
Project No: 428
Project: 7 The Vineyard, Richmond.
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Planning, Heritage and Design & Access Statement

Status: PLANNING

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0	CONTENTS
1.0	INTRODUCTION
1.1	Scope
2.0	ASSESSMENT
2.1	Location
2.2	Site Area
2.3	Topography
2.4	Context
2.5	Building - Existing
2.6	Significance
2.7	Landscape - Existing
2.8	Access - Existing
2.9	Flood Risk Assessment (FRA) - Existing
3.0	EVALUATION
3.1	Involvement
3.2	Relevant Planning Policy
3.3	Relevant Planning History
3.4	Relevant Building Control History
3.5	Precedents
4.0	DESIGN
4.1	Design strategy
5.0	APPLICATION SCHEME
5.1	Generally
5.2	Building - Proposed
5.3	Landscaping - Proposed
5.4	Access - Proposed
5.5	Utilities/Services - Proposed
5.6	Flood Risk Assessment (FRA) - Proposed
5.7	Daylight/Sunlight
5.8	Amenity and Privacy
5.9	Environmental Credentials
5.10	Construction Management
6.	SUMMARY
6.1	Planning Policy Context
6.2	Conclusion

1.0 INTRODUCTION

1.1 Scope

Phillips Tracey Architects have been instructed to prepare proposals for the alteration and extension to the existing dwelling house at 7 The Vineyard, Richmond.

Throughout this document reference will be made to the National Planning Policy Frameworks and the London Borough of Richmond Upon Thames Planning Policies.



Fig 1.
Map - Indicating the application site within the wider context (Source: LBRUT Local Plan)



2.0 ASSESSMENT

2.1 Location

Local Authority: London Borough of Richmond Upon Thames

Site: 7

Street: The Vineyard

District: Richmond Upon Thames

Postcode: TW10 6AQ

Co-ordinates (DD): 51.45791, -0.30242

2.2 Site Area:

The site area which is outlined in red (application Boundary) on the Location Plan opposite covers 191m²/0.02 ha.

2.3 Topography

A detailed digital topographical survey is included within the submitted planning application. All indicated levels are linked to the OS datum.

The application site is a rectangular shape on a NW-SE axis.

The plot slopes up from The Vineyard to the back of the rear garden by approx 0.5m



Fig 2.
Location Plan - Highlighting the application site.



2.0 ASSESSMENT

2.4 Context

2.4.2 LBRUT Site Designations:

a. Archaeological Priority Zone

The application site sits within the Richmond APA 2.6 Richmond Town Archaeological Priority Zone

Summary and Definition (as defined within the London Borough of Richmond Archaeological Priority Areas Appraisal prepared by Historic England)

"The APA covers the historic area of Richmond Town and surrounds the Richmond Palace Tier 1 APA, and river area. It is classified as a Tier 2 APA because it is a historic settlement of medieval origin with demonstrated potential for buried remains relating to the development of the town. It is a settlement with a unique character; neither a normal small market town or a typical rural village and is closely associated with the Tier 1 Richmond Palace APA, the Shene Charterhouse Scheduled Monument (also a Tier 1 APA) and Syon Abbey, Isleworth."

b. Conservation Area

The building sits in the Richmond Hill Conservation Area - Conservation Area 05, designated: 14 January 1969 and extended: 16 September 1975, 5 July 1977 and 17 January 2000.

The Conservation Area is defined within the Richmond Hill Conservation Area Appraisal which is available on LBRUT website. Link: https://richmond.gov.uk/richmond_hill_conservation_area_appraisal

The application site sits within The Richmond Hill Conservation Area (Conservation Area 05): Character Area 5 - The Vineyard. It is defined within the Conservation Area Appraisal Document as follows:

"This is the most urban part of the Conservation Area, a dense residential enclave close to the town centre. In contrast to Richmond Hill, the building height is mainly two storey, with stock brick and slate roofs predominating. This character area has a particularly high number of listed buildings."

The Vineyard is characterised by variety rather than similarity of buildings, with a sinuous and narrow approach to the Church of St. Elizabeth at one end giving identity to the whole street, its prominent tower serving as a local landmark."

c. Article 4 Direction

Permitted development rights for subterranean developments have been removed from the property. As such planning permission will be required for the extension of private dwelling-houses consisting of the formation of basements light-wells rooms cellars or any other type of usable space or space complementing other usable space beneath a private dwelling-house or below ordinary ground level in proximity to a private dwelling-house.

d. Listed Building

i. 1-7 The Vineyard is Grade II listed for group value (GV)

ii. Listing Entry Name: Michels Place

iii. Listing Entry Number: 1261985

iv. The terrace is described within the official listing entry as:

"Early C19 terrace of 2-storey brick houses. Slate mansard roofs to parapet with dormers. Stucco door surrounds with bracketed cornice hoods to each entrance door. Nos 1 and 7 are 2 windows wide and Nos 3 and 5 are 3 windows wide."

e. Critical Drainage Area : Richmond Town Centre and Mortlake.

i. The application site is located on the edge of the Richmond Town Centre and Mortlake CDA.

ii. Please refer to FRA within section 2.9

2.0 ASSESSMENT

2.5 Building - Existing

2.5.1 Generally

Please refer to the digital measured survey floor plans and elevations which accompany this application.

The application site comprises number 7 The Vineyard, Richmond.

No. 7 The Vineyard is part of a small terrace (Michels Place) fronting The Vineyard. The terrace is grade II listed for group value (GV). The south east and south west boundaries of the terrace are bound by Michels Almshouses which are Grade II listed, along with their adjoining front wall, railings and entrance gates. The north east boundary is shared with number 9 The Vineyard which is Grade II* Listed. There are also a number of listed building and BTM on the opposite site of The Vineyard which form the application sites immediate context.

As highlighted above, the terrace (Michel's Place) is Grade II listed for group value (GV). The terrace is described as Early C19th terrace of 2 storey brick houses. Slate mansard roofs to parapet with dormers. Stucco door surrounds with bracketed cornice hoods to each entrance door. Nos. 1 and 7 are two windows wide and Nos. 3 and 5 are three windows wide.

