro-cement are outlined below:

- Ideal material for external surfaces
- Does not need joints, facilitating cleaning and maintenance
- Wide variety of colours
- Offers different textures
- Can be coated with different varnish finishes
- Protective coating to withstand graffiti



Existing Pebble Dash Render stripped back to block work behind



New Micro-cement Coating

Temporary Facade Improvements



EXISTING SIGNAGE/FACADE CONDITIONS

The use of graphic signage and facade improvements to the current building stock would be beneficial in temporarily unifying the scheme in advance of more permanent interventions to the site.

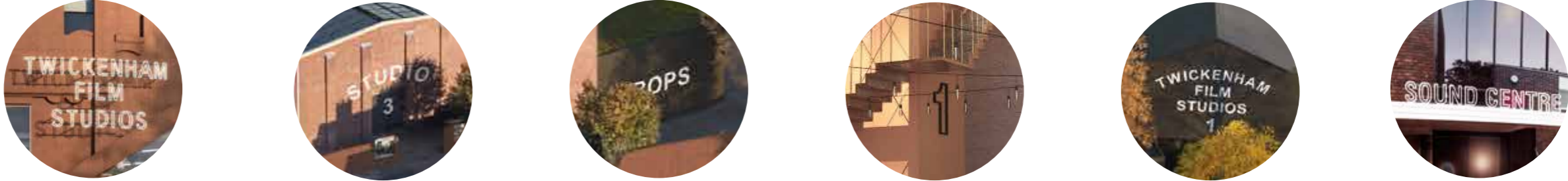
This can also be used as a means of way finding, which is particularly important on a site as complex and large as Twickenham Studios. These signs allow for clear directions through the site, making the function of each building clear.

Additionally, the potential for artwork/historical images of Twickenham Studios, as proposed to the boundary wall, create visual interest, and tell the story of the sites history.

This is a feature that will be developed in further detail with a specialist designer.



PROPOSED SIGNAGE/FACADE IMPROVEMENTS



Block A considers its neighbouring properties not just in form and massing but also in terms of its material palette. It was discussed that whilst the materials should compliment those along St Margaret's road they should also take a modern approach.

The moulded decorative concrete facade was decided upon in order to accommodate and successfully detail the playful forms within the facade. The ability this gives to add pigment means that we are able to match the adjacent historic elevation as closely as possible.

A glazed break is proposed where the new Block A would adjoin the original part of the terrace, to ensure the authenticity of the original buildings is respected.

The metal surrounds to the windows set in the facade are to be powder coated, matching those proposed across the site for consistency.

The set back third floor allows for an outdoor terrace area laid with timber HPL composite decking. This sits behind the primary concrete elevation and is lined with the safety of a glass balustrade.

The glazed elevation of the third floor allows for natural light to penetrate into the co-working and office space within, whilst the roof overhang provided ample solar shading.

A green roof is proposed to Block A ensuring biodiversity within the site. There is the potential for rainwater harvesting to be incorporated for both internal and external uses.

The side elevation is created with a smooth light grey concrete, with detail exposing structural beams to emphasise the concept of the 'facade' being propped up.



Existing



Proposed



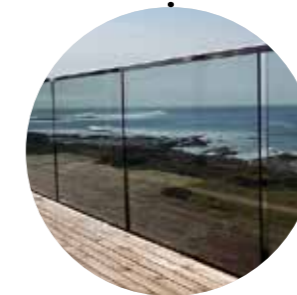
New green roof covering with pebble border



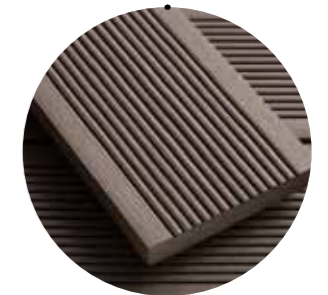
Metal surround to picture frame window. Powder coated (Colour tbc.)



Moulded decorative concrete facade - pigmented to match adjacent historic elevation (colour tbc.)



Glass balustrade behind concrete elevation



Timber HPL composite decking to balcony and terrace areas

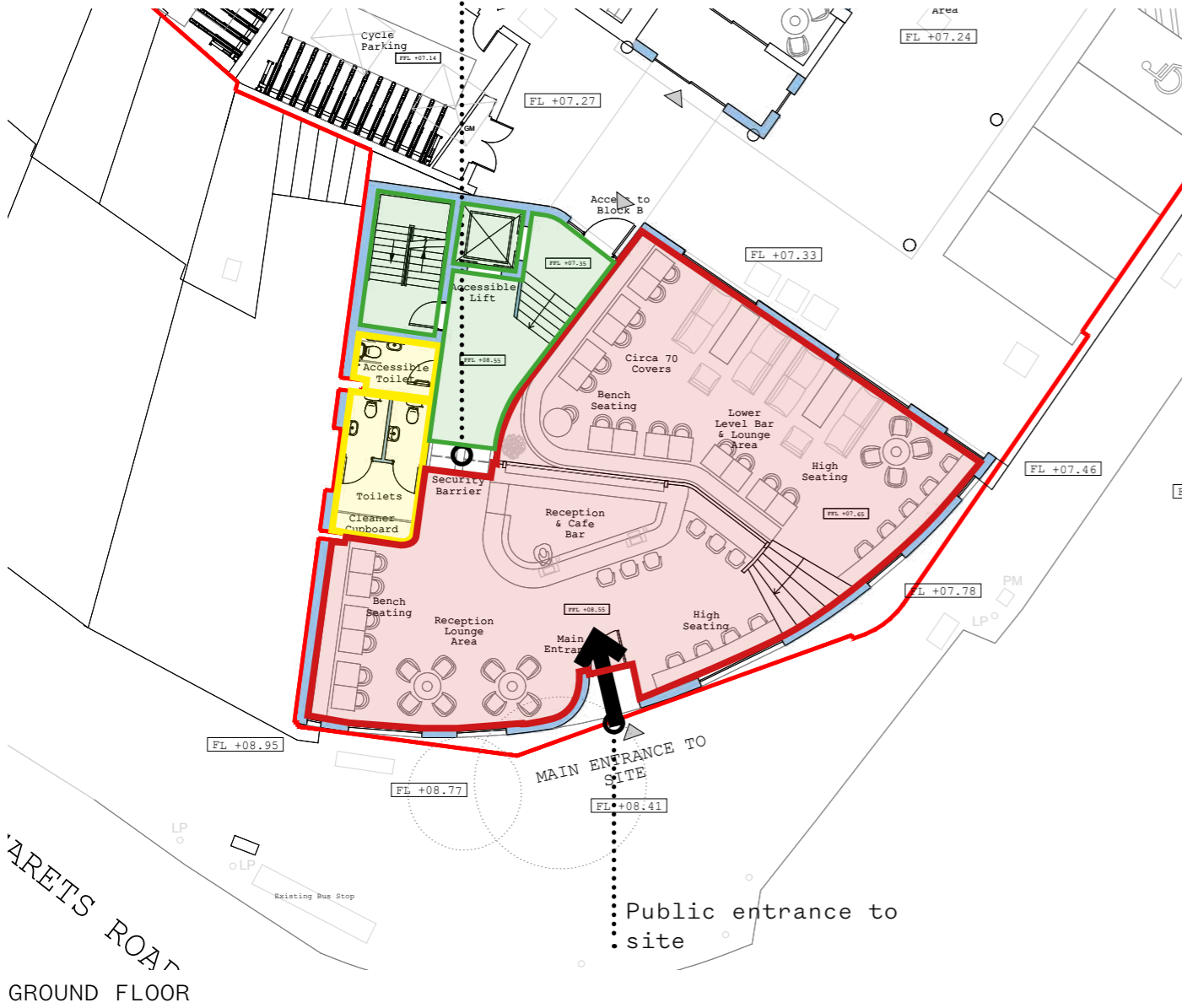
Block A

The proposed Block A is the main entrance to the site for both private and public users. The change in levels here has been addressed with an accessible lift in the place of the six step change.

