

PROPOSED BRICK CHIMNEY STACK WITH 3X POTS IS TO PROVIDE THE NECESSARY OUTLET FOR THE LOG BURNER FIREPLACES BELOW; WHICH REQUIRES A LOCALISED FLUE ROUTING TO THE ROOF LEVEL; PLEASE REFER TO THE ROOF PLAN AS PROPOSED FOR FURTHER INFORMATION.

THE PROPOSED FLAT ROOF AT THIS LEVEL ARE TO BE FINISHED WITH NEW, SINGLE-PLY MEMBRANE (DARK GREY TONE) TO THE REAR.  
PROPOSED 3X FLAT ROOFLIGHTS OVER THE STAIRCORE AND DRESSING AREAS TO PROVIDE NATURAL LIGHT AND VENTILATION TO THE INTERNAL SPACES; ROOFLIGHTS TO HAVE MINIMAL FRAME, BE LOW-PROFILE AND OF HIGH-QUALITY THERMAL SPECIFICATION.

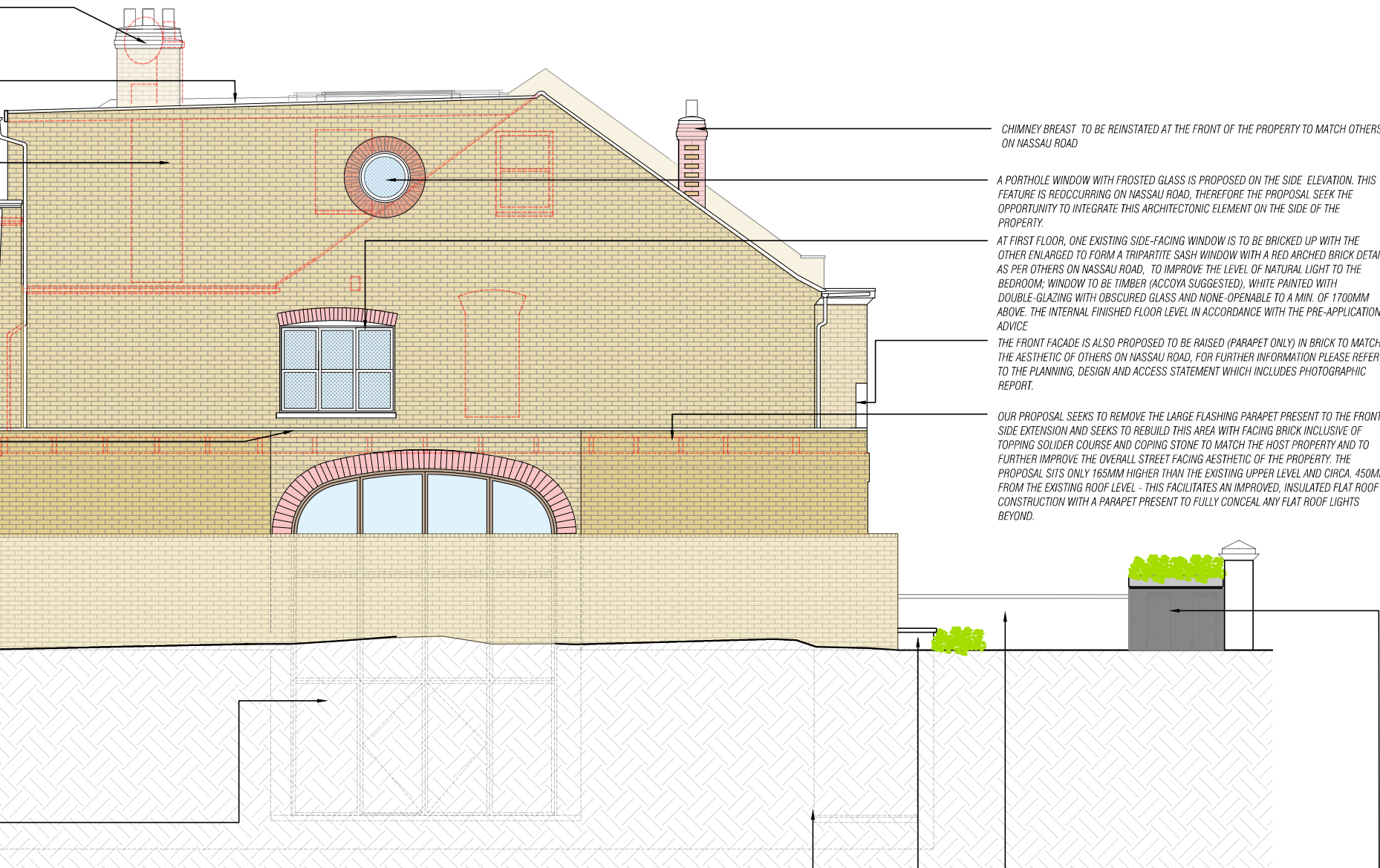
THE EXISTING TILE HUNG FINISH TO THE SIDE-ELEVATION IS TO BE REMOVED AND REPLACED WITH FACING-BRICKS AS PER MANY OTHER PRECEDENTS ON NASSAU ROAD; THIS WILL HARMONISE AND IMPROVE THE EXTERNAL AESTHETIC OF THE PROPERTY.