It is believed, that No 3 & 5, would have been a single building originally with a single mansard roof form.

Properties were then added to each side, Nos. 1 and the application property 7, each with their own differing roofs.

2.5.2 Accommodation/use

The building is a 4 bedroom 3 storey dwelling with one bathroom and a small kitchen.

2.5.3 Floor areas - Existing

Footprint: 70m² (inc outhouse)

GIA: Ground Floor: 59m² (inc outhouse)

GIA: First Floor: 40m²

GIA: Second Floor: 26m²

Total GIA: 125m²

2.5.4 Internal

a. Ground floor

The general layout is two rooms deep with a later single storey outrigger.

A narrow entrance hall leads to the front reception room and rear dining room.

An external door leads directly to the rear garden. A staircase is half offset (following the staggered party wall line) serving the upper floors. A small WC has been incorporated under the staircase. Beyond the two main rooms is a single storey outrigger which houses a small kitchen and store rooms.

b. First floor

The layout is two rooms deep aligning with the ground floor .

Off the landing at the top of the staircase are two bedrooms. The largest facing The Vineyard, the smaller rear bedroom facing onto the garden.

c. Second Floor (within the roof).

The side hip of the rear roof encroaches on the landing at the top of the staircase. It is likely that the rooms followed the same principle as below (driven by the double piled roof construction above). The current configuration has two rooms fronting The Vineyard, one a bathroom, the second a bedroom. To the rear is a further bedroom.

2.5.5 Scale

The building is two storeys with accommodation within the mansard roofs. The elevation fronting the Vineyard is approximately 7m high from ground level on the Vineyard to the top of the parapet and approx 9.4m to the ridge.

2.5.6 External envelope

a. Elevation_The Vineyard

- i. The terrace frontage to The Vineyard is in yellow stock brickwork, laid in 'Flemish' bond.
- ii. The doors are framed and panelled and painted (black).
- iii. Door surrounds are painted Stucco with lead capped bracketed cornice hoods.
- iv. Windows are box frame construction set back behind half brick reveals with flat arches of gauged brickwork.

b. Elevation _Rear Garden

- i. The first floor is constructed with yellow stock brickwork, laid in 'Flemish' bond. The external wall at ground floor has been removed at some point during its life and is supported with timber framing with lightweight infill. The second floor is entirely within the roof

c. Roof

- i. The mansard roof is 'double piled' with a central lead gutter. The two roof elements are hipped adjacent to no. 5.
- ii. The roof is generally covered with natural slate. However, there is a

small section of the lower mansard to the rear which is finished with an artificial slate.

- iii. Rainwater from the roof and central gutter is disposed forward to a lead lined parapet gutter fronting The Vineyard which then drains to a single rainwater downpipe by the entrance No 3. The rear garden elevation mansard slope drains to UPVC rainwater goods.
- iv. The single storey out rigger at the rear is finished with an artificial slate as are the WC extension and outbuilding adjacent to the lightwell serving no. 5.

2.6 Significance (as defined by Historic Englands Practical Building Conservation_Consevation Basics)

2.6.1 Historical evolution

The building dates from the mid 19th Century (pre-dating the ordnance survey first editions). Prior to this the land would have been agricultural. Therefore extensive evolution in terms of buildings is limited to the existing building on site.

The main two storey frontage and roof structure does not appear to have had any significant alterations other than minor adjustment to the main roof which are likely to have occurred when re-roofing took place.

To the rear of the house a 20th Century WC has been incorporated under the existing staircase. The rear elevation at ground floor has been significantly altered with a timber framed construction incorporated. This is likely to date from the late 19th century (speculation), to accommodate a small kitchen in a small outrigger (first two rooms of the existing outrigger). It also appears from historic mapping that the existing two stores were once incorporated within no.9 The Vineyard and have been rebuilt more recently (with matching brickwork, possibly early 20th century) at the same time as the WC projection, light-well to no.5 and the outbuilding.

As the building has been under the ownership of the Richmond Charities more recently, there has been limited alterations since the early 20th Century other than minor fitting out such as a central heating system and bathroom on the second floor.

Historic mapping also shows that the garden was extended in the early 20th Century.

2.6.2 Evidential Value

Evidential value derives from the potential of a place to yield significant evidence, usually from physical remains, about human past activity.

There is no evidence of any past activity on site prior to the existing building being constructed. However, the application site is within the Richmond Town Archaeological Priority Zone.

The house and development on the application site dates from the mid 19th century. Its evolution has been limited since and therefore its evidential value is likely to be limited.

2.6.3 Historical Value

Historical value stems from the ways in which the present can be connected by a place to people, events and aspects of life in the past. In this instance the Historical Value is not fully known but likely to be very limited.

2.6.4 Aesthetic Value

Aesthetic value derives from the ways in which people draw sensory and intellectual stimulation from a place. This includes the effects of weathering and the patina of age , as well as design values attached to a deliberately created building, group of buildings or landscape.

The terrace (Michels place) has significant aesthetic value and as such is Grade II listed for its group value. The terraces strong townscape adds to the rich variety of 19th century buildings along The Vineyard. In addition and specifically associated with no. 7, the buildings street frontage has seen minimal alterations re-enforcing its value. The brickwork has weathered naturally and hasn't been over restored and/or cleaned with aggressive techniques. Windows are original and have been carefully maintained. Both of these factors help re-enforce it's historic qualities.

2.6.5 Communal Value

Communal value stems from the meaning of a place for the people who relate to it, or for whom it is part of a collective experience or memory: a shared cultural frame of reference.

As the building is a single dwellings house, it does not have any significant communal value.

2.7 Landscape - Existing

2.7.1 Hard landscaping

The area fronting The Vineyard is paved and separated from the footpath by a low brickwork wall with piers and railings

To the rear of the property there is an area of hard landscaping between the two outriggers

2.7.2 Soft Landscaping

As the property has been vacant, the rear garden is currently overgrown with shrubs and weeds.

There are a number of small ornamental trees toward the centre and rear of the garden.