The security gate within the building created the boundary between public and private realm and is operated by the reception area.

The third floor is stepped back to consider the relationship with its neighbouring properties as well as to minimise impact on the public realm below.

Security gate creates boundary between public & private realm



GROUND FLOOR

KEY - (NEW BUILD REFURBISHED)

- Main Entry
- Circulation
- WC's
- Reception & Lounge Area
- Co-working/Office Space



FIRST & SECOND FLOOR



THIRD FLOOR

The architectural character of Block B is recognised to be imperative to the area. It's existing fabric is key to the historic nature of the site and so the proposal aims to minimise any impact put upon this.

There are not architectural changes to Block B and instead the proposal includes the retention and enhancement of the existing concrete pebble dash facade.

A relatively new extension to the roof is to be retained and its existing brickwork is to be painted a dark grey colour for consistency across the site.

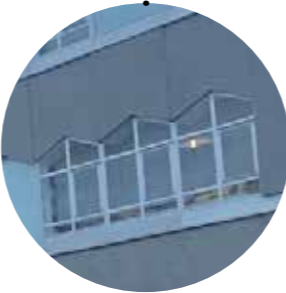
A new green roof is to be added to the existing extension increasing the biodiversity across the site.



Existing



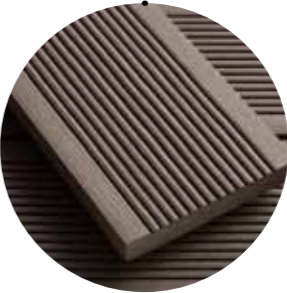
Existing brickwork to be painted dark grey (colour tbc)



Existing UPVC windows



Existing concrete pebble dash to be retained and enhanced



Timber HPL composite decking to balcony and terrace areas



New green roof covering with pebble border

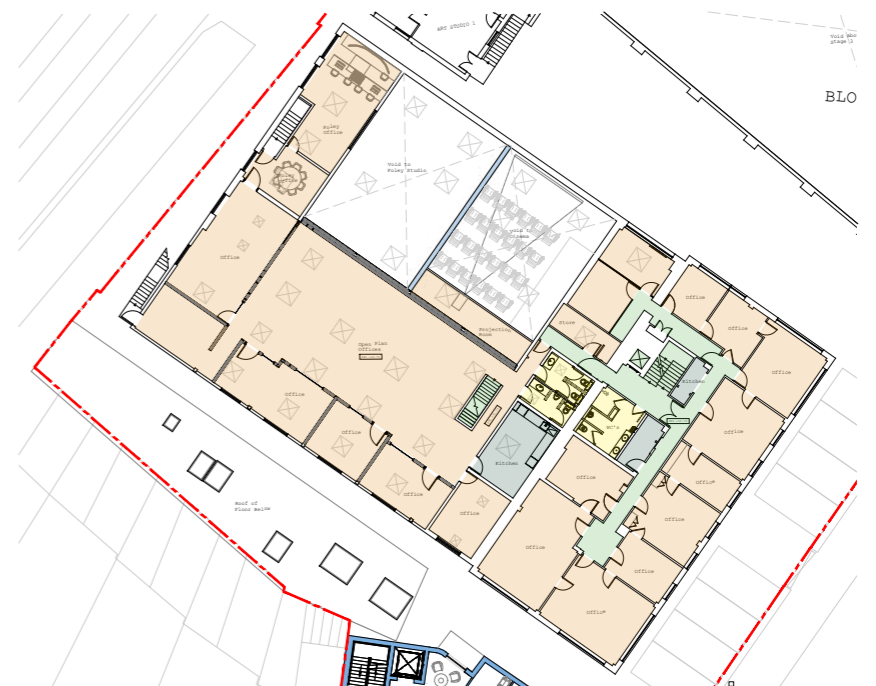
Block B

Block B is planned to be refurbished internally with much of the layout remaining as is. The third floor will be reorganised to house the restaurant and outdoor terrace area.

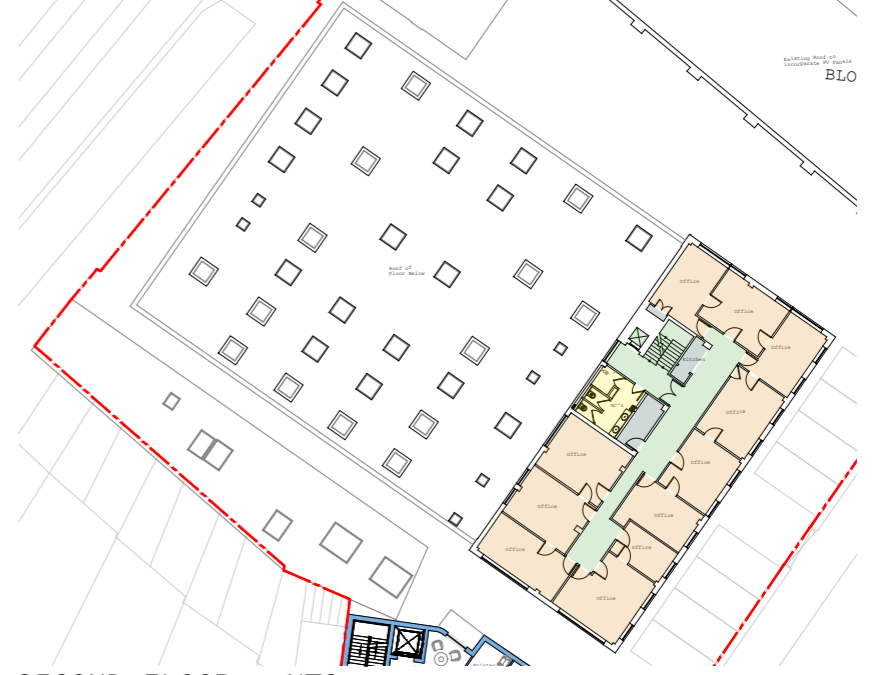
The smaller block to the South of Block B is proposed to house secure cycle stores as well as facilities for those who use active modes of transport.



