

# Book Shop and Ice-cream Parlour Roof

Ham House

## Proposed repair and reroofing

Heritage Statement



June 2024

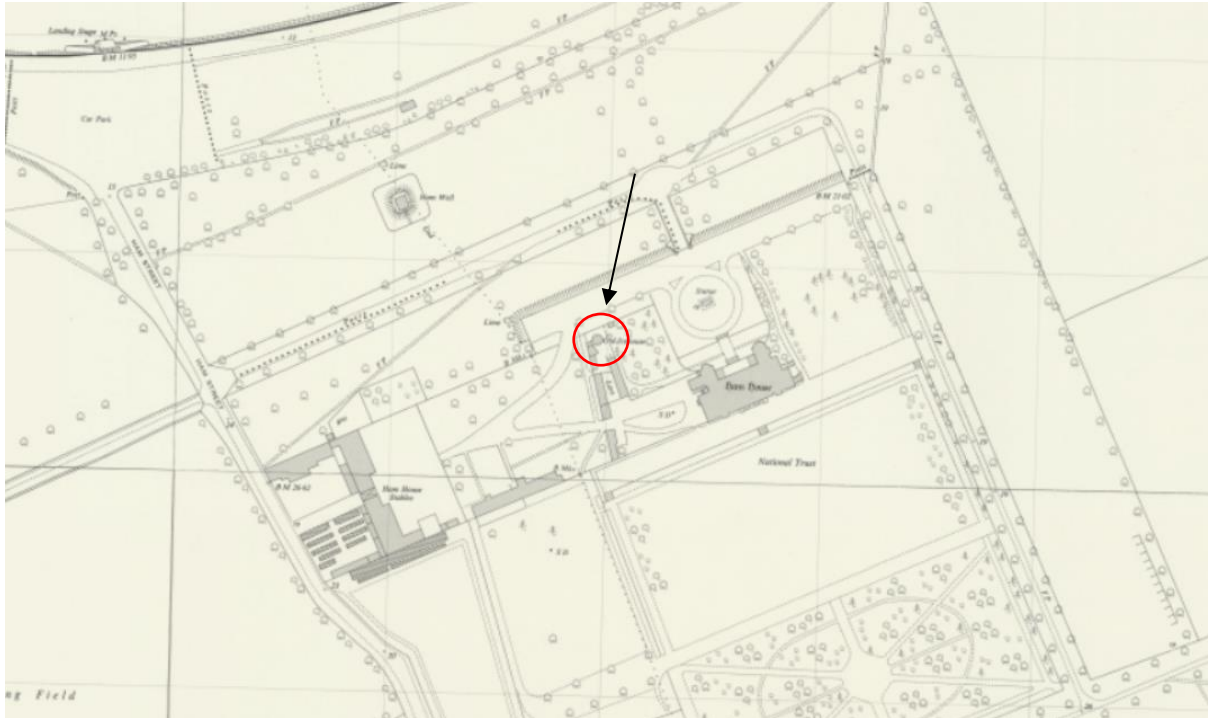
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# 1 BRIEF

Site Location plan 1936.

Proposed repair and replacement of modern steel and asbestos roof.



## 2 LOCATION

Location

Ham House Ham, London TW10 7RS

The Bookshop is located on the east Mansion below the ice house within the historic precinct of Ham House.

The book shop is not independently listed but is within the curtilage of Ham House, in the conservation area and within a Listed Garden.



**Location plan**

### 3 GENERAL DESCRIPTION

The Book shop and ice-cream parlour are lean structures built against the inner precinct wall. Access is via a pair of doors to the south. The roof of the upper section has been replaced in steel, the lower section retains its asbestos cement covering. This is in poor condition and has numerous repairs.



*Icecream parlour roof.*

Both roofs suffer from considerable condensation issues internally in addition to leaks.



*Interior of the book shop*

The rainwater goods are lead with cast iron gutters. Later additions are in Black PVC

Both structures are curtilage listed with the Ham House.

Heritage Category:	Listed Building
Grade:	II
List Entry Number:	1386436
Date first listed:	25-Jan-1954
Date of most recent amendment:	09-Nov-1998
List Entry Name:	HAM HOUSE

#### Location

Statutory Address:	HAM HOUSE, TEWKESBURY CLOSE
The building or site itself may lie within the boundary of more than one authority.	
District:	City of Plymouth (Unitary Authority)
Parish:	Non Civil Parish
National Grid Reference:	SX 46202 57672

#### Details

This list entry was subject to a Minor Amendment on 01/02/2016  
SX4657NW 740-1/26/252

PLYMOUTH, Ham, TEWKESBURY CLOSE, Ham House

25/01/54

(Formerly Listed as: HAM, Ham House (Library))