2.8 Access - Existing

The main pedestrian entrance is off The Vineyard.



Fig 3
Map dated 1894 - Highlighting the application site. The map highlights the rear outrigger to no. 7 as originally being part of no. 9. It also highlights the smaller rear garden.

2.0 ASSESSMENT



Fig 4.
Photo 1. - View looking at Michels Terrace from The Vineyard.



Fig 5.
Photo 2. - Looking out from the rear of the property to the garden.



Fig 6.
Photo 3. - Looking towards the rear elevation from the garden.



Fig 7.
Photo 4. - Looking towards the existing outrigger at no. 7 and tall wall to the extension of no. 9.



Fig 8.
Photo 5. - Tall boundary wall between no. 7 & no. 9. A mixture of differing constructions.



Fig 9.
Photo 6. - Looking towards no. 5 from the garden of no. 7 highlighting the tall garden wall with trellis above on the boundary.

2.0 ASSESSMENT

2.9 Flood Risk Assessment (FRA) - Existing

2.9.1. Flood Zone

The application site sits in Flood Zone 1.

Existing external site grounds level (lowest): +10.63m

Existing external site grounds level (highest): +11.24m

Existing internal ground floor level (lowest): +10.7m

2.9.2 Fluvial and Tidal Flood Risk

The Fluvial and Tidal Flood Risk map below indicates that the application site is located in Flood Zone 1 and a CDA. Flood Zone 1 comprises of land assessed as having a less than 1 in 1000 annual probability of river or sea flooding in any year (<0.1%).

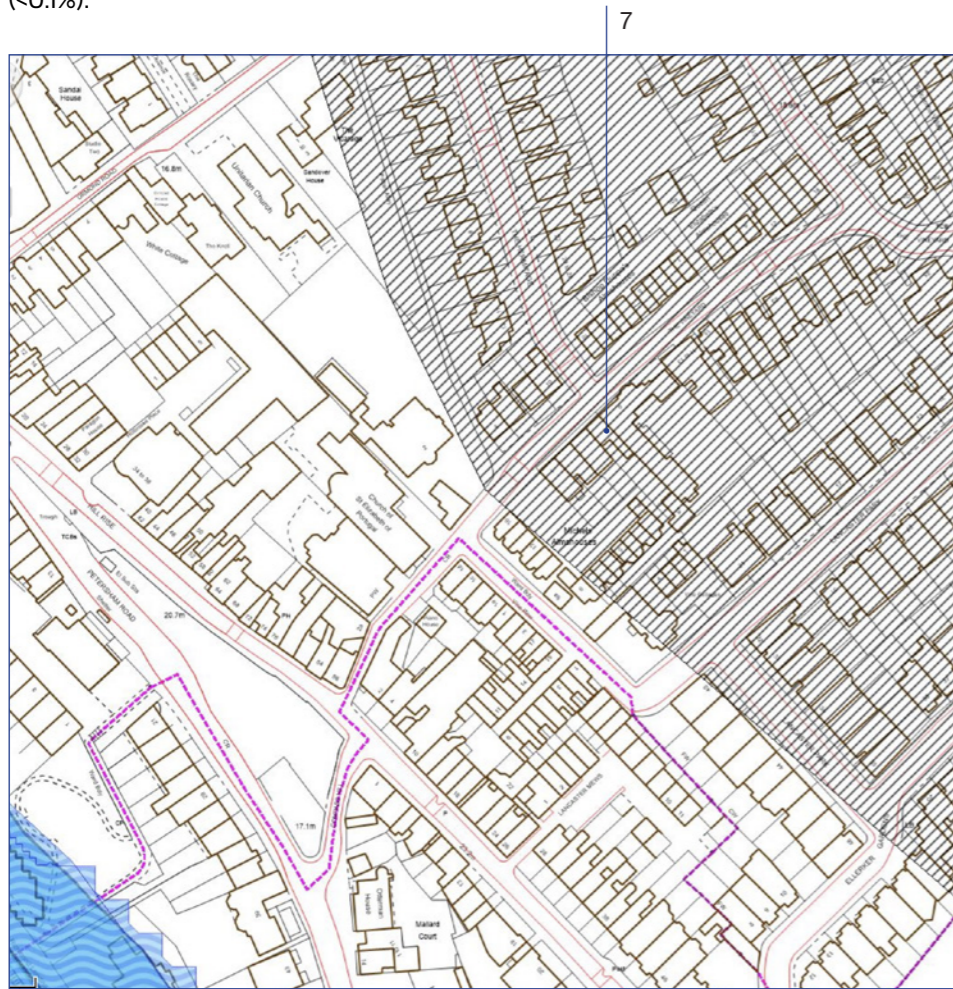


Fig 10.
Map - Fluvial and Tidal Flood Risk

2.9.3 Surface Water Flood Risk

The map below identifies a small area to the rear of the property as having a low 1 in 1000 chance of surface water flooding.