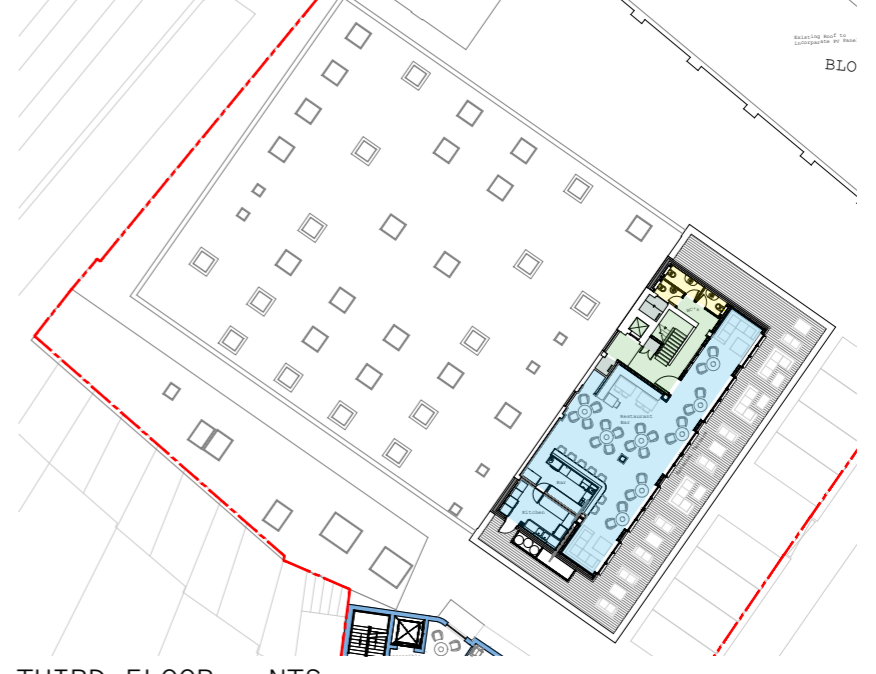
GROUND FLOOR - NTS




FIRST FLOOR - NTS










SECOND FLOOR - NTS



THIRD FLOOR - NTS

KEY - ( NEW BUILD  REFURBISHED)

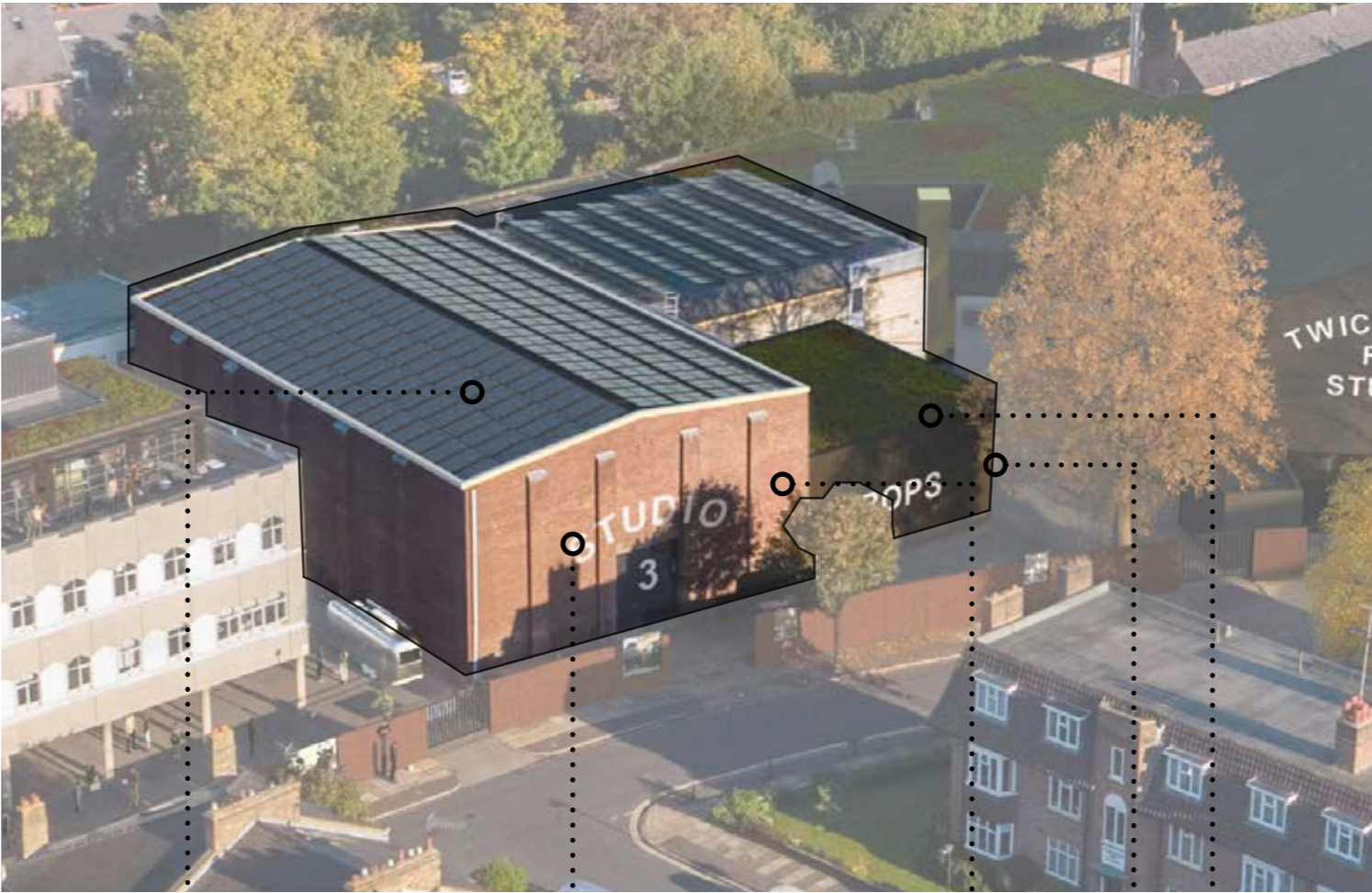
 Main Entry	 Cycle Store	 Offices/Ancillary/Post Production
 Circulation	 Reception & Lounge Area	 Service Spaces/Store
 WC's	 Production spaces & Cinema	 Restaurant inc. Kitchen

The existing structures of Block C will remain pretty much as is with the cleaning and enhancement of the existing brickwork. Redundant and disused plant will be removed from the face of the building tidying up the overall appearance. Additional signage will be added to the front facade in the form of painted brickwork. This will depict the studio number forming further sense of arrival at the studio site.

PV panels are also to be added across the existing roof scape of the studio. This will not impact the visual aesthetic of the site for its users but will enhance the sustainability of the site and its environmental impact.

The additional new build prop store is to be prefabricated using lightweight cassette panels of an aluminium cladding system.

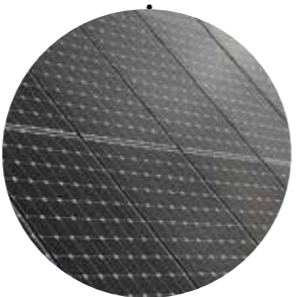
This proposed addition will also include a new green roof with pebble border, further adding to the sustainability of the site.



Existing Studio



Proposed



Solar PVs to existing roof



New signage proposed (detail and design tbc)



Existing brickwork to be cleaned up and enhanced



Prefabricated lightweight panels with aluminium cladding system. Cassette panel



New green roof covering with pebble border

Blocks C & D

Much of Blocks C & D will be refurbished to be up to standard with modern facilities.

