

PLANNING, DESIGN & ACCESS STATEMENT

34 Nassau Road SW13 9QE

On behalf of Mr and Mrs Richards

Produced by RJAArchitecture Ltd.



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1. INTRODUCTION

This Planning, Design and Access Statement is submitted to the Richmond Council with respect to the proposed Lower Ground and Ground Floor Extensions and external alterations at 34 Nassau Road SW13 9QE to accompany the wider Householder Planning Application Submission.

This application is submitted in accordance with the Town and Country Planning Act 1990 and the Planning (Listed Buildings and Conservations Areas) Act 1990.

2. SITE AND HISTORY

2.1 Site and Surroundings

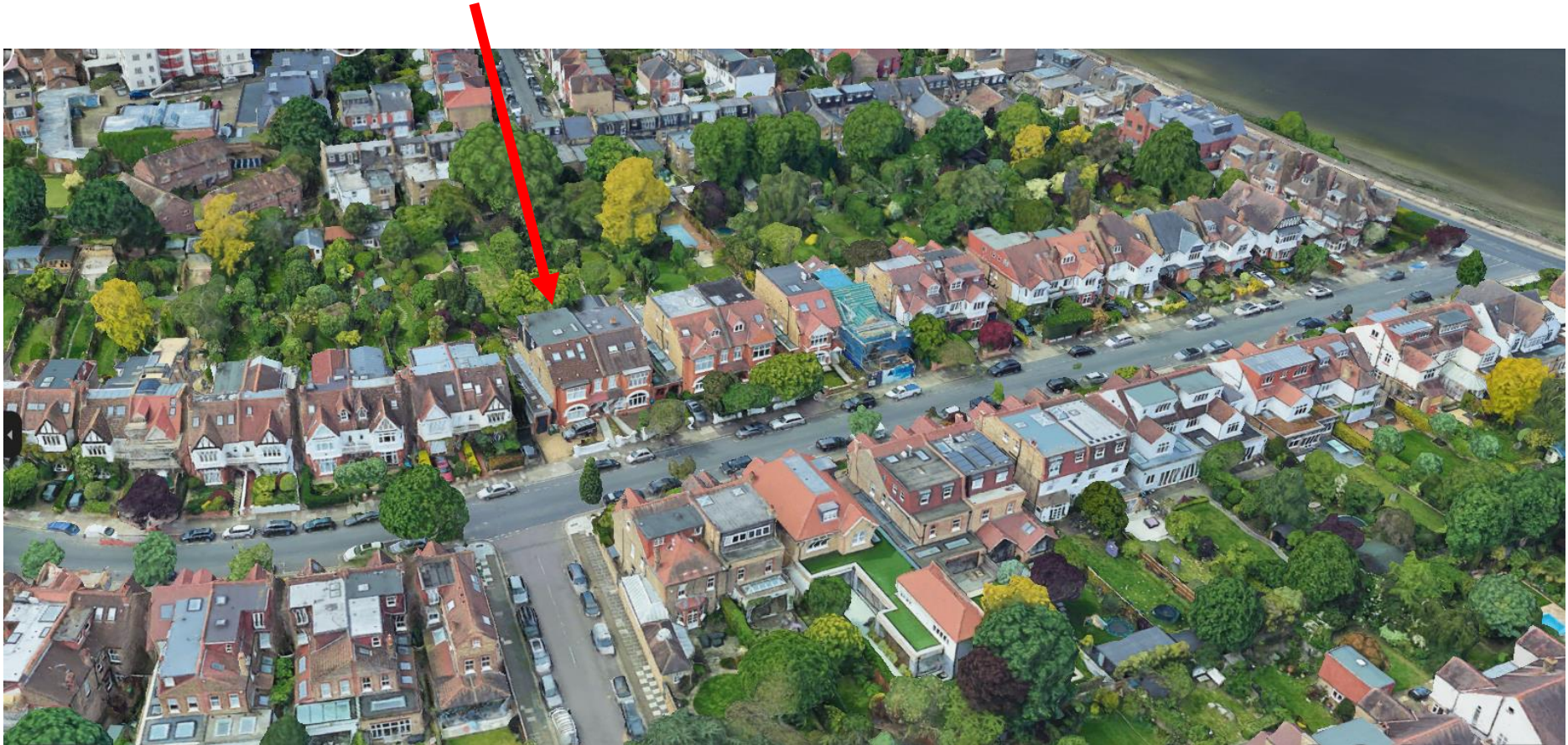
34 Nassau Road is an Edwardian era brick-built semidetached house of two storeys plus attic in the Barnes Village area. The front garden is given to gravel driveway and garden, the rear to mostly lawned areas. The existing buildings make for an attractive suburban street scene. The setting is typical of a suburban area consisting of attractive period two storey residential units of traditional vernacular appearance and construction.