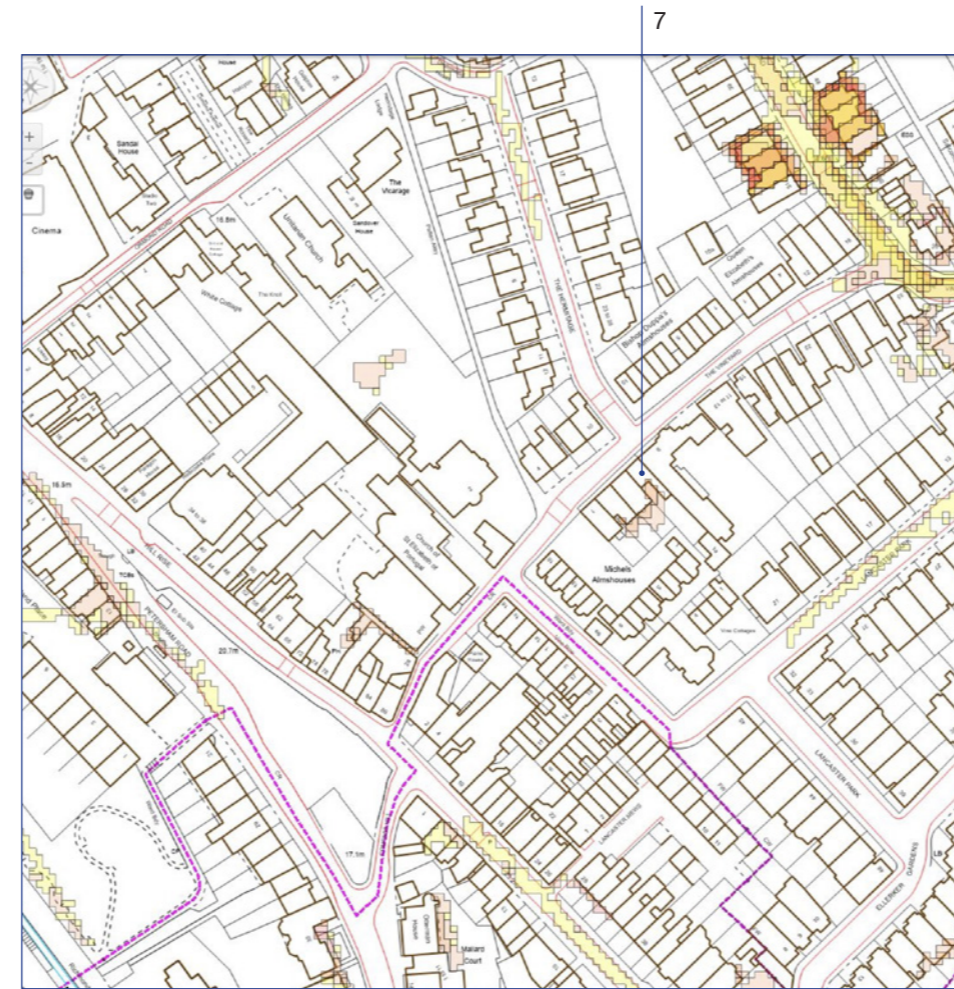


Fig 11.
Map - Surface Water Flood Risk

2.9.4 Ground Water, Sewer and Artificial Flood Risk

The map below shows that the site is in an area where the risk of ground water, sewer and artificial flood risk is less than 25%.

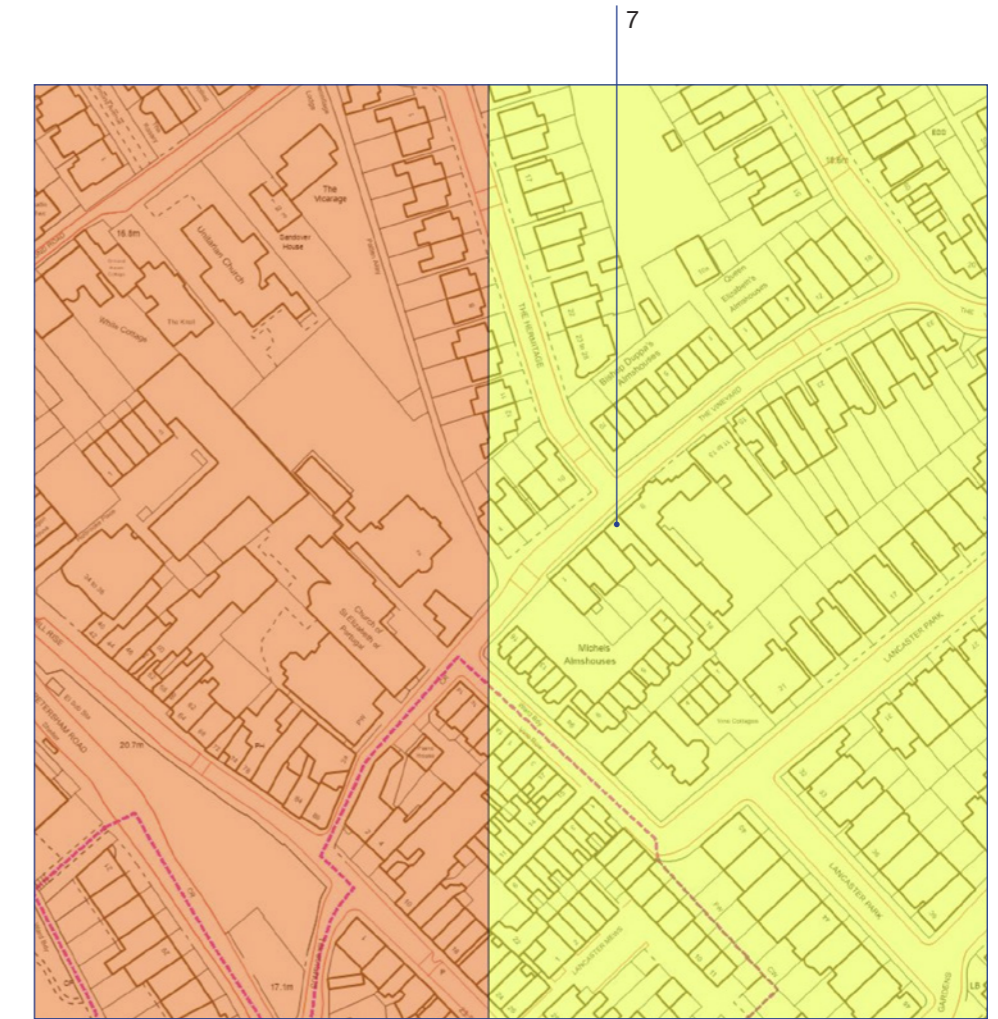


Fig 12.
Map - Groundwater, Sewer and Artificial Flood Risk

3.0 EVALUATION

3.1 Involvement

3.1.1 Pre-Application Advice

Given the minor nature of the application (Householder Application), no formal pre-application advice was sought.

3.2 Relevant Planning Policy

We have identified the planning policy framework relevant to this site which has influenced our approach to the proposals. These include:

3.2.1 National Planning Policy Frameworks (NPPF)

3.2.2 The London Plan

3.2.3 LBRUT Local Plan

The relevant policies and guidance documents are referenced throughout this document and in particular within Section 6.1, which describes, our understanding and how the various policies have influenced our approach to this application.