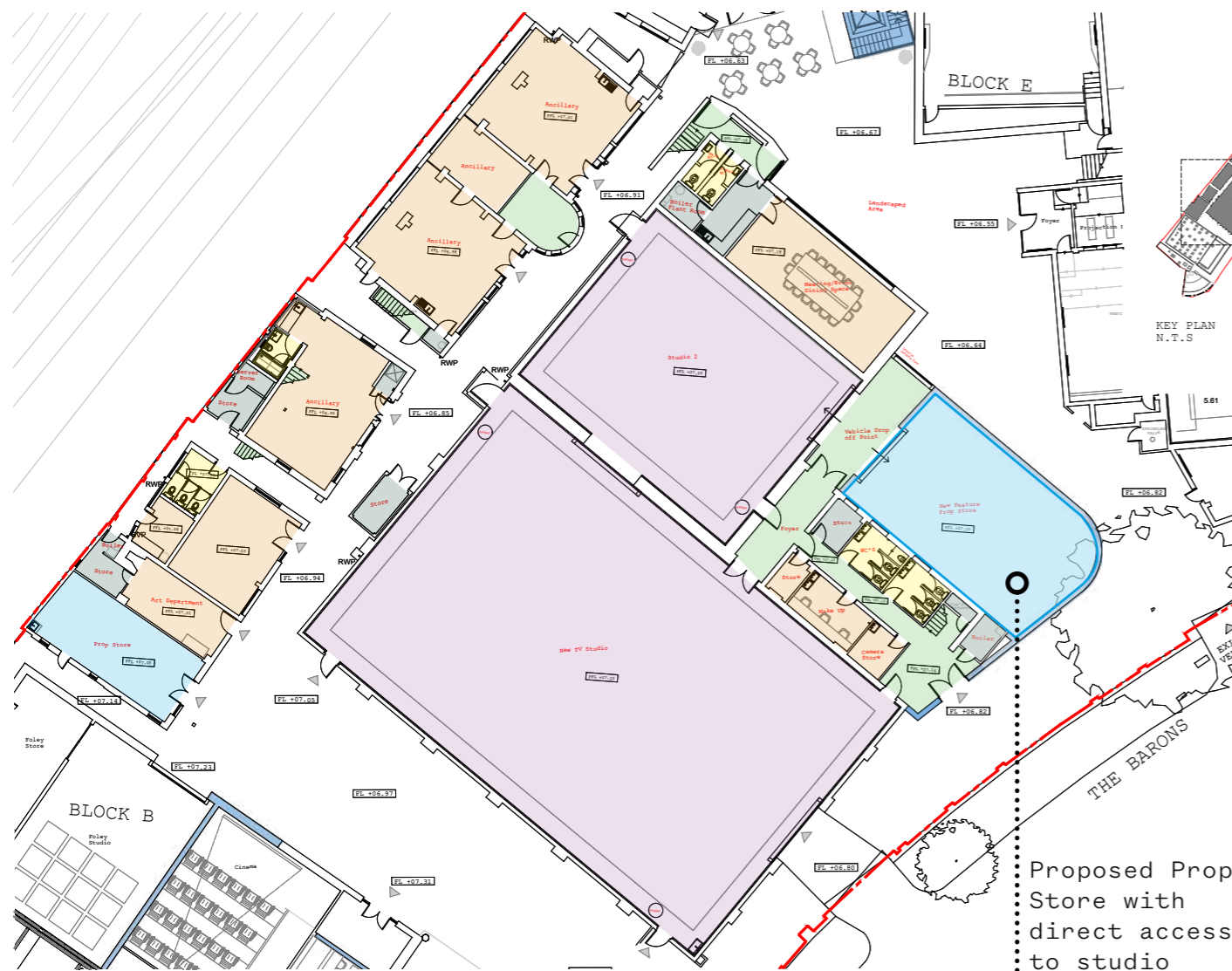
BLOCK C

The proposed new build adjacent to Block C will wrap the corner and house an additional double height prop storage facility with enhanced entrance loading door/lobby space.

PVs are proposed across the existing roofs of Block C, and a green roof is proposed over the prop store roof which will encourage biodiversity on the site.









BLOCK D

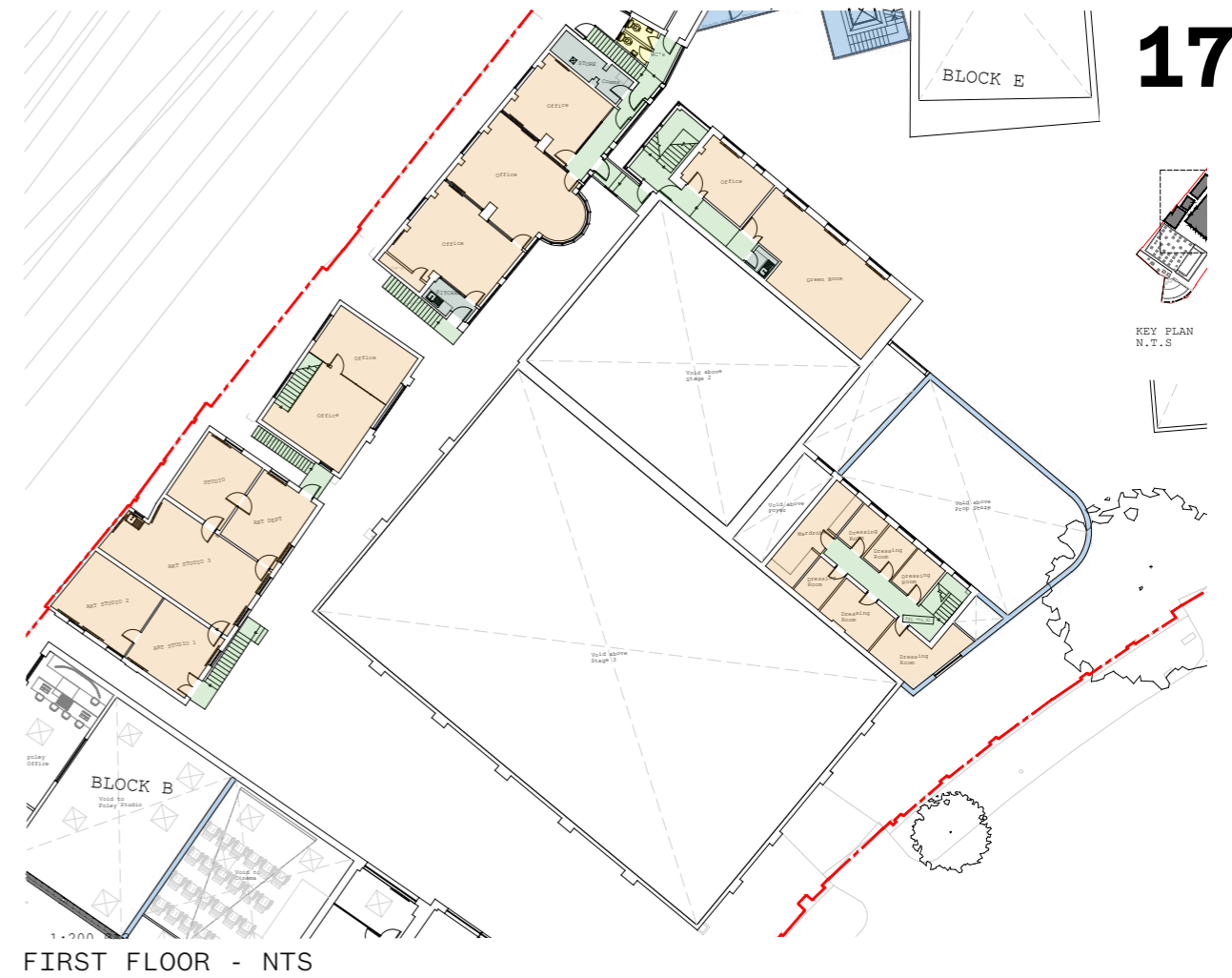
Block D is proposed to be refurbished internally and externally.