THE PROPOSAL SEEKS TO REPLACE THE EXISTING REAR DORMER IN A PROFILE TO FOLLOW THE EXISTING RIDGE LEVEL, PITCH, OVERALL PROJECTION AND EAVES POSITIONS. THE FAÇADE OF THE DORMER WILL BE FINISHED IN TERRACOTTA TILES (VERTICALLY HUNG) TO MIRROR OTHERS ON NASSAU ROAD WITH A SINGLE-PLY MEMBRANE OF DARK-GREY TONE TO FLAT ROOF ABOVE.  
THE FRENCH DOORS AND SIDE LIGHTS WILL BE WHITE PAINTED TIMBER (ACCOYA OR SIMILAR), DOUBLE-GLAZED UNITS WITH METAL SPINDLES AND HANDRAIL (SIMPLE SQUARE SPINDLES WITH FLAT HANDRAIL OVER) EXTERNALLY, FINISHED IN BRONZE.  
THE EXISTING PARAPET AND CORNICE DETAILING TO THE BASE OF THE DORMER WILL BE ADJUSTED TO IMPROVE THE AESTHETIC AND CORRELATE TO NO.36 MORE CLOSELY; THIS INCLUDES A CIRCA. 300MM INCREASE IN THE CORNICE HEAD LEVEL ON THE RIGHT-HAND SIDE TO PROVIDE MORE SYMMETRICAL AND WELL-DESIGNED SOLUTION, HOWEVER, GIVEN THE EXISTING BUILT-FORM THIS DOES NOT CREATE ANY DETRIMENTAL IMPLICATION ON VOLUMETRIC, MASSING OR OTHER SUCH IMPLICATIONS TO THE NEIGHBOURING PROPERTY.

THE EXISTING SIDE EXTENTION ROOF IS PROPOSED TO BE REMOVED, REPLACED AND RAISED TO PROVIDE A CONSISTENT INTERNAL CEILING HEIGHT THROUGHOUT AND PROVIDE ADDITIONAL INSULATION SPACE TO COMPLY WITH THE CURRENT BUILDING REGULATIONS; THE FLAT ROOF WILL BE FINISHED WITH SINGLE PLY MEMBRANE AND LEAD FLASHINGS TO THE PERIMTER - THE PARAPET DESIGN WILL FULLY CONCEAL ALL FLAT ROOF LIGHT LOCATED BEYOND THIS.

THE EXISTING GROUND FLOOR CONSERVATORY IS TO BE DEMOLISHED (DENOTATED WITH THE RED DASHED OUTLINE) AND EXTENDED BY CIRCA. 1700MM AND 'SQUARED' OFF TO THE REAR; THIS WILL INCLUDE A FLAT ROOF WITH 3X ROOFLIGHTS (FULLY CONCEALED BEHIND THE PROPOSED PARAPET) AND X3 ARCHED OPENINGS WITH BRONZE FRAMED WINDOW/DOOR SETS. THE CENTRAL FRENCH-DOORS LEADS TO THE TERRACE BEYOND. AS SHOWN ON OUR ELEVATIONS, THE PROPOSED PARAPET LEVEL SITES CIRCA. 875MM BELOW THE UPPER RIDGE LEVEL OF THE NEIGHBOURING EXTENSION TO ENSURE SUITABILITY WITH THE PROJECTION OF THE EXTENSION MATCHING THE CONSENTED AND NOW BUILT PROJECTION TO NO.36. PLEASE REFER TO THE REAR ELEVATION FOR FURTHER INFORMATION.  
THE PROPOSED REAR EXTENSION IS TO BE FINISHED IN YELLOW STOCK FACING BRICKS WHICH HAS BEEN SELECTED TO BE SYMPATHETIC TO THE EXISTING CONTEXT AND WIDER STREET SCAPES TO THE REAR OF THIS SIDE OF NASSAU ROAD.  
A PRIVACY SCREEN TO MATCH THE EXISTING HEIGHT OF 2300MM ON BOTH SIDES IS PROPOSED AND ASSUMED TO BE CLOSE-BOARDED TIMBER FENCING, PAINTED TO ENSURE MUTUAL PRIVACY BETWEEN RESIDENCES.

