

DESIGN, ACCESS + HERITAGE STATEMENT

PLANNING APPLICATION

MR + MRS O'NEILL / 28 LARKFIELD ROAD RICHMOND

TO BE READ IN CONJUNCTION WITH PROPOSED DRAWINGS

50° North

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www.50degrees.co.uk 2024

PROJECT DETAILS

Project Team

Architects // 50° North Architects, Richmond, London
 Client // Mr & Mrs O'Neill
 Transport consultant // Not applicable
 Heritage and Design Consultant // Not commissioned
 Arboricultural // Not applicable
 Landscape Designer // Not applicable
 Planning Consultant // Not commissioned

Site Address

28 Larkfield Road, Richmond, Greater London TW9 2PF

Site Technical Data

Site area	See planning forms
Current + Proposed Use	Residential
Conservation status	Yes
Flood risk status	No Risk
Unit mix/type	Detached dwelling

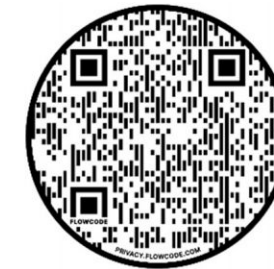
PREFACE TO THE DESIGN STATEMENT

Add the overview of the statement and scheme here.....

50°NORTH ARCHITECTS + THEIR CLIENT

With over 30 years experience in residential architecture the practice principle has always relished turning sites and buildings into new, exciting homes. With both new build and refurbishment schemes in their portfolio the practice 50 North are specialists in residential design. The practice itself has been in existence for over 17 years and its small team delivers over 30 projects each year of varying sizes and styles. Combining their skills with a wide client base they have created mixed use projects, multi unit developments and some commercial designs.

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 Architecture
 Sustainability
 Design

1.0 INTRODUCTION

THE PROPOSALS, LOCATION, PLANNING AUTHORITY + DETAILS

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The Proposals

Our proposals are to renovate an existing detached property that has some inherent issues surrounding damp, water ingress, thermal regulation and aesthetics.

The property has a roof that is in need of replacement and is currently letting in water and letting out heat. The roof features a front facing dormer to a shower room that also needs replacement as part of the repair and renovation.

We are proposing to replace the roof and add new external materials as well as an airtight and thermally efficient build up. The external materials are to match the prevailing street theme with new soffits, fascia's and rainwater goods.

With the structure remaining we propose rebuilding the existing dormer to the front to make it fit with modern methods of construction and align its setting out with the fenestration below. We have also proposed the roof of the dormer is pitched so that it is part of a family of similar shapes around the building.

The rear elevation features a new dormer window in line with similar structures found on nearby properties of the same age. This is proposed so that the room below has better internal space and the roof scape is enhanced in a sympathetic way.