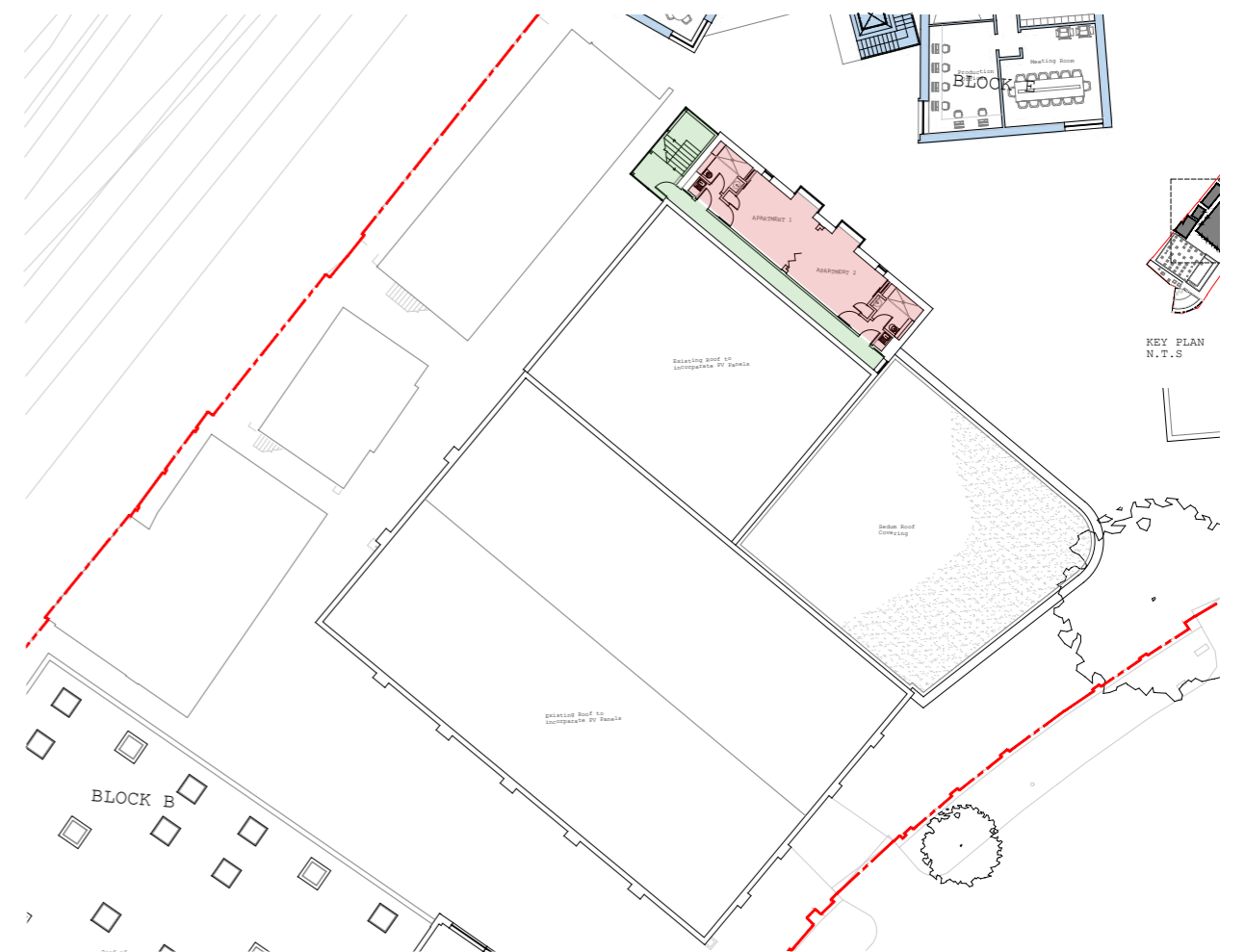
GROUND FLOOR - NTS

KEY - ( NEW BUILD  REFURBISHED)

-  Main Entry
-  Circulation
-  WC's
-  Production spaces & Cinema
-  Prop Store
-  Offices/Ancillary/Post Production
-  Service Spaces/Store
-  Apartments