THE PROPOSAL SEEKS TO ADAPT THE EXISTING 'SIDE LIGHTWELL' TO BE A DOUBLE HEIGHT VOID SPACE EXTERNALLY PROVIDING ADDITIONAL NATURAL LIGHT TO THE LOWER GROUND FLOOR WITH A 'SET BACK' VOID INTERNALLY BEHIND THE GLAZING WITH A ROOFLIGHT OVER; THE GLAZING SEEKS TO REPLICATE THE ARCHED FORM WITH BRONZE OR SIMILAR METAL FRAMED WINDOW SYSTEMS. THE PROPOSAL SEEKS TO PROVIDE A 'GREEN WALL' TO THE BOUNDARY (NO.34 SIDE) TO ENHANCE BIODIVERSITY AND IMPROVE THE INTERNAL 'OUTLOOK' VERSUS THE EXISTING ARRANGEMENT AT GROUND FLOOR CURRENTLY. THE EXISTING BOUNDARY WALL WILL REMAIN BETWEEN NO.32 AND 34 WITH NO WORSENING OF THE EXISTING VOLUME OF GLAZING OR MUTUAL PRIVACY TO THIS SPACE GENERATED BY THIS PROPOSAL



CHIMNEY BREAST TO BE REINSTATED AT THE FRONT OF THE PROPERTY TO MATCH OTHERS ON NASSAU ROAD

A PORTHOLE WINDOW WITH FROSTED GLASS IS PROPOSED ON THE SIDE ELEVATION. THIS FEATURE IS REOCCURRING ON NASSAU ROAD, THEREFORE THE PROPOSAL SEEK THE OPPORTUNITY TO INTEGRATE THIS ARCHITECTONIC ELEMENT ON THE SIDE OF THE PROPERTY.

AT FIRST FLOOR, ONE EXISTING SIDE-FACING WINDOW IS TO BE BRICKED UP WITH THE OTHER ENLARGED TO FORM A TRIPARTITE SASH WINDOW WITH A RED ARCHED BRICK DETAIL, AS PER OTHERS ON NASSAU ROAD, TO IMPROVE THE LEVEL OF NATURAL LIGHT TO THE BEDROOM; WINDOW TO BE TIMBER (ACCOYA SUGGESTED), WHITE PAINTED WITH DOUBLE-GLAZING WITH OBSCURED GLASS AND NONE-OPENABLE TO A MIN. OF 1700MM ABOVE. THE INTERNAL FINISHED FLOOR LEVEL IN ACCORDANCE WITH THE PRE-APPLICATION ADVICE

THE FRONT FAÇADE IS ALSO PROPOSED TO BE RAISED (PARAPET ONLY) IN BRICK TO MATCH THE AESTHETIC OF OTHERS ON NASSAU ROAD. FOR FURTHER INFORMATION PLEASE REFER TO THE PLANNING, DESIGN AND ACCESS STATEMENT WHICH INCLUDES PHOTOGRAPHIC REPORT.

OUR PROPOSAL SEEKS TO REMOVE THE LARGE FLASHING PARAPET PRESENT TO THE FRONT, SIDE EXTENSION AND SEEKS TO REBUILD THIS AREA WITH FACING BRICK INCLUSIVE OF TOPPING SOLIDER COURSE AND COPING STONE TO MATCH THE HOST PROPERTY AND TO FURTHER IMPROVE THE OVERALL STREET FACING AESTHETIC OF THE PROPERTY. THE PROPOSAL SITS ONLY 165MM HIGHER THAN THE EXISTING UPPER LEVEL AND CIRCA. 450MM FROM THE EXISTING ROOF LEVEL - THIS FACILITATES AN IMPROVED, INSULATED FLAT ROOF CONSTRUCTION WITH A PARAPET PRESENT TO FULLY CONCEAL ANY FLAT ROOF LIGHTS BEYOND.