3.3 Relevant Planning History

3.3.1 No. 7 The Vineyard. 04/1965/LBC: Replace existing synthetic slate mono pitch roof to single storey rear extension with natural slate. Brick on edge coping to party wall to replace existing coping stones.

3.3.2 No. 7 The Vineyard. 97/1879 : Demolition Of Existing Boundary Wall To No.s 7 & 5 To Re-build Wall Matching Existing Style And Theme.

3.3.3 No. 9 The Vineyard. 10/0756/LBC & 10/0755/HOT: Demolition of an existing rear extension and swimming pool and reconstruction with additional glazing and sedum roof.

3.3.4 No. 9 The Vineyard 09/3407/LBC & 09/3406/HOT: Alterations including demolition of existing rear extension and swimming pool and reconstruction, construction of new extension with additional glazing, skylights and sedum roof and alterations to boundary wall.

3.4 Relevant Building Control History

3.4.1 18/ELE00007/ELECSA: Install one or more new circuits. Install a replacement consumer unit

3.4.2 18/FEN00138/GASAFE: Install a gas-fired boiler

3.4.3 14/VEK00078/VEKA: Installation of 1 Windows (U-Value=1.4)

3.0 EVALUATION

3.5 Precedents



Fig 13.
Westerham House - Phillips Tracey Architects: An example of a new intervention within a historic setting and Metropolitan Green Belt.



Fig 14.
Rustington - Phillips Tracey Architects: A sensitive first floor addition to a Grade II Listed building using traditional materials and techniques.



Fig 15.
Ludshott Manor - Phillips Tracey Architects: An example of a residential extension and alteration to a Grade II listed manor house.



Fig 16.
Thames Ditton House - Phillips Tracey Architects: A zinc roof extension to a Grade II listed cottage.

4.0 DESIGN

4.1 Design Strategy

The main aims of the project are three-fold:

1. To upgrade the existing dwelling to provide improved living accommodation without adversely impacting on the Conservation Area or significance of the existing Grade II listed buildings and adjacent buildings.
2. Extend the building to provide an improved aspect and link to the rear garden.
3. To extend in a manner that provides a suitable contrast to highlight the qualities of the existing Listed Building as well as providing a new layer of interest.



Fig 17.
Plan - Site Strategy Diagram

5.0 APPLICATION SCHEME

5.1 Generally

The existing elevation fronting the Vineyard will be unchanged to ensure the group value and significance as highlighted within Section 2.6 of this document and the listing entry is unchanged and not adversely affected by the proposals.

5.2 Building - Proposed

5.2.1 Accommodation/use

The dwelling is extended and adjusted, improving the standard generally to create a comfortable 3 bedroom home.

5.2.2 Floor areas - Proposed

Footprint: 98m²

GIA Ground Floor: 85m²

GIA First Floor: 40m² (unchanged)

GIA Second Floor: 26m² (unchanged)

Total GIA: 151m²

5.2.3 Internal

a. Ground Floor - Proposed

The layout is amended with the existing rear out riggers removed and replaced by a new extension which house a WC, Utility and open kitchen, living dining area which has its aspect out to the garden.

b. First Floor - Proposed

The main front bedroom is retained as existing. The rear bedroom and existing door opening is retained. However, the rear bedroom becomes an en-suite bathroom with small dressing area which is created with the modest addition of a non-load bearing stud partition. A new opening is created within the existing wall separating the two rooms to provide direct access. Although an alteration, this is a reversible change and does not adversely affect the integrity of the original plan.

c. Second Floor

We have made a minor adjustment to the landing to ease the current compromised head height. This has involved removing the later splayed partition and re-positioning the existing doors (the doors will be re-used) to the three rooms. This provides a significant improvement to the usability of the three rooms and allows for sensible bedroom and bathroom layouts. In addition a new linen cupboard is created to house a water cylinder as part of the overall mechanical and electrical upgrades required throughout the house. As with the first floor, the adjustments do not adversely affect the integrity of the original plan and structural layout.