FIRST FLOOR - NTS



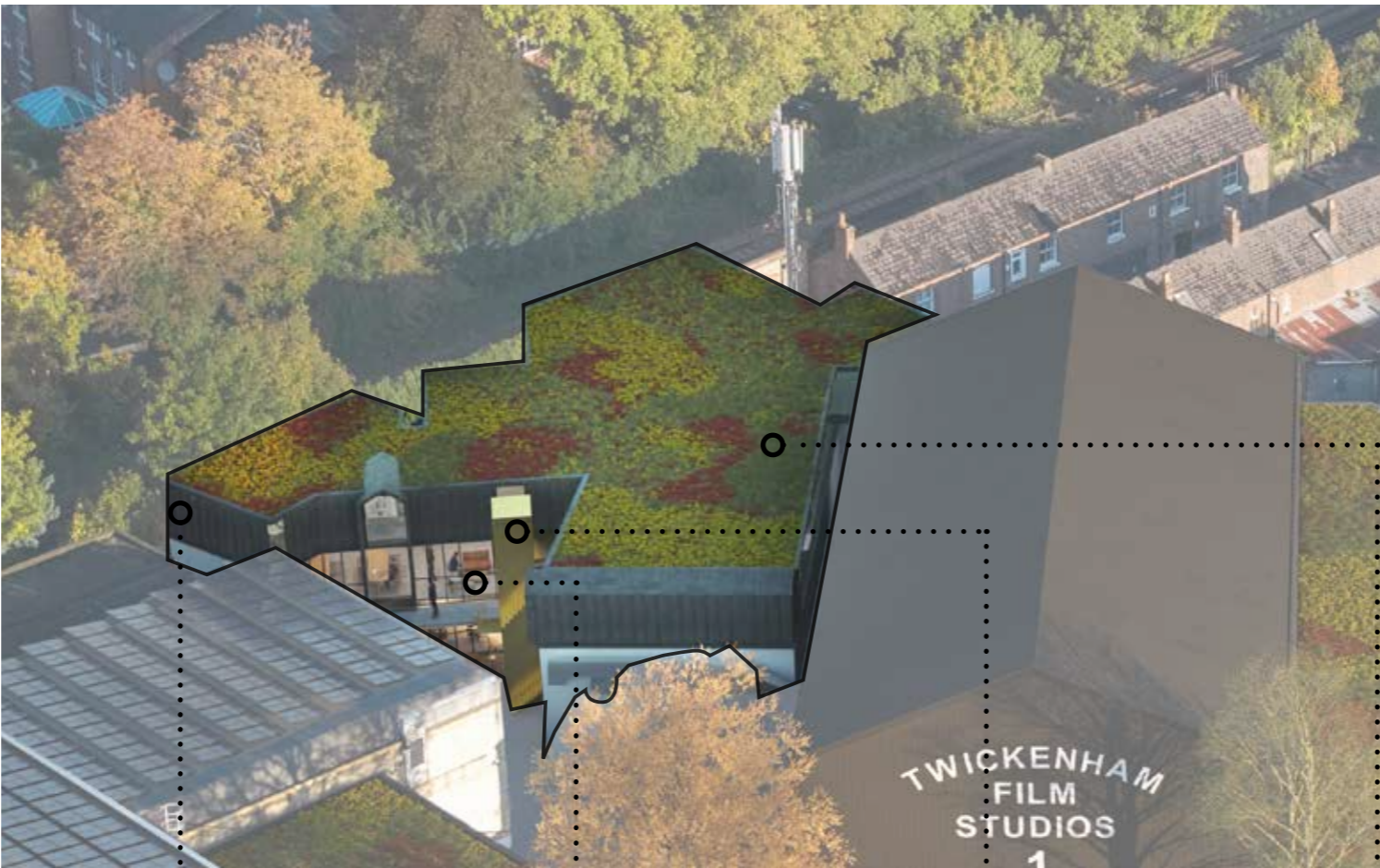
SECOND FLOOR - NTS

The existing facade of Block E is to be replaced with aluminium crittall style windows enhancing the projection onto the landscaped courtyard space below. An air stream cafe is to be located in the courtyard which acts as a spill out space for the canteen within Block E.

Additionally to this a lightweight roof extension is to be added using prefabricated lightweight cassette panels with aluminium cladding system. The design of this addition has been drawn from features of surrounding architecture, such as the pitched window and roof detail and the crittall inspired by the character of the nearby Park House Gardens Character Area - of which the majority of Twickenham Studios is located within.

The new roof extension is also to include a green roof with pebble border.

An external core is proposed within the courtyard made up of a perforated steel staircase and balustrade both to be powder coated to match the Studios branding.



Existing



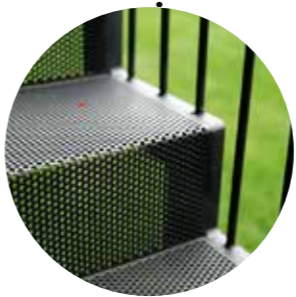
Proposed



Prefabricated lightweight panels with aluminium cladding system. Cassette panel



Aluminium crittall style windows to elevation (Colour tbc)



Perforated steel staircase and balustrade to external core. Powder coated (colour tbc.)

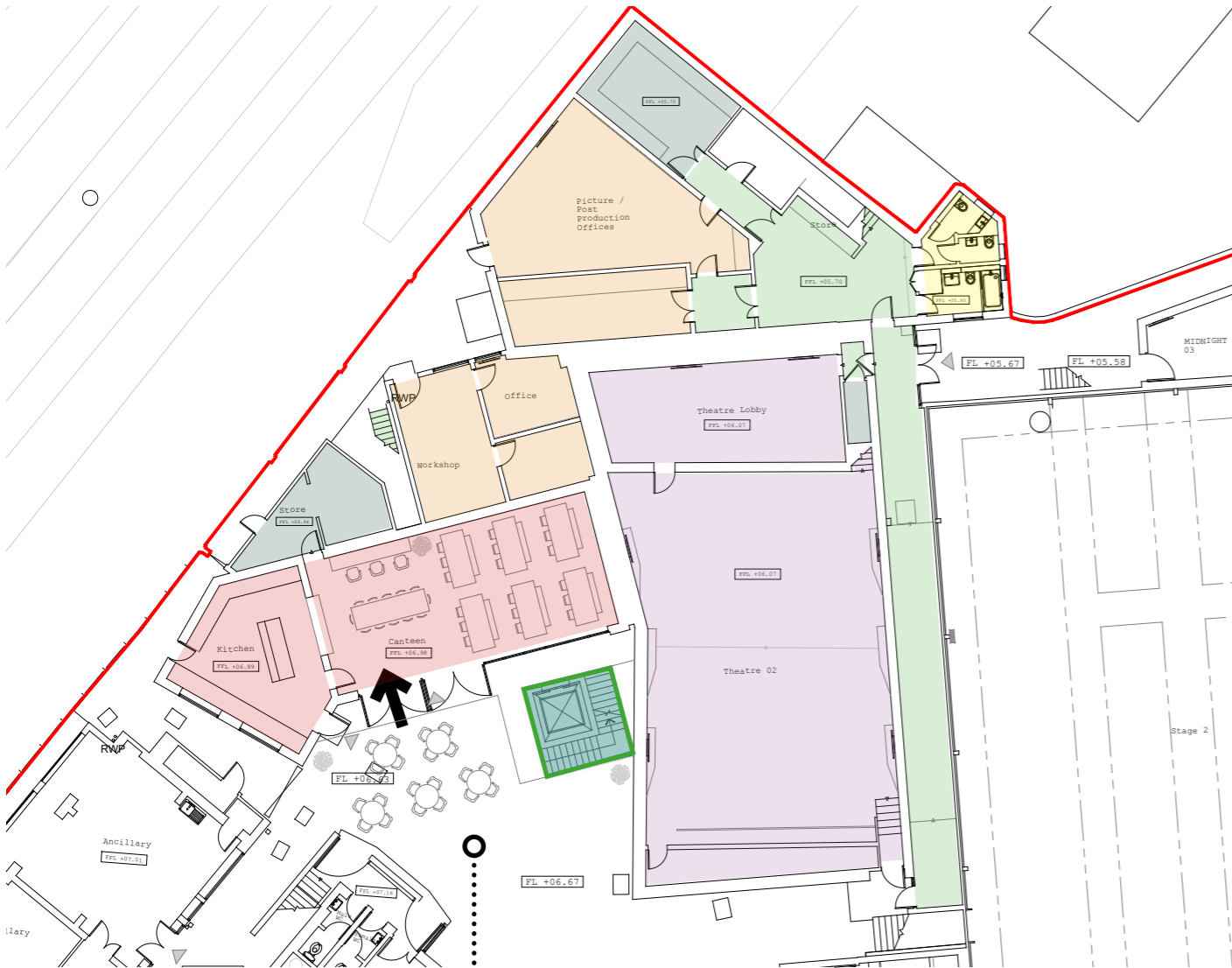


New green roof covering with pebble border

Block E

The existing canteen and kitchen will be re-worked and refurbished and will have access to outdoor social areas within the courtyard. The facade overlooking the courtyard will be upgraded with contemporary crittall style glazing, and a new perforated steel external staircase and enclosed lift takes users up to the first and second floor external walkways.

A lightweight roof extension is to be added to create the second floor, housing additional and much needed post production and office spaces. This extension will continue the proposed facade of the lower levels and will also include a green roof.



KEY - (NEW BUILD REFURBISHED)

 WC's	 Offices/Ancillary/Post Production	 Production spaces & Theatre	 Service Spaces/Store
 Circulation	 Prop Store	 Canteen incl Kitchen	
 Main Entry			



Blocks F & G

Much of Blocks F & G will remain as is with the existing brickwork and metal cladding to be tidied, refurbished and painted a dark grey colour, and signage to be added to the front facade, potentially in the form of painted lettering to identify the studio and enhance way finding across the site.

Green roofs are also to be added to the flat roofs of F & G.



Existing



Existing



Existing brickwork to be painted dark grey (Colour tbc.)



New signage proposed (detail and design tbc.)