Fig 1 / Site plan



Fig 2 / Aerial photo of the property and setting



Fig 3 / Aerial view from the southwest



Fig 4 / Aerial view from the northeast



Fig 5 / The front elevation illustrating the existing roof and dormer

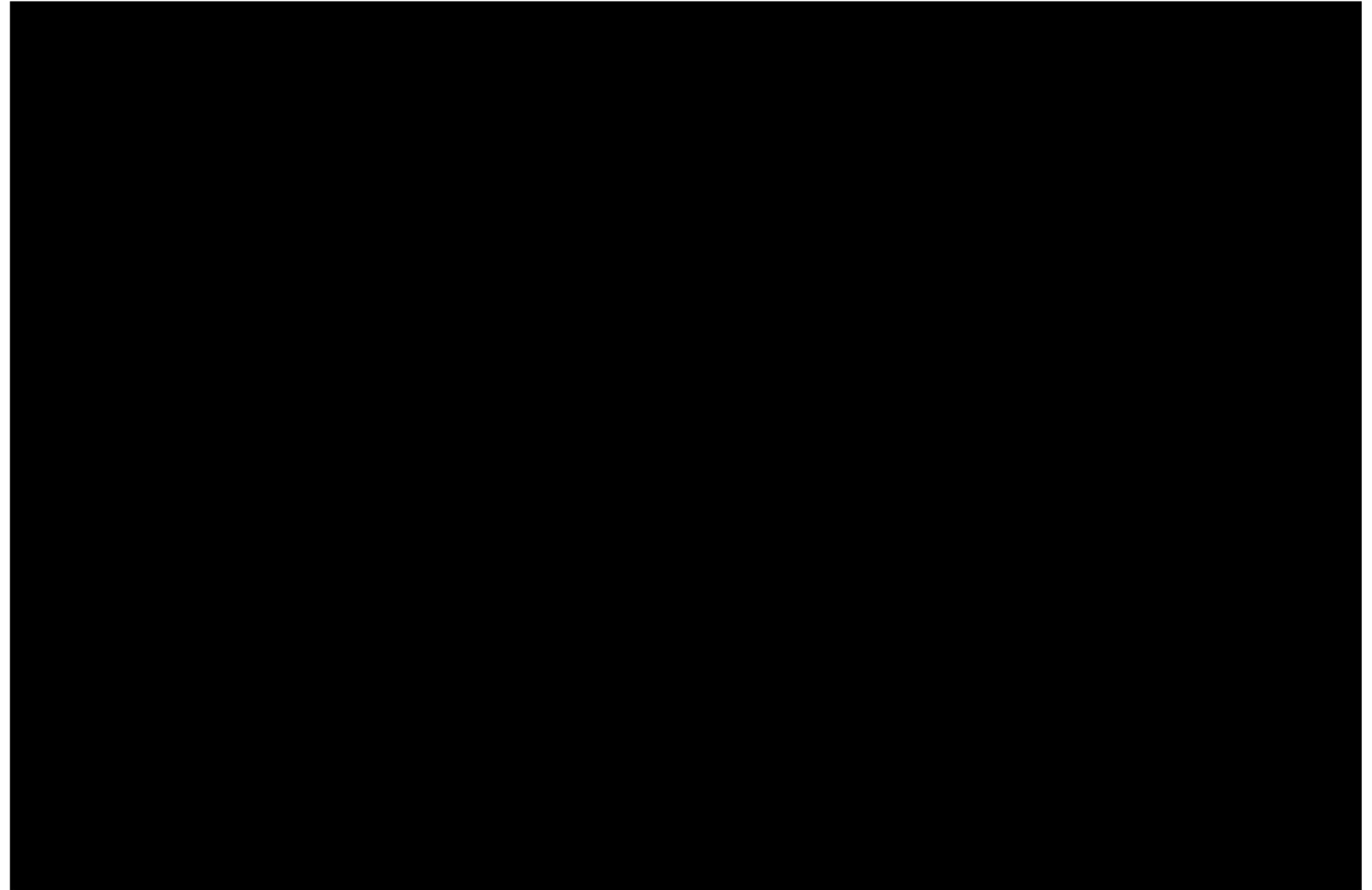
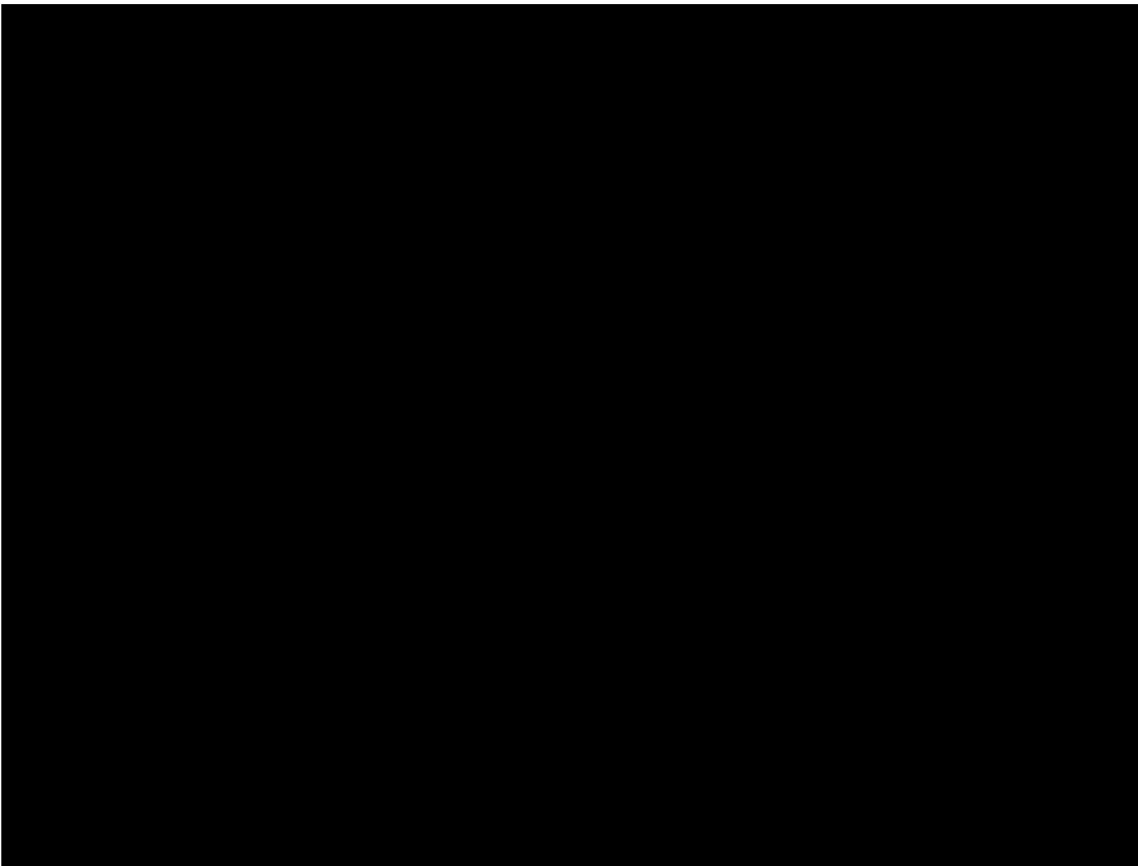


Fig 5 / Above - We propose mimicking the rear facing twin peaks of nearby home seen here to create a harmonious rear elevation with good internal space below.