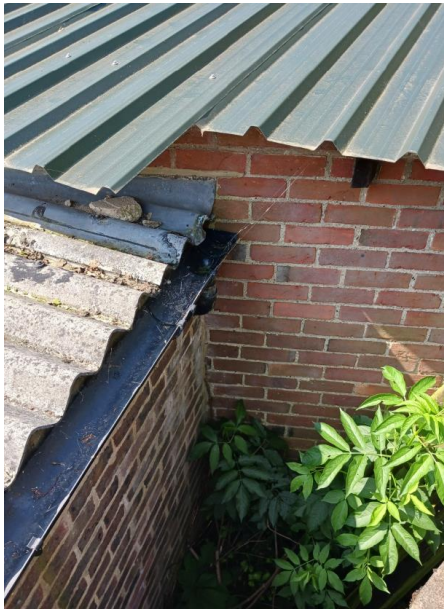
Farmhouse, later a country house, more recently a library, a care home, and flats. 1639 for Robert Trelawney, a merchant of Plymouth, altered in 1739 and late C19, when most of the windows were replaced in the style of the original windows, and extensions were made at the rear. Rendered rubble with original granite dressings and C19 freestone dressings; steep dry slate roofs with slightly-projecting eaves and verges with barge boards with central pendants; 2 tall brick gable and lateral stacks with entablature to left and rear of left-hand wing, other stacks demolished or truncated. U-shaped plan plus T-plan wing at rear right. EXTERIOR: 2 storeys; 1:2:1-window front with original moulded round-arched central doorway with date, carved spandrels and hoodmould; flanking original 2-light mullioned windows with 2-light C19 transomed windows above; full-width porch between wings carried on paired Tuscan columns at either end. Front of left-hand wing with 3-light windows, the other wing with 4-light windows, all C19 and with hoodmoulds; similar windows to side elevations. At rear of left-hand side is an C18 Venetian window with moulded cornices and leaded glazing.

#### 4 PLANNING HISTORY

There are numerous applications associated with the site relating to trees, but none seem to directly relating to the Ice cream parlour or Book shop structures.



Ice cream Parlour entrance.



PVC Gutters and failed flashings to North elevation.

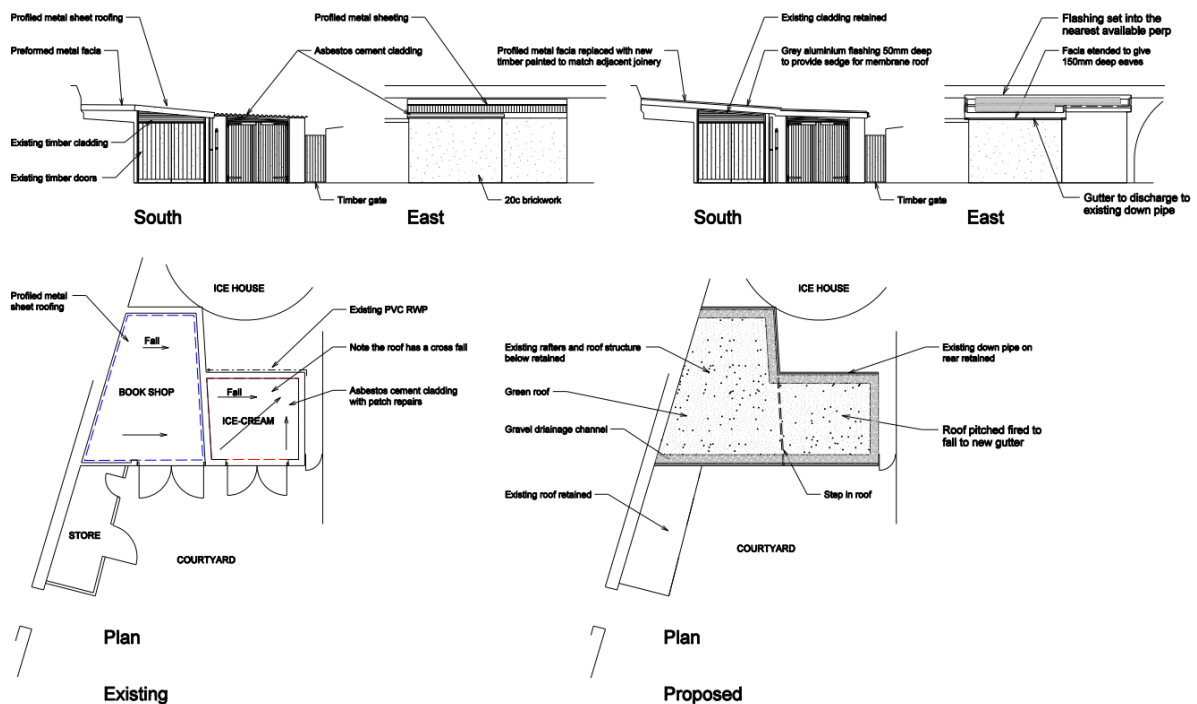
South and west Elevations with the failed drainage on the West gabled elevation

## 5 PROPOSAL

The proposal is to reroof both the ice-cream Parlour and bookshop together with an insulated covering and single ply deck above. This can then carry a green roof trays. This will prevent condensation forming on the underside of the roof, and the green roof reduce run off from the fabric. The green roof covering is made up of sedums which require minimal maintenance and reduce the visual impact when seen from the mansion.

This consists of:

1. Strip the existing roof coverings.
2. Inspect the rafters.
3. Provide a new deck and covering in OSB with insulation above.
4. Provide a single ply membrane.
5. Provide green roof trays with a gravel margin.



*Proposed Elevations, see large drawings.*

## 6. STATUTORY REQUIREMENTS

### DISABLED ACCESS

The access will remain as existing.

### ENERGY STATEMENT

No alterations are proposed to the existing dwelling.

### ECOLOGY

Green roof will improve the bio diversity and reduce run off. No alterations are proposed to the roofs that would effect bats or other birds.