New green roof covering with pebble border

Whilst Block H is to be refurbished internally and externally, with redundant plant and services removed from the exterior, generally tidying up the building.

The proposed rooftop extension will be in the form of prefabricated lightweight cassette panels meaning that minimal impact will occur on site as these will be assembled simply. The architecture of which picks up on the vertical panels which are a characteristic of the original building.

The lightweight extension has been carefully designed as to minimise impact on the spaces below. As such, it will be stepped back an to minimise impact on the residential properties opposite and from ground level.

Additionally the extension will be home to a new green roof.



Existing



Proposed



New signage proposed (detail and design tbc)



Aluminium window system. Powder coated



Prefabricated lightweight panels with aluminium cladding system. Cassette panel



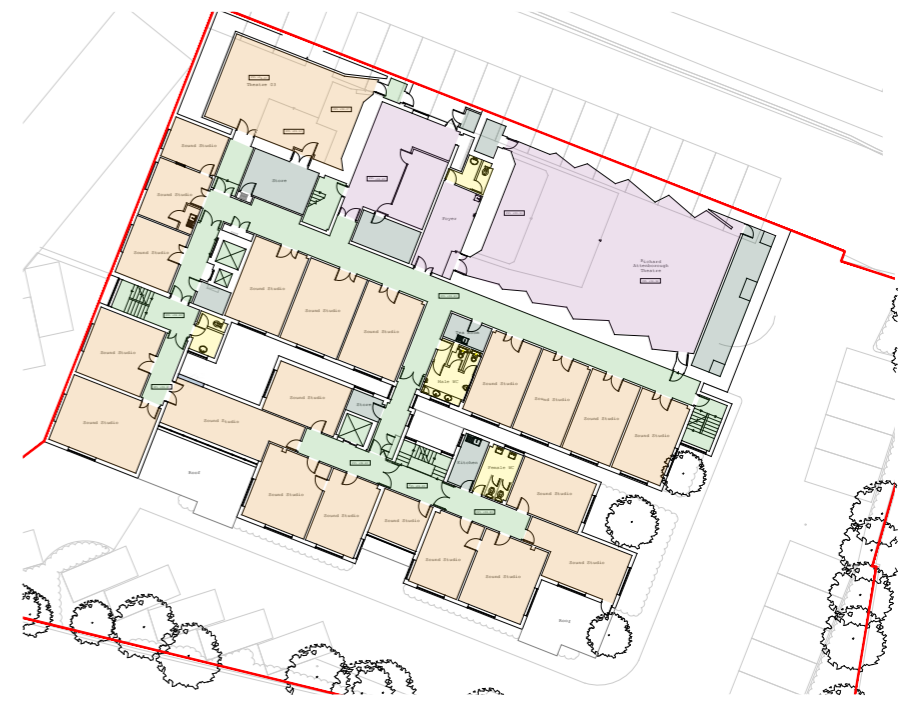
New green roof covering with pebble border

Block H

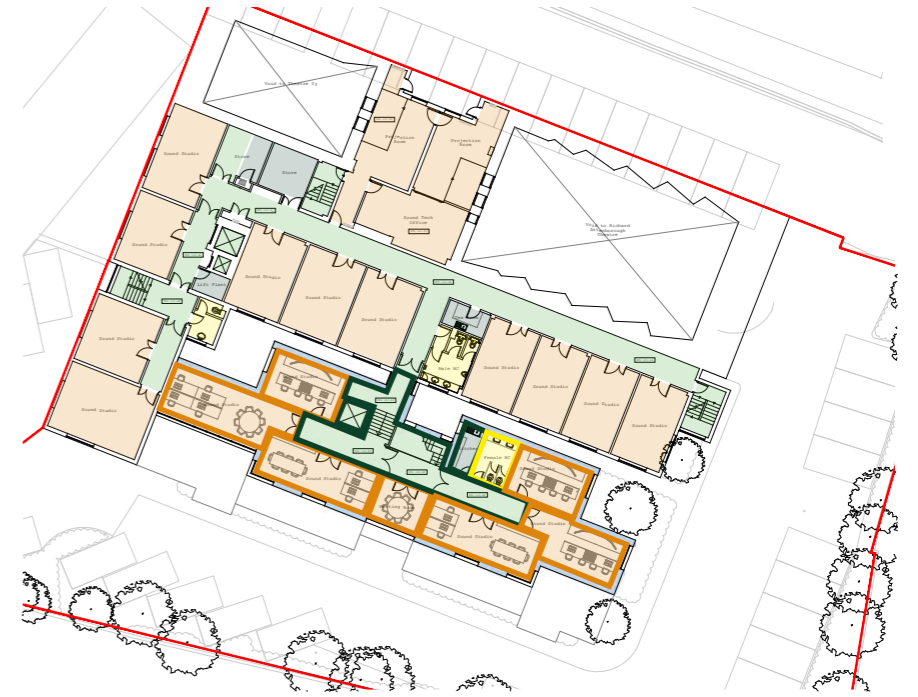
Block H is planned to be refurbished up to modern day standards as well as the additional light-weight roof extension, similar in architectural treatment as Block E. This extension will provide further and much needed office and post production space. This lightweight roof extension proposes a green roof.



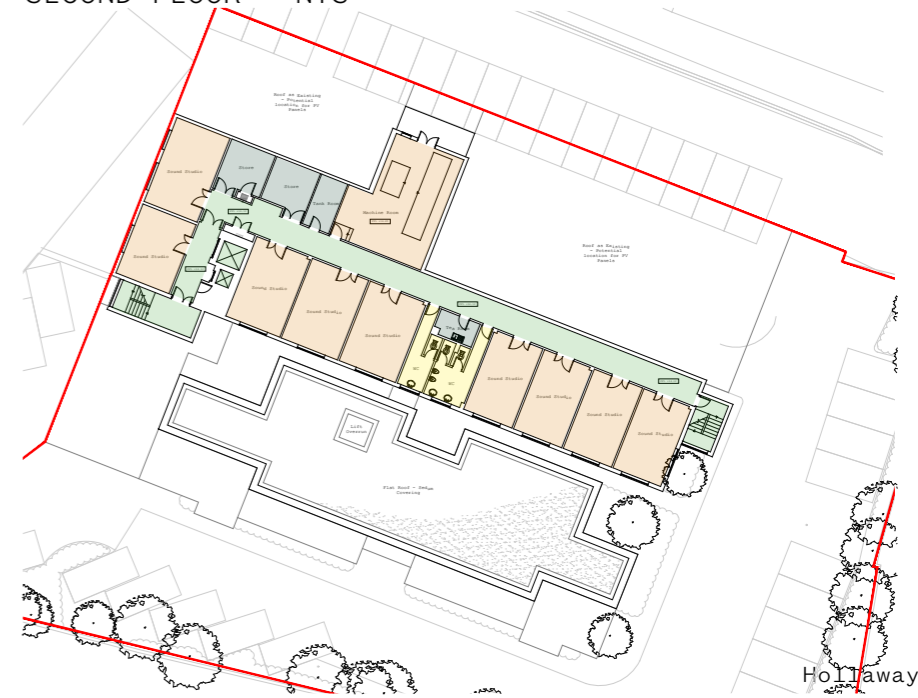
GROUND FLOOR - NTS



FIRST FLOOR - NTS











SECOND FLOOR - NTS



THIRD FLOOR - NTS

KEY - ( NEW BUILD  REFURBISHED)