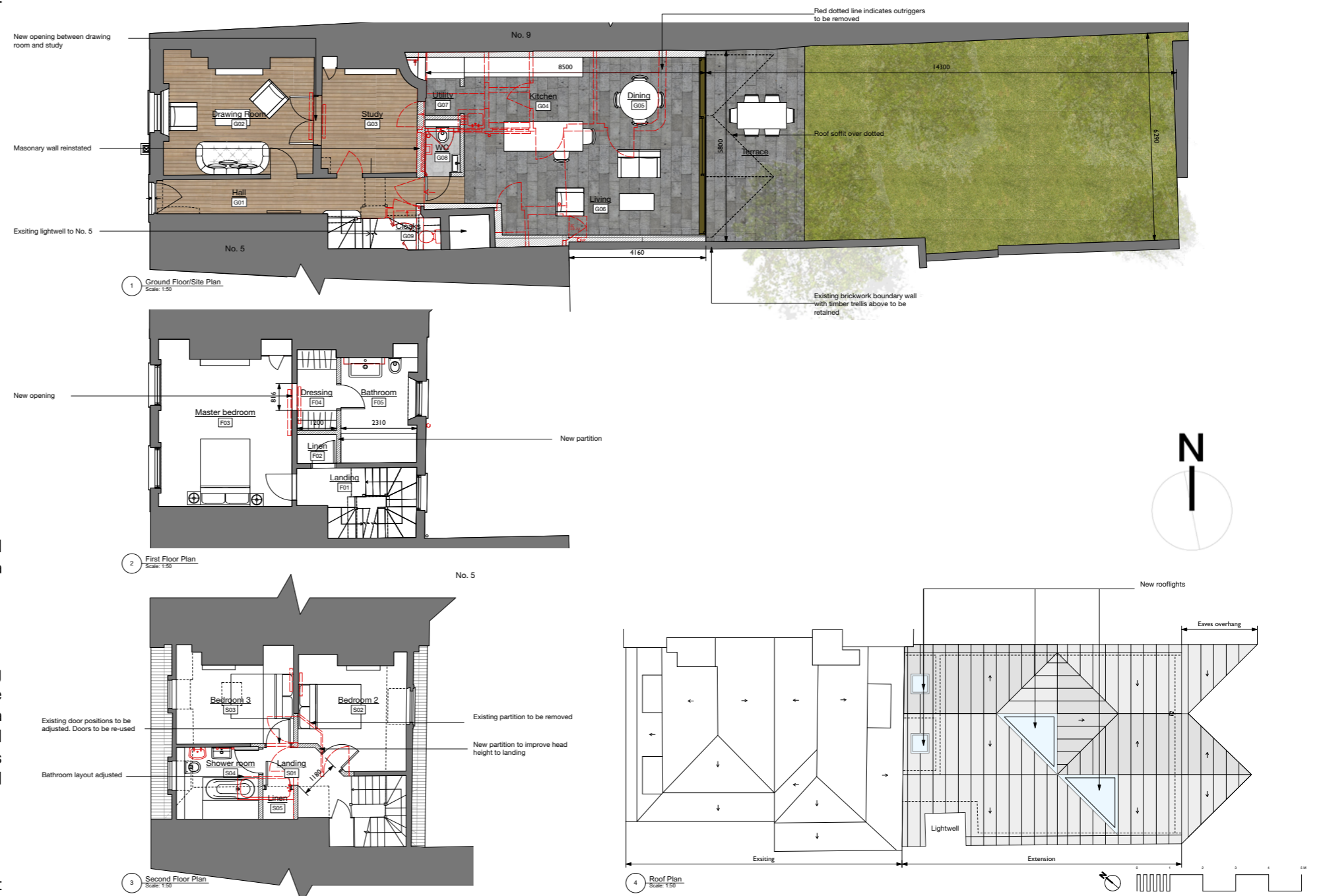


Fig 18.
Plan - Proposed Floor Plans

5.0 APPLICATION SCHEME

5.2.4 Scale_Proposed

The only proposed change to the form of the building is the new rear extension. The ridge is approx 3.5m and the lowest eaves at the boundary with no. 5 is 2.4m which is no higher than the existing brickwork and trellis on the boundary with no.5.

5.2.5 External Envelope_Proposed

a. Elevation_The Vineyard

i. The existing two storey building and mansard are unchanged to the Vineyard.

b. Elevation _Rear Garden

i. The first floor and existing mansard roof are unchanged.

ii. The new extension has been carefully designed as an obvious extension to the grade II listed building.

iii. The volume proposed provides an alternative amenity to the existing rooms. It provides a new open aspect to the garden and provides an internal volume which honestly reflects the external envelope.

iv. A traditional pitched vernacular is adopted. However, this has been given a site specific form to take advantage of its orientation and the proximity of the tall brick wall on the boundary with the large extension at no. 9. The pitch is broken down to a domestic scale by introducing a gable which also allows a lower eaves to abut the boundary with no. 5 to minimise any impact.

v. The roof sits delicately over the glazed elevation which can open up to the garden. The large overhang emphasises its lightweight and delicate appearance as well as providing solar shading to the glazing.

vi. The roof is finished with a Pigmento Brown traditional standing seam zinc. The warm tone will complement the tones of the existing masonry. The use of standing seam zinc will also add a delicate finish to the roof whilst also reaping the aesthetic and technical benefits of a robust traditionally crafted roof.

vii. The new rear elevation will be glazed using a slim line PPC aluminium glazing system in a bronze colour.

Eaves height and boundary with no. 5 to match height of existing trellis. Orientation of the site ensures no unreasonable overshadowing or loss of daylight to neighbours properties.



Height of proposed roof no higher than extension to no. 9 and boundary wall between no.7 and no.9

Fig 19.
Model - Proposed rear extension showing its relationship with no. 5 and the large extension to no. 9