2.0

URBAN CONTEXT + SETTING

THE SURROUNDINGS AND BUILDINGS THAT THE PROPERTY IS SET WITHIN

URBAN CONTEXT AND SETTING

Aerial and Plan Information

The property is one of many similar sized buildings in the immediate vicinity that feature front and rear gable focal points and subordinate secondary features, usually dormers too. Roofs are generally slated with timber sash windows and timber front doors. They are set at an angle and create a sawtooth pattern on plan allowing each front and side elevation to be seen down the street as one walks from St Johns to the east. There are many examples of roof structures having been added to the properties nearby though the street doesn't feature many sympathetic refurbishments. We aim to create a more harmonious and traditional aesthetic



3.0

PLANNING POLICY

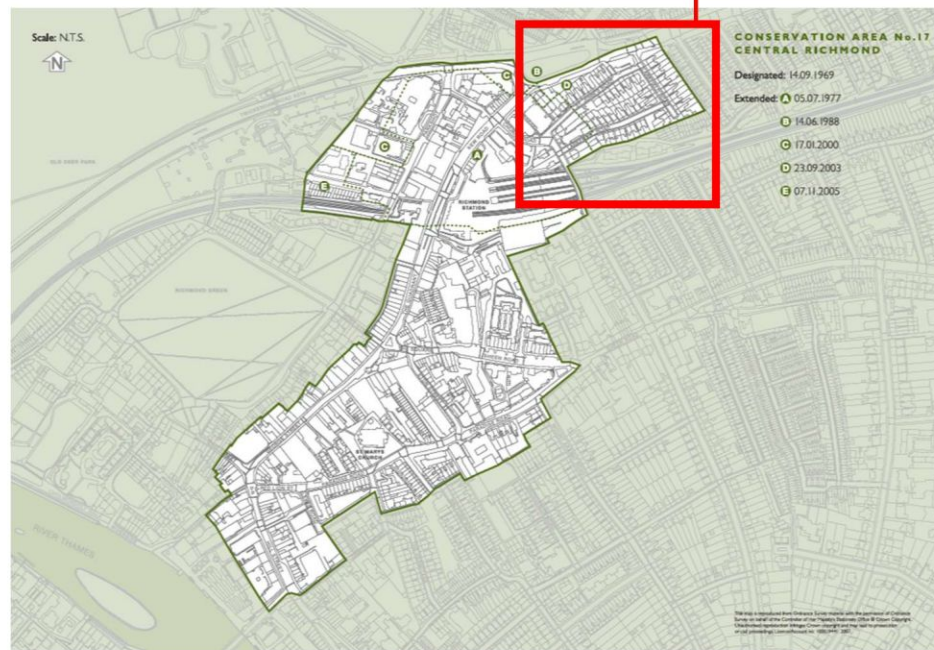
RELEVANT POLICY TO OUR PROPOSALS

PLANNING POLICY

This supporting document and the submitted drawings seek to demonstrate that the proposal is in accordance with the following applicable policies and guidance:

- Local Development Framework
Core Planning Strategy Merton Council =
- The National Planning Policy Framework (NPPF).
- Richmond Central Conservation Area Statement (map excerpt below and right)

In particular we are keen to avoid loss of traditional architectural features and materials due to unsympathetic alterations and keen to add to the improvement and protection of its setting. Also on our briefing list is the preservation, enhancement and reinstatement of architectural quality and unity.



4.0 - 9.0

RELEVANT PLANNING HISTORY

PRIVACY OUTLOOK

AMENITY

FLOOD RISK ASSESSMENT

ACCESSIBILITY

WASTE DISPOSAL

RECYCLING

TREES

4.0 RELEVANT PLANNING HISTORY

We have researched the property and note the following

The relevant planning history of the property is as follows:

10 Larkfield Road Richmond TW9 2PF – Rear dormer roof extension.
Granted Permission 19/12/2023

The property has featured some unsympathetic works over the years so our proposals are part of a range of measures aimed at enhancing the appeal and setting in the conservation area.

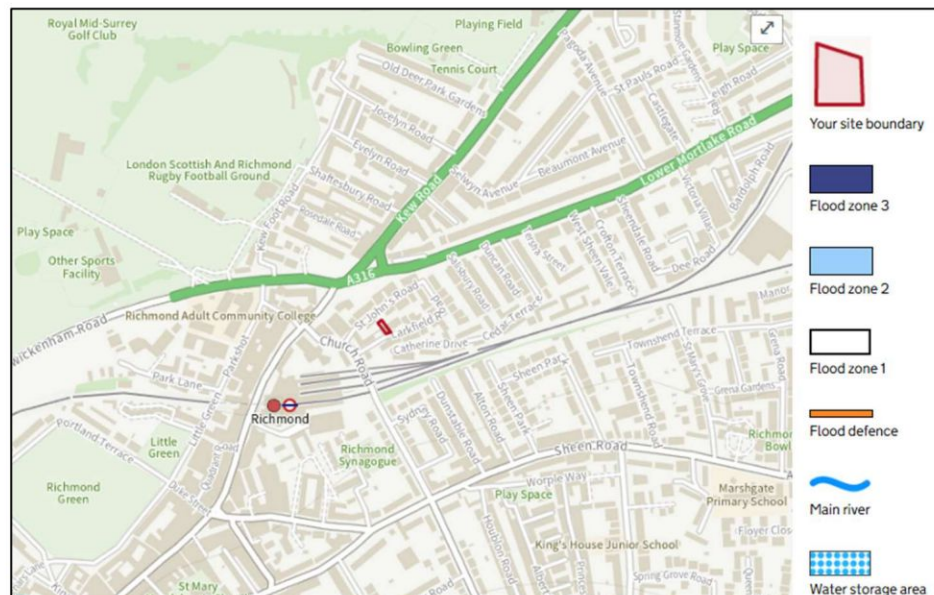
We have also reviewed nearby applications looking at the general scale and type of addition and alterations proposed and believe our work to be in keeping with the general pattern of development.