THE PROPERTY IS LOCATED WITHIN FLOOD RISK ZONE 3 AND AS SUCH RELEVANT FLOOD RISK ASSESSMENT AND SUSTAINABLE URBAN DRAINAGE CONSIDERATIONS HAVE BEEN APPLIED TO THE DESIGN SOLUTION; PLEASE REFER TO THE 'FLOOD RISK AND SUSTAINABLE DRAINAGE ASSESSMENT REPORT' FROM CLANCY CONSULTING CONFIRMING MITIGATION, IMPROVEMENT AND COMPLIANCE FACTORS.

PROPOSED FRONT LIGHTWELL TO PROVIDE NATURAL LIGHT AND VENTILATION TO THE LOWER GROUND FLOOR; THIS WILL BE FORMED WITH A MINIMUM UPSTAND OF 350mm AND FINISHED WITH A COPING STONE. THE UPSTAND WILL CONCEAL THE HORIZONTAL METAL GRILLE (PAINTED BLACK) TO MINIMISE ANY VISUAL IMPLICATION OF THIS INTERVENTION. THE PROPOSED LIGHTWELL PARAPET WILL BE SCREENED BY LOW SHRUBS PROPOSED TO BE PLANTED IN FRONT TO CONCEAL IT FROM VIEW FROM THE STREET IN ACCORDANCE WITH THE PRE-APPLICATION ADVICE. SIMILAR TO THE RECENT PRECEDENT CONSENTED AT NO.20 NASSAU ROAD [19/0342/HOT]. PLEASE SEE 'SECTION A AS PROPOSED' FOR FURTHER DETAILS.

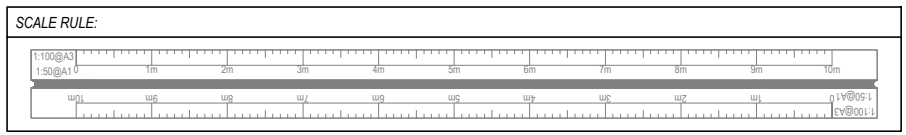
PROPOSED LOW LEVEL REFUGE STORAGE IN TIMBER WITH GREEN ROOF OVER; THIS WILL IMPROVE THE AESTHETIC OF THESE STORAGE UNITS AND IN COMBINATION WITH THESE BEING BUILT AS LOW AS REASONABLE POSSIBLE WILL ENSURE THAT AESTHETIC IMPLICATIONS OF THESE NECESSARY UNITS IS LESSEMED AND THAT NO ADVERSE IMPACT TO THE STREETSCENE IS GENERATED.

EXISTING TIMBER FENCE IS TO BE REPLACED WITH A MASONRY WALL FINISHED WITH THE SAME HEIGHT IN WHITE-PAINTED RENDER AND MATCHING COPING STONE OVER

**1 | SIDE ELEVATION AS PROPOSED**

02-23 | SCALE: 1:100 @ A3 // 1:50 @ A1

**DISCLAIMER:**  
Dimensions to be verified on site. Only figured dimensions to be used and any discrepancies in dimensions are to be reported to RJHA. No dimensions are to be scaled from printed drawings. Any areas indicated on this drawing are for guidance only. No responsibility is taken for their accuracy.  
There is a risk of injury or death in construction if works are not properly planned and supervised. The contractor must not undertake any elements of the work without first having carried out the necessary risk assessments and prepare detailed method statements.



**KEY:**

**NOTES:**

REV.	DESCRIPTION:	BY:	DATE:
P-	ISSUED FOR PLANNING	CM	01.07.2024

**STAGE:**

**PLANNING**

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<b>Address</b>	34 NASSAU ROAD SW13 9QE
<b>TITLE</b>	SIDE ELEVATION AS PROPOSED
<b>DRAWING</b>	2313_02-23
<b>REV.</b>	P-
<b>SCALE</b>	AS STATED
<b>STATUS</b>	PLANNING
<b>DRAWN</b>	CM
<b>DATE</b>	01.07.2024
<b>CHECKED</b>	RJH