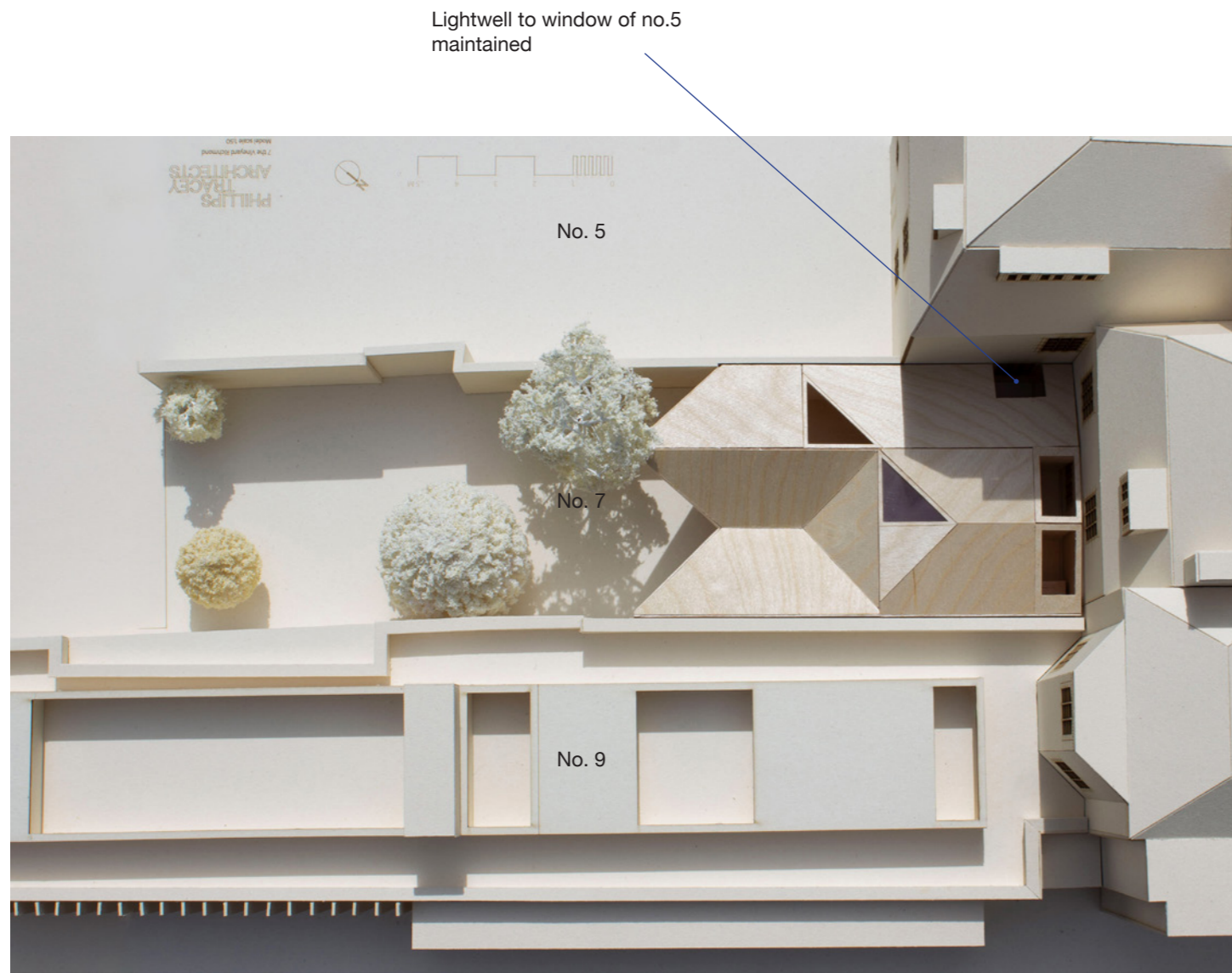


Fig 20.
Model – Aerial view showing extent of extension and articulation of the proposed roof. The image also highlights the orientation and direction of shadows away from no. 5 . The large extension to no. 9 clearly dominates.



Fig 21.
Model – View looking towards the new extension highlighting how it sits comfortably within its setting adjacent to the large extension to no. 9 and is considerate with its lower eaves at the boundary with no. 5

Existing extension to no.9

Proposed overhang to new roof to reduce solar gain and provide a delicate finish



Fig 22.

Model - Aerial view showing extent of extension and articulation of the proposed roof. The extension is hidden from the wider conservation area by the terrace frontage, large extension to no. 9 and the brickwork wall with trellis above on the garden boundary with no.5

Lightwell to window of no.5 maintained



Fig 23.

Model - Looking West highlighting the new extension within its garden context.

5.0 APPLICATION SCHEME

viii. Existing UPVC rainwater good will be replaced with higher quality PPC aluminium. New rainwater goods will match.

5.3 Landscaping – Proposals

5.3.1 Hard Landscaping_proposed

- a. The area fronting the Vineyard is unchanged.
- b. A new patio is proposed at the rear, adjacent to the new extension providing full access to the garden. This will drain away from the property to a new soakaway.

5.3.2 Soft Landscaping

- a. The existing trees are retained to maintain the existing structure of the garden.
- b. Existing planting beds will be restored.

5.4 Access – Proposed

5.4.1 Unchanged

5.5 Utilities/Services – Proposed

5.5.4 Unchanged

5.6 Flood Risk Assessment (FRA) – Proposed

- 5.6.1 The existing building and proposed minor new extension (the development) are located in Flood Zone 1.
- 5.6.2 The proposals are for a domestic extension where the additional footprint does not exceed 250sq.meters and are therefore unlikely to raise significant flood risk issues. As such and in accordance with Government Guidance, the Environment Agency’s standing advice will be followed.

To minimise and reduce risk from flooding, we propose the following:

- i. New floor levels are no lower than existing floor levels;
- ii. The emergency escape plan is suitable and unchanged with final exits from the property located within Flood Zone 1;
- iii. External surfaces will incorporate suitable falls to ensure surface and/or ground water is diverted away from the building.
- iv. Proposed external site grounds levels: No change

v. Proposed internal Ground Floor level (extensions): +10.7m (no lower than existing). For all other levels please refer to the digital surveys which accompany this application which have been measured to Ordnance Datum.

vi. The new works will be constructed in line with the guidance contained within the document ‘Improving the flood performance of new buildings. Flood resilient construction.’

5.7 Daylight/Sunlight

a. Given the scale and orientation of the new extension there is no unreasonable impact on any adjacent properties.

5.8 Amenity, Outlook and Privacy

a. Given the scale, position and proximity of the new proposals there is no adverse impact on any adjacent properties.

5.9 Environmental Credentials

5.9.1 The proposals are inherently sustainable. Remove poor quality additions and extend the existing building to a significantly higher standard.

5.9.2 We propose a combination of pragmatic, realistic and affordable measures which will deliver a comfortable, healthy and efficient home with a greatly reduced carbon footprint that supports our national transition to net zero.

5.9.3 To help achieve this goal, we follow the London Energy Transformation Initiative (LETI) hierarchical approach of improving the buildings fabric first:

- a. Reduce the space heating demand and Energy Use Intensity as far as is practicable for the building/situation.
- b. Remove fossil fuel heat sources and replace with low carbon alternatives.
- c. Generate renewable energy on site wherever feasible but this will not be pursued to the detriment of item a or b above.

5.9.4 Our approach is to ensure the new fabric is designed to exceed the requirements of current building regulations. In addition and where there is no adverse affect on the historic fabric, the existing building fabric in certain areas will be upgraded to significantly improve its thermal performance and reduce heating demands:

- a. Existing floor will be insulated to new build standards
- b. Existing walls will be insulated where feasible
- c. Windows will be replaced to new build standards and/or secondary glazing will be introduced.

5.9.5 In addition, the use of masonry party walls, windows with deep reveals /large overhanging roof and high levels of insulation will provide thermal mass ensuring there will be no need for artificial cooling.

5.9.6 A passive ventilation strategy will also be adopted with heat recovery.

5.9.7 The building will be constructed and/or refurbished to minimise air leakage and subsequent heat loss.

5.9.8 It is also the intention to specify materials with a Green Guide rating between A+ & C. As identified on the application drawings it is our intention to use natural self finished materials generally to the external envelope.