5.0 PRIVACY OUTLOOK + AMENITY

The design and privacy

It is considered that issues of privacy, outlook and amenity are not undermined by our proposals. We have considered this in our design development of the lower and upper ground spaces, the first-floor fenestration design, and the loft rooms, avoiding large south facing glazing and fenestration facing adjacent gardens.

6.0 FLOOD RISK ASSESSMENT



The site is not in a Flood Zone which means the site has no significant risk of flooding. This information is taken from the Flood Map for Planning on www.gov.uk.

7.0 ACCESSIBILITY

Flush thresholds and level access

The property is currently accessed via the front door and rear entrance doors leading to the habitable rooms. We have developed a design that proposes flush access and easily visible entry points to future proof the building.

8.0 WASTE DISPOSAL + RECYCLING

Recycling, refuse and design

Household waste and recycling will continue to be carried out as per council requirements. The property has been designed to accommodate storage and recycling including a utility room, kitchen recycling facilities and external bin storage. There is no change to the requirements for council refuse collection.

9.0 TREES + VEGETATION

Nearby trees + relationship to proposals

At present the property benefits from a variety of mature trees and larger shrubs both to the front and rear elevations which are to be retained with the exception of the southwest, front garden fruit tree (previously sought permission to remove which was granted but not implemented). The garden is to be renovated as part of the works, but the overarching design and green areas will be retained.

Localise landscaping will frame the existing garden to the new extension and increased glazing. The sculpting of the landscaping close to the new works will help the extension sit in the landscape and blend. The works to the front of the house will not affect the existing landscape and a renovation of some elements is proposed as part of the wider renovation and upgrade.

10.0

CONCLUSION

CONCLUSION

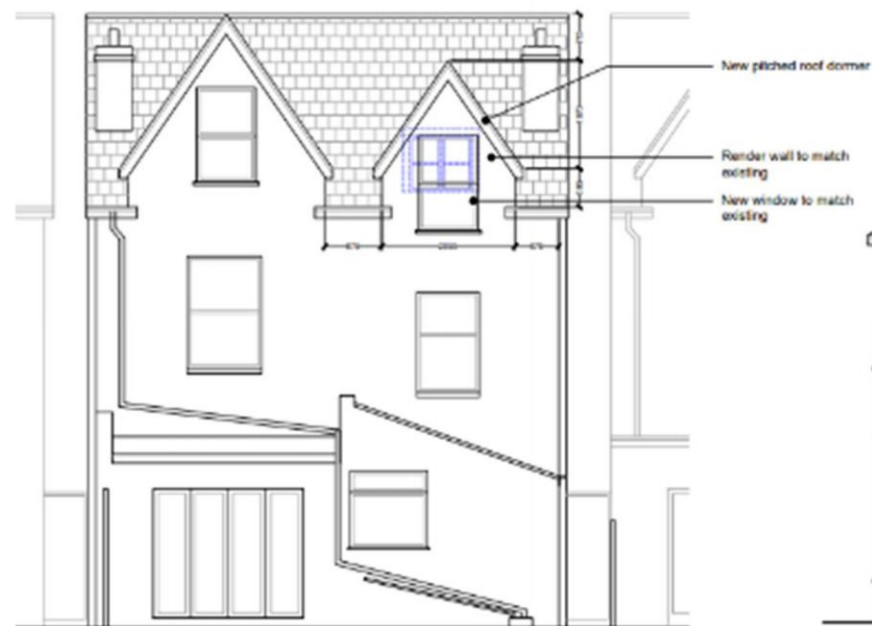
We believe our proposal should be received and considered favourably because of the following....

The proposal is to carefully extend, reconfigure and alter the existing detached property to make for a better family home catering to modern standards of living while giving the building a facelift and revitalisation.

Our design has been specifically developed to make best use of the setting out and orientation of the site while being sympathetic to adjacent buildings. The roof extensions have been very carefully added to maintain the existing form and shape of the host building while adding a new sympathetic feature.

The proposals seek to add better, more coordinated materials with enhanced insulation throughout. This will give the building a clearly defined style and add modern flourishes. We have adjusted elements such as the windows and dormers to read as a family of elements and given a design focus to the front and rear elevations.

It is hoped that the proposals demonstrated within this Design and Access Statement and the accompanying proposed drawings will be supported by Richmond Upon Thames and we would welcome any opportunity to discuss them with the case officer in due course. We have extensive site knowledge containing photographs and survey information we can supply on request.