-  Main Entry
-  Circulation
-  WC's
-  Production spaces & Theatre
-  Prop Store
-  Offices/Ancillary/Post Production
-  Service Spaces/Store
-  Security

Proposed Site Plan

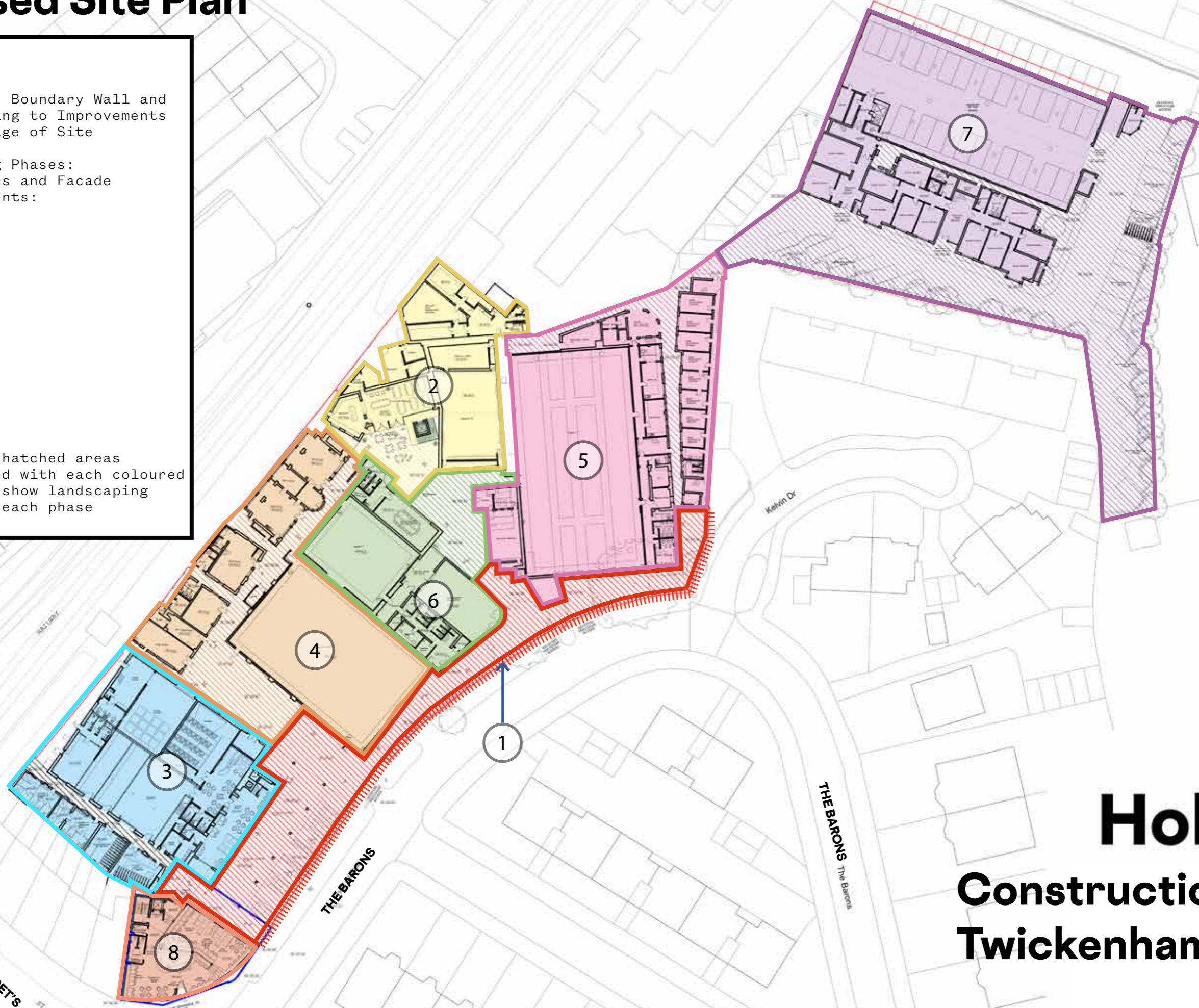
KEY

Phase 1 - Boundary Wall and Landscaping to Improvements to Frontage of Site

Following Phases:
Extensions and Facade Improvements:

- Phase 2
- Phase 3
- Phase 4
- Phase 5
- Phase 6
- Phase 7
- Phase 8

Coloured hatched areas associated with each coloured boundary show landscaping works to each phase



Hollaway
Construction Phases
Twickenham Studios

ARLINGTON RD

Kelvin Dr

THE BARONS
The Barons

THE BARONS

ST MARGARET'S
ST. MARGARET'S ROAD

2020 RICS South East Awards Commercial Category Winner (Curious Brewery)
2019 FX Awards (Curious Brewery) Shortlisted
2019 Blueprint (Process Gallery) Shortlisted
2019 AJ Architectural Award (Process Gallery) Shortlisted
2019 AJ Architectural Award (Curious Brewery) Shortlisted
2019 Dezeen Award (Process Gallery) Longlisted
2019 AJ Retrofit Award (Gin Works Chapel Down) Shortlisted
2019 RIBA South-East Regional Award (Process Gallery)
2019 BD Awards shortlisted for Small Project of the Year Category
2019 BD Awards shortlisted for Retail & Leisure Architect of the Year
2018 George Clarke Medal Winner (The Cottage)
2018 Property Week Student Accommodation Awards Highly Commended (Palamon Court)
2018 What Awards 'Best Luxury House' Silver Winner (Manor Barn)
2018 The Sunday Times British Home Awards Winner (The Cottage)
2018 AJ Retrofit Awards Finalist (The Cottage)
2018 BD Architect of the Year Award shortlisted for Individual House
2015 RIBA South-East Regional Award (Pobble House)
2014 Kent Design Award (Best Small Project)
2013 WAN World Architecture News Facade of the Year (Crit Building)
2012 Kent Design Awards Overall Winner (Rocksalt Restaurant)
2012 RIBA Downland Award (Rocksalt Restaurant)
2012 RIBA Downland Award (The Marquis)
2012 Restaurant & Bar Design Award Shortlisted
2011 FX International Interior Design Shortlisted
2011 WAN Commercial Shortlisted
2011 RIBA Downland Prize (Commended)
2010 RIBA National Award Shortlisted
2010 Kent Design Awards (Best Education Category)
2010 Building Design & Construction Award (Best Educational Building)
2010 Building Design & Construction Award (Public/ Community Building)
2009 Evening Standard New Homes Award Shortlisted
2008 RIBA Downland Prize (Residential Leisure)
2008 'Britain's Best Home' (Final Six)
2007 Kent Design Award (Best Small Project)
2007 RIBA Downland Prize (Best Conversion)
2007 Kent Design Award (Education Shortlisted)
2006 'What House' Award (Best House)
2005 RIBA National Award
2004 Kent Design Award (Overall Winner)
2004 Kent Design Award (Education Category)
2000 National Built In Quality Award

London

10A Acton Street WC1X 9NG

+44 (0)20 7096 5425

Kent

The Tramway Stables, Rampart Road

Hythe CT21 5BG

+44 (0)1303 260 515

architects@hollawaystudio.co.uk

hollawaystudio.co.uk