5.10 Construction Management

It is anticipated that impact of construction traffic will be limited. The application site has adequate area for the safe storage of materials and site amenities.

6.0 SUMMARY

6.1 Planning Policy Context

The NPPF emphasises the need to contribute to sustainable development, with a presumption in favour of sustainable development. The benefits of this development proposal align with the Local Plan and the Strategic Vision of the Borough by maintaining and enhancing its unique character. We have highlighted how the proposals have responded positively to the Local Plan as follows:

6.1.1 Strategic Vision - Protecting Local Character Villages and historic environment

The distinctive character of the existing building has been retained and protected. We have endeavoured to enhance the existing building with careful planning and design. The Vineyard elevation is unaltered to ensure the Group Value (GV) as identified with the Listing Entry is protected. In addition the proposed extension is designed as an obvious new addition in line with good conservation practice and the local authorities design policies. The extension is discrete and positioned to the rear of the property and as a modest single storey addition, it is clearly subservient to the host and adjacent buildings.

6.1.2 Residential quality of life

The proposals/upgrades will provide the new owners of the property with a high quality home. The proposals are modest, sensitive to the existing building and setting and are of high quality design in line with LBRUT's Strategic Vision.

6.1.4 Policy LP 1 - Design quality and character

In line with this policy, a sensitive and modest approach has been adopted. We have ensured that the existing fabric will be enhanced, historic features repaired which has been informed by in-depth research and analysis as detailed within this document, ensuring there is no adverse impact on the Conservation Area or on the Listed Building.

6.1.5 Policy LP 2 - Building Heights

The new extensions respect and strengthen the setting of the borough's valued townscapes and landscapes, by the following means:

- a. The extension is discrete and positioned to the rear of the property and as a modest single storey addition, it is clearly subservient to the host and adjacent buildings.
- b. The heights on the boundaries have been carefully assessed so and not to dominate or have any unreasonable impact.
- c. The new extension replaces two poorer quality later addition and have been carefully designed to complement the existing older fabric. The contemporary ground floor addition subtly references the outrigger pitches.

- d. The existing building fabric will be sensitively repaired where required following Historic England Guidance and good building Conservation practice.
- #### 6.1.6 Policy LP 3 - Designated Heritage Asset
- a. The building is a Designated Heritage Asset and Grade II listed as part of Michels Terrace. The listing identifies the Group Value of the terrace. We are not proposing any alterations to the terrace fronting The Vineyard, which safeguards the significance of the grouping.
 - b. The rear extension has been sensitively designed to enhance the existing building and we have been careful to ensure:
 - i. It does not confuse or compete with the historic architecture.
 - ii. It replaces poor quality later extensions.
 - iii. It provides a high quality contemporary layer to the buildings continued development and history.
 - c. The application site sits within The Richmond Hill Conservation Area (Conservation Area 05): Character Area 5 - The Vineyard.
 - i. The Street frontage is unaltered and therefore no impact is envisaged.
 - ii. The new rear extension cannot be seen from any public vantage point as such has no adverse impact on the Conservation Area. The extension has been designed with careful consideration to its location and the site specific design provides a contemporary contrast to the existing building adding positively to the rich variety of the Conservation Area.

6.1.9 Policy LP 8 - Amenity and Living Conditions

- a. The proposals are modest and do not impact on no. 9 as the proposed rear extension is no higher than the existing boundary wall between no. 7 and no. 9.
- b. The proposed extension has a lower eaves height at the boundary with No. 5 which is a similar height to the existing boundary treatment to ensure to additional and/or unreasonable visual intrusion or sense of enclosure in line with aspirations of the House Extensions and External Alteration SPD.

6.1.11 Policy LP 15 - Biodiversity

- a. The proposed extension is positioned on previously developed parts of the site and on areas of existing non-permeable concrete and block paving and as such will not have any adverse impact on species or a habitat.

6.1.12 Policy LP 16 - Trees, Woodlands and Landscape

- a. The trees on site are to be retained and are unaffected by the proposals.
- b. The existing soft landscaping will be restored.

6.1.14 Policy LP 20 - Climate Change Adaptation

Our approach is to ensure the new fabric is designed to exceed the requirements of current building regulations. In addition the existing building fabric will be upgraded to significantly improve its thermal performance and reduce heating demands.

The new extension will incorporate windows with deep reveals and high levels of insulation to provide thermal mass ensuring there will be no need for artificial cooling. A passive ventilation strategy will also be adopted with heat recovery.

6.1.15 Policy LP 21 - Flood Risk and Sustainable Drainage

Please refer to the site specific Flood Risk Assessment in Sections 2.9 and 5.6.

The existing building and new extension is within Flood Zone 1.

The proposal is considered a minor development, therefore unlikely to raise significant flood risk issues.

6.1.16 Policy LP 22 - Sustainable Design and Construction

As the proposals are of a minor nature and covered within a Householder Application, they do not meet the thresholds set out in this policy. However, sustainability has been an intrinsic part of the design development as described throughout this document and in particular within Section 5.9.

6.0 SUMMARY

6.2 Conclusion

The proposals have been developed through a careful consideration of the relevant planning policies, existing context, opportunities and constraints.

Following this considered design process, we believe the application proposals will have a positive impact on the site and its context.

Care has been taken to propose a design that will enhance the existing building and setting without resorting to pastiche. The new extension provides a high quality contemporary addition to a historic building which is designed as a obvious addition. It replaces poorer quality additions to improve the setting of the listed building and provide a modern home. This approach ensures a continued evolution of high quality buildings on the site and provides further richness and interest within the Conservation Area.

The guidance contained within Paragraph 14 of the NPPF, advises that an application should be granted planning permission unless significant and demonstrable harm arising from the development can be demonstrated. No significant or demonstrable harm arising from the proposed development has been identified through the design process as illustrated within the submitted documentation.

As the Local Plan follows the approach of the presumption in favour of sustainable development, we would trust that the Local Authority agrees with our conclusions.