11.0

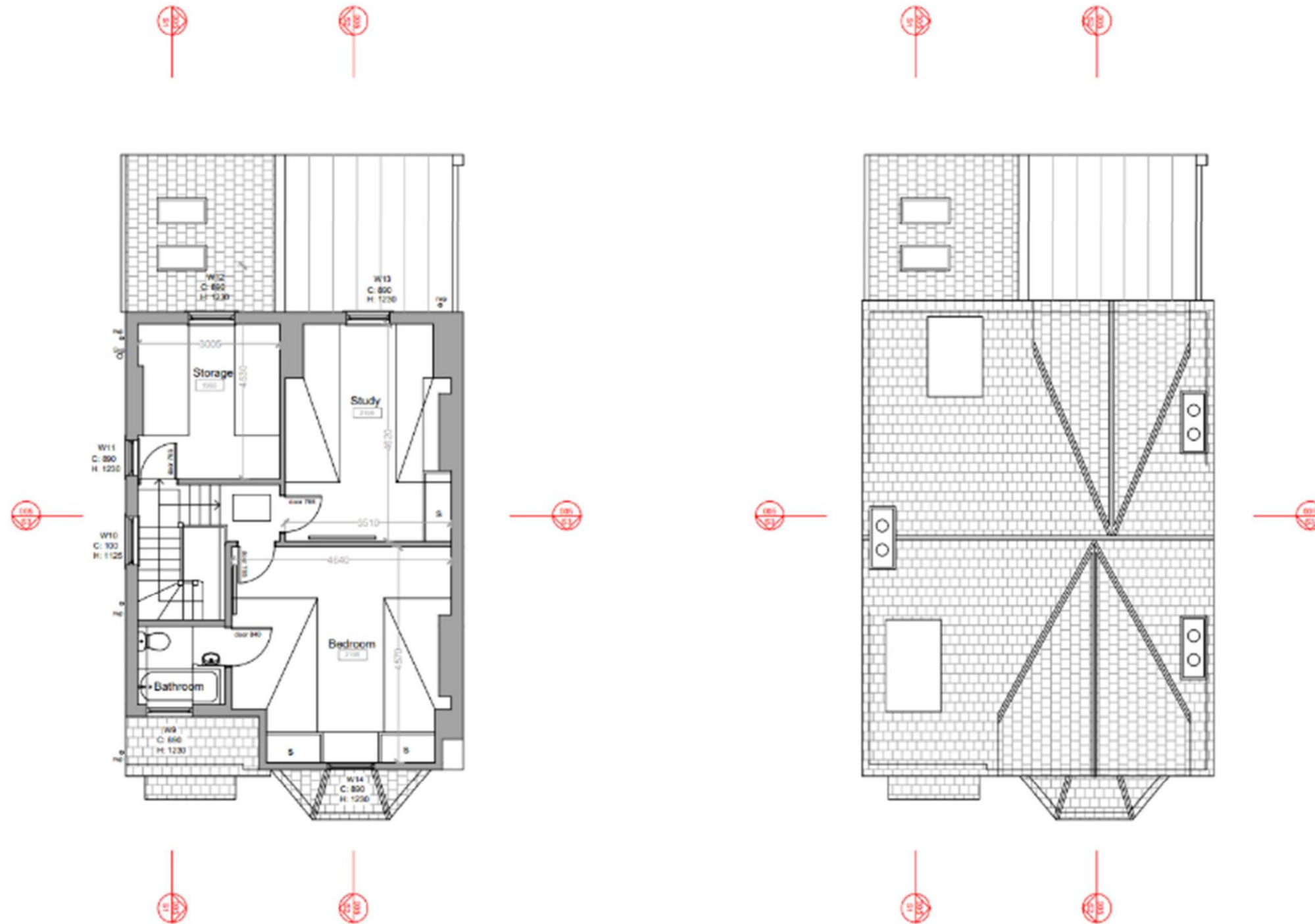
APPENDIX

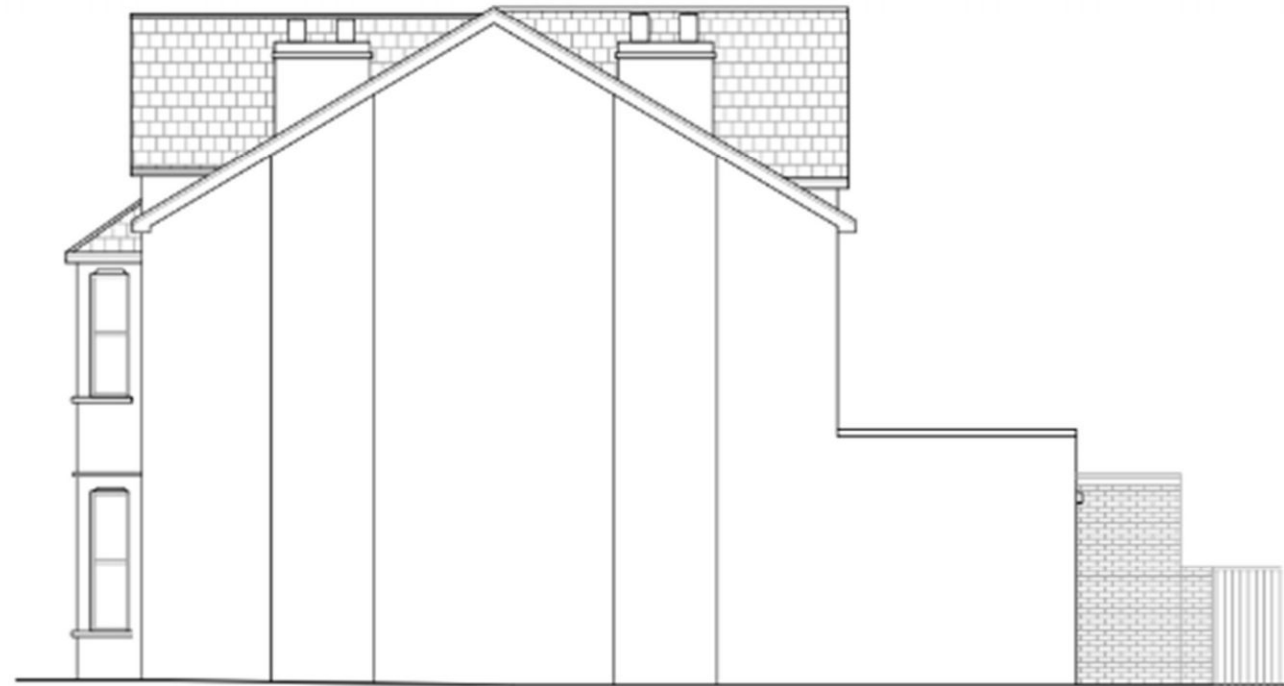
