

HERITAGE STATEMENT

3 Denehurst Gardens, Twickenham, TW2 7PY

'Conversion of the existing garage into an annex which includes a rear extension'

This document is in response to the London Borough of Richmond upon Thames request for a Heritage Report to support the proposals for a Householder Planning & Demolition in a Conservation Area to convert an existing garage into an annex with a rear extension to the above property.

1.1 Heritage Listing

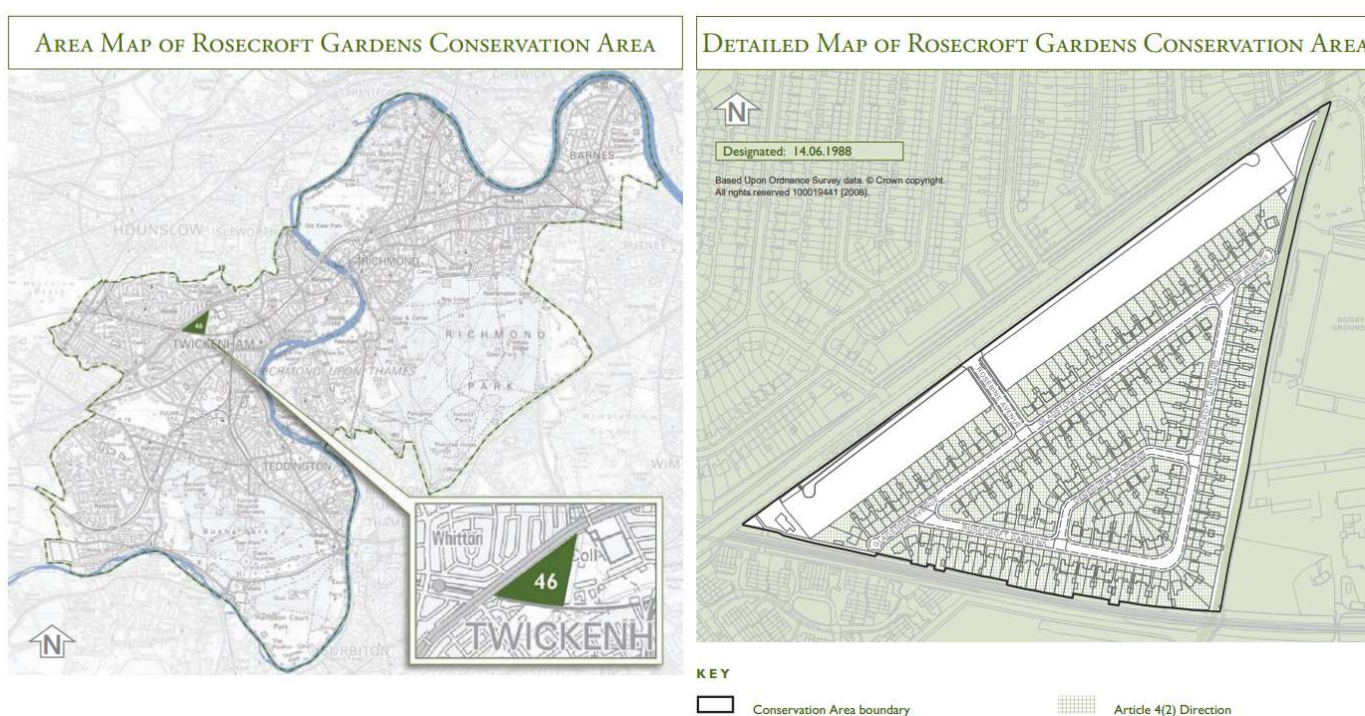
The above address resides in The Rosecroft Gardens Conservation Area 46 which has been assigned an Article 4(2) Direction 2010 restricting certain permitted development rights. In 'The Schedule (Schedule part 1 of the schedule 2 1995 order)' it lists the restrictions impacting on the proposed Planning Application as:

- item (i) The enlargement improvement or other alteration of a dwelling house (Class A)

1.2 History and Development

The description of the significance of the heritage asset is taken from the London Borough of Richmond upon Thames Conservation Statement.

This estate was developed as a single residential estate around 1930 on former nursery lands. This was contemporary with the arrival of the Chertsey Road and much of the suburban development to its Northwest.



1.3 Character

Rosecroft Gardens Conservation Area 46 is an isolated distinctive model 1930s estate of mostly semi-detached and with some detached bungalows. The 1930's houses were laid out on a tightly contained triangular plan of Gladstone Avenue and Rosecroft Gardens on the perimeter and Denehurst Gardens at the centre. Here cohesive rows of bungalows in garden plots are set behind small well planted front gardens and low boundary walls.

The bungalows are mostly painted render over brick plinths with brick surrounds to doorways and linking band course. They have curved bays below deeply projecting eaves and plain tile roofs. A few houses still retain original features such as distinctive curved glass within metal window frames and glazing bars and three light insets to vertically divided front doors, architectural details so evocative of this period.

The resources used to prepare this report are:

- Conservation areas map - London Borough of Richmond upon Thames
- Conservation area statements - London Borough of Richmond upon Thames
- Conservation area studies - London Borough of Richmond upon Thames
- Article 4 Directions - London Borough of Richmond upon Thames

1.4 Opportunity for enhancement

In the conservation designation, the opportunity for enhancement is identified as follows:

- Preservation, enhancement and reinstatement of architectural quality and unity
- Retain and enhance front boundary treatments and discourage increase in the amount of hard surfacing in front gardens
- Coordination of colour and design, rationalisation, and improvement in quality of street furniture and flooring

2.1 Proposed Design – Garage conversion to annex with rear extension

The client would like to convert the existing garage at the rear of the property (which is in poor condition), with an annex which will feature a rear extension to increase the gross internal area from 16 sq.m to a more substantial 38 sq.m.





Aerial photo of existing site (garage, shed and greenhouse highlighted)

The annex is to stay within the original boundary, being used by the occupants of the main property. It will also reuse the existing site footprint from the removal of shed & greenhouse. The angle of the rear site boundary causes an irregular site and the location of the rear extension helps to maximize available space and also square off the garden.

Its external design would be in keeping with the 1930's design and will be built in style of the existing house. Composite timber cladding will match the appearance of the neighbouring garage, with a front door and small window featured on the front elevation. There will also be 2 glazed double doors on the side elevation to help bring natural light into the annex.

2.2 Example approved applications

Please refer to the following applications which have been approved after 2008 that are similar in design and a lot larger in size and location to the proposed design at 3 Denehurst Gardens:

- 22/2608/HOT – 14 Denehurst Gardens
- 23/2924/HOT – 52 Rosecroft Gardens
- 22/1543/HOT – 109 Rosecroft Gardens
- 22/1836/HOT – 16 Gladstone Avenue
- 21/1836/HOT – 17 Gladstone Avenue

2.3 Summary

The garage needs maintenance as it has not had any work carried out for several years and it has the potential to be a contemporary home for my clients as they approach retirement in a few years' time.

All elements of project have been designed to be sympathetic to the conservation status of the estate using materials to match existing were appropriate and the proportions of the windows reflecting the window style of the 1930's.

The proposals allow for improvement and enhancement of the character whilst offering an extended family a home for the foreseeable future, within a more sustainable environment.