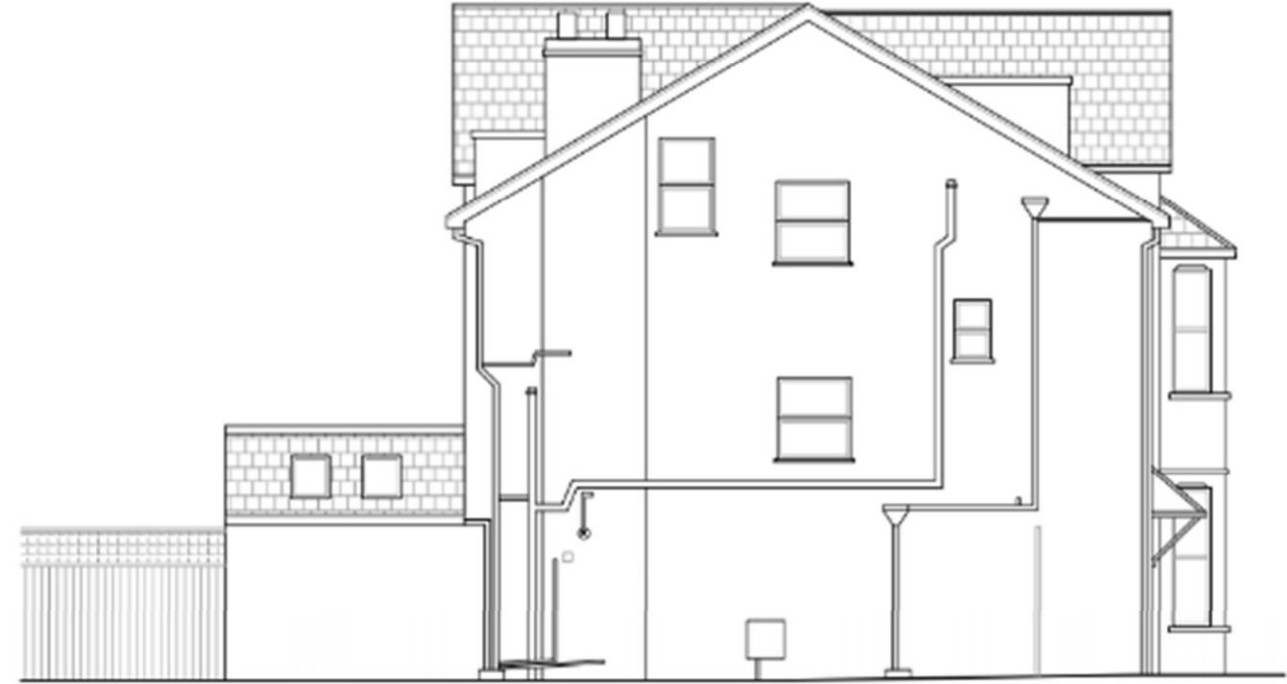
ADDITIONAL INFORMATION TO SUPPLEMENT THE APPLICATION

APPENDIX 1

Existing plans and elevations

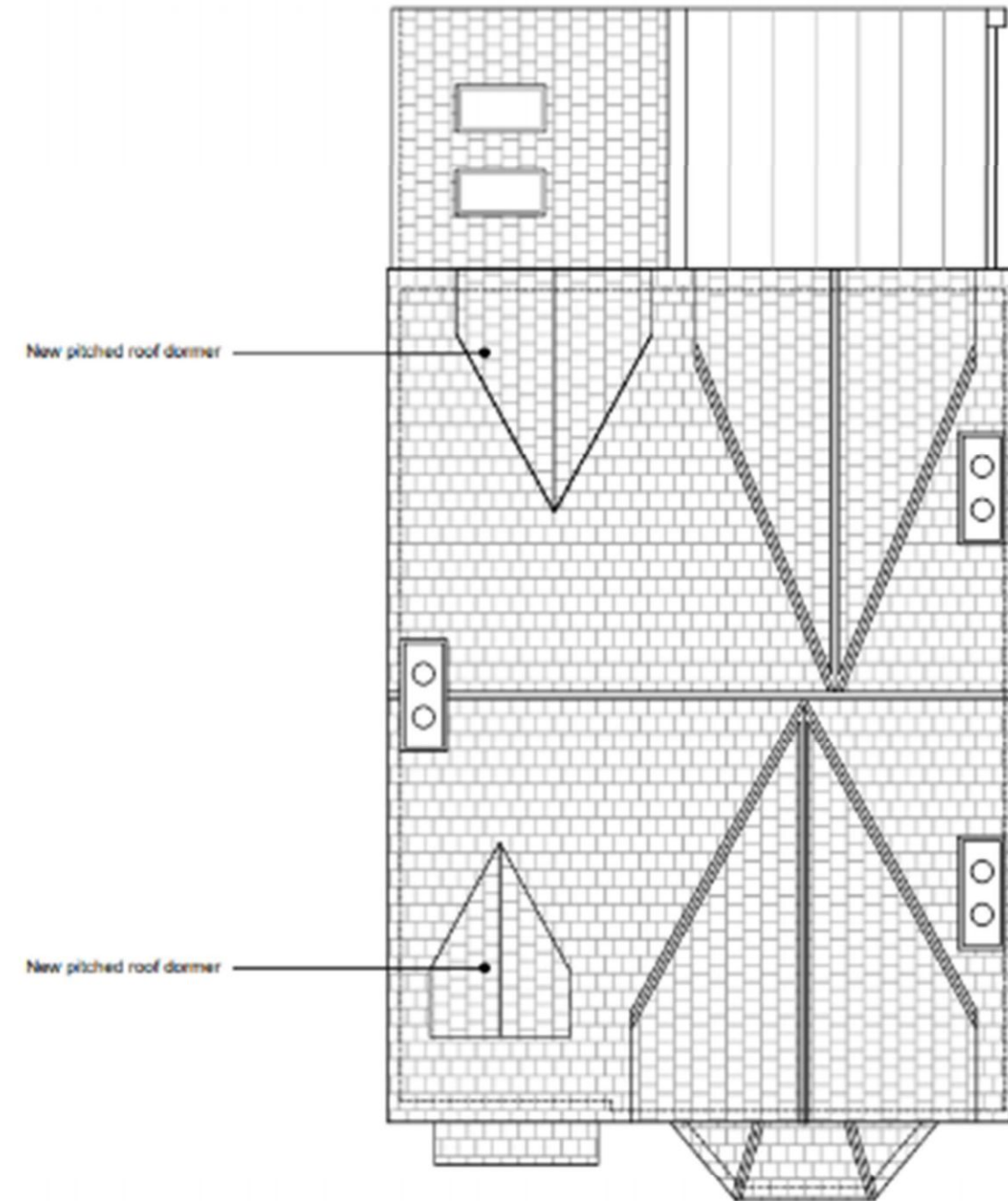
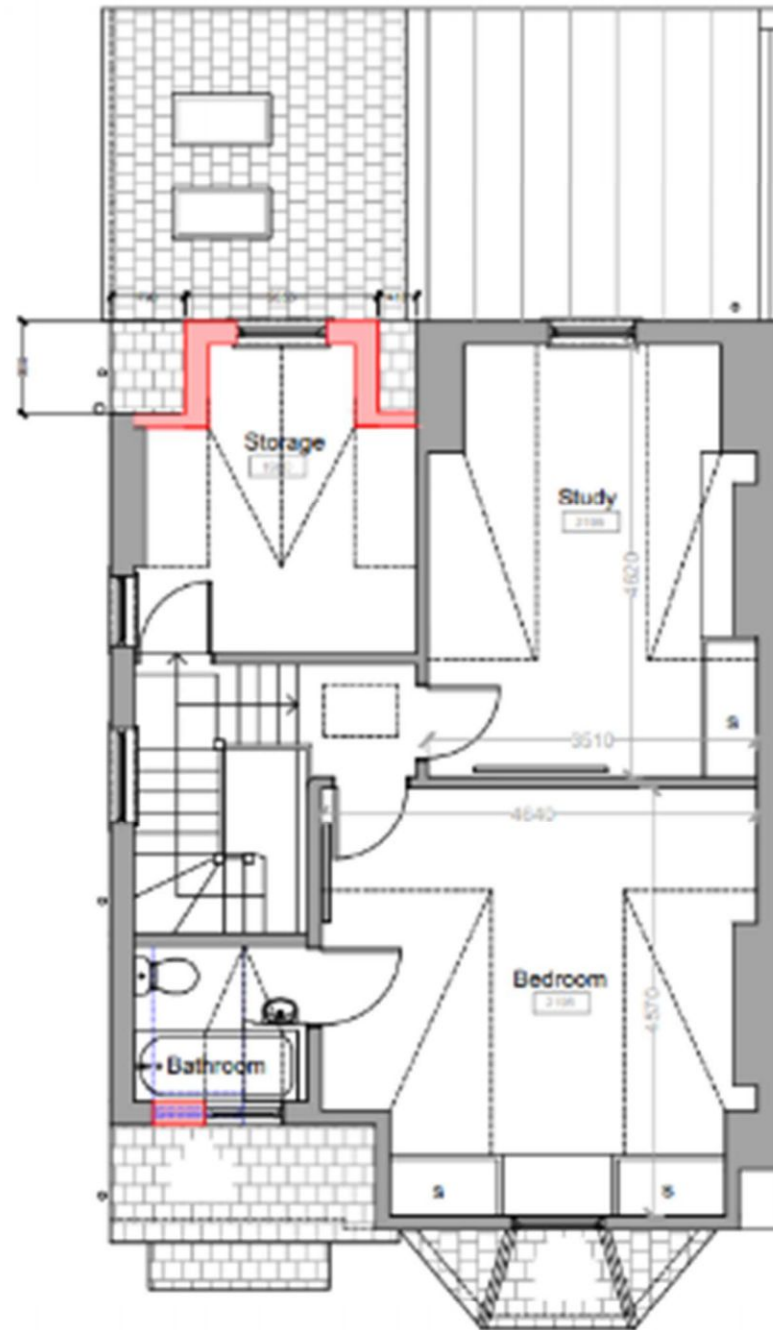


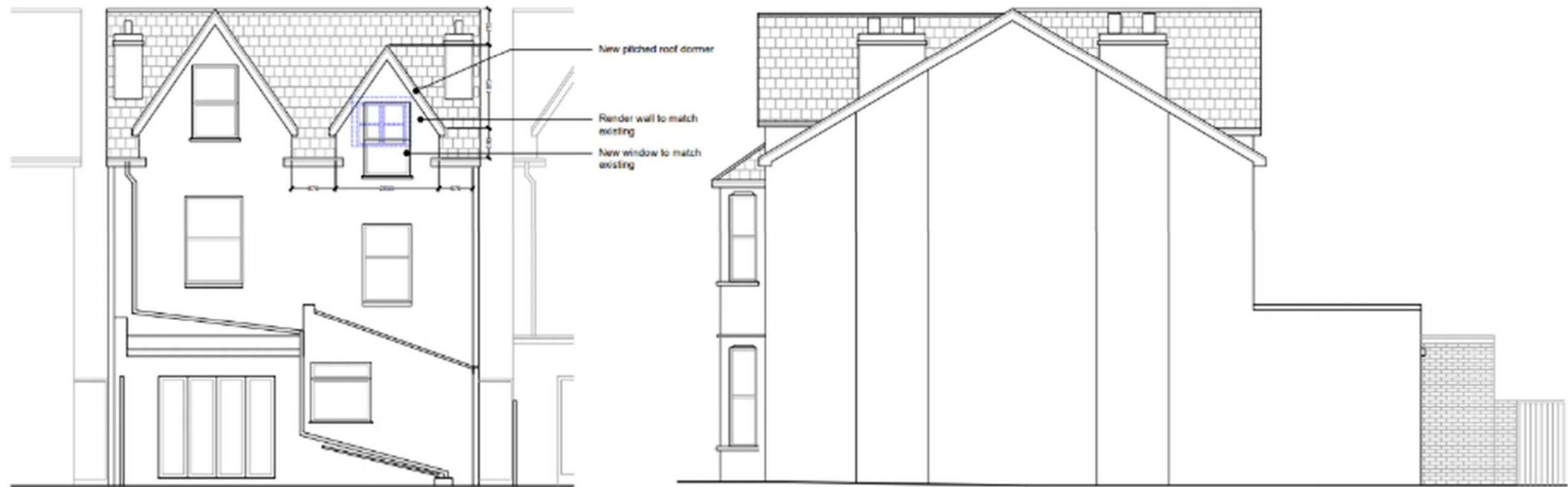
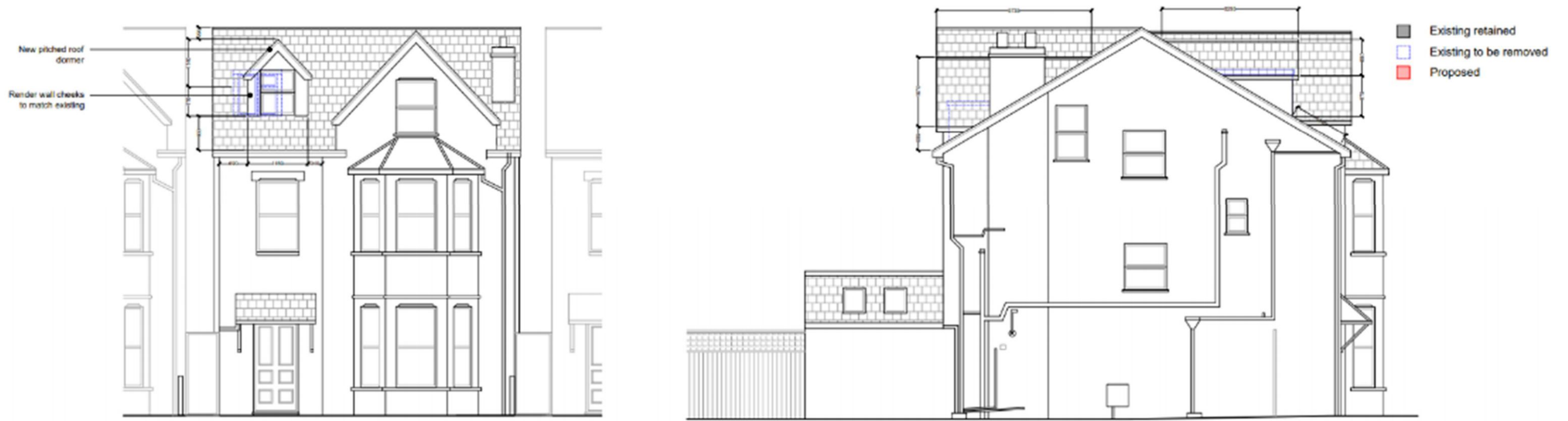




APPENDIX 2

Proposed site plan, plans, and elevations





END

THANKS FOR YOUR TIME

Please contact us with any queries and comments. Additional information may be requested by the case officer. Please contact info@50degrees.co.uk and ask for the project architect for the project if you require more information.