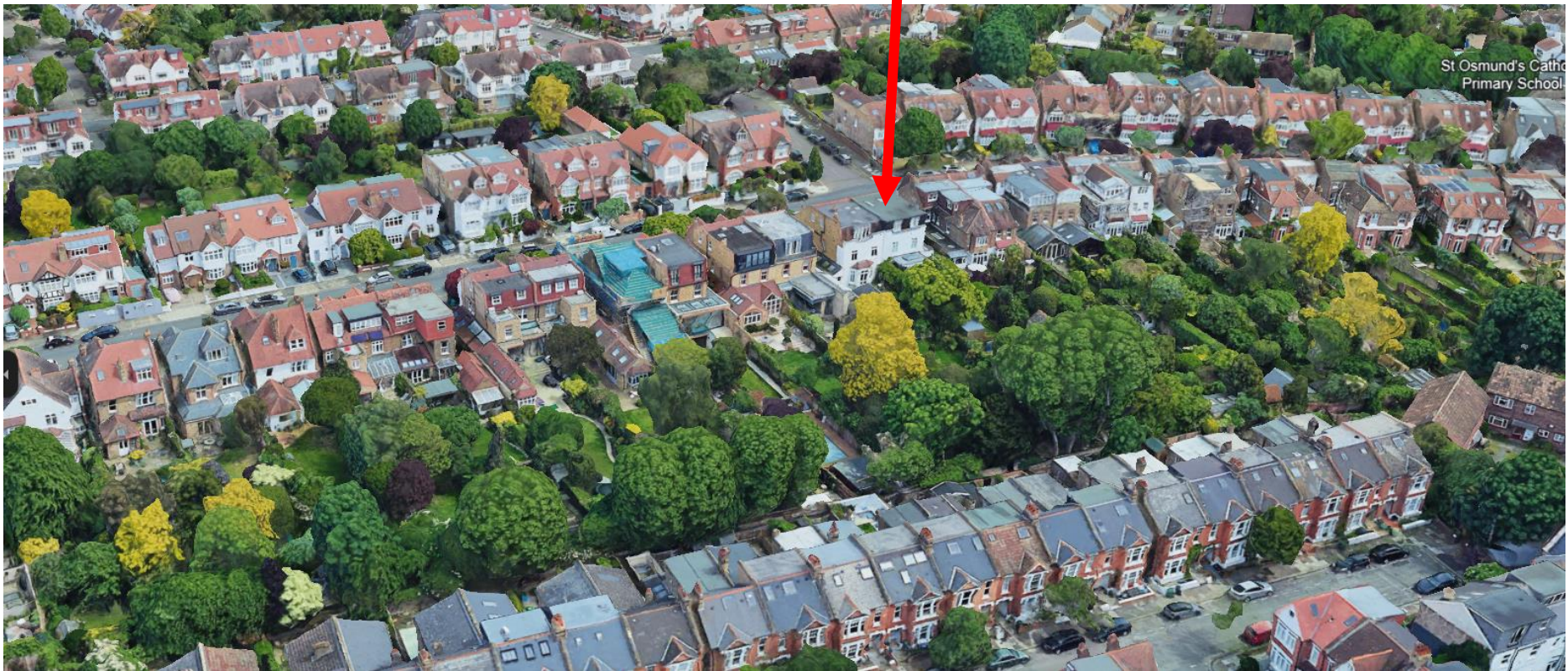


Figure 1- Front of Properties 34/36 Nassau Road

34 Nassau Road – Birds eye overview of Nassau Road (front) from Goole Earth



34 Nassau Road – Birds eye overview of Nassau Road (rear) from Google Earth



34 Nassau Road – view from Nassau Road towards the River Thames from Google Maps (Street View)



2.2 Planning History

Decision Date	Case No.	Details	Decision
26/06/2024	24/1121/HOT	Proposed matching gable extensions, formation of front dormers and rooflights to the front roof, replacement roof tiles at Nos. 34 and 36 Nassau Road. Removal of front roof slope flue, raising of roof ridge and replacement of front door to No.34.	Grant Planning Permission/Consent
06/07/2015	15/1929/HOT	Erection of detached, flat roofed, timber framed pavilion and raised deck area in rear garden.	Grant Planning Permission/Consent
20/03/2014	14/0082/HOT	Outbuilding in rear garden	Grant Planning Permission/Consent
11/06/2002	02/1069	Proposed Side and Rear Single Storey Extension.	Grant Planning Permission/Consent
11/02/2002	01/2976	Demolition Of Outbuildings To Side And Rear, Replace With New Side And Rear Extension. Erection Of Extension To Front Roof Gable And Front Roof Dormer.	Refused
08/03/1983	82/1534	Erection of a roof extension at rear.	Grant Planning Permission/Consent

2.3 Existing Site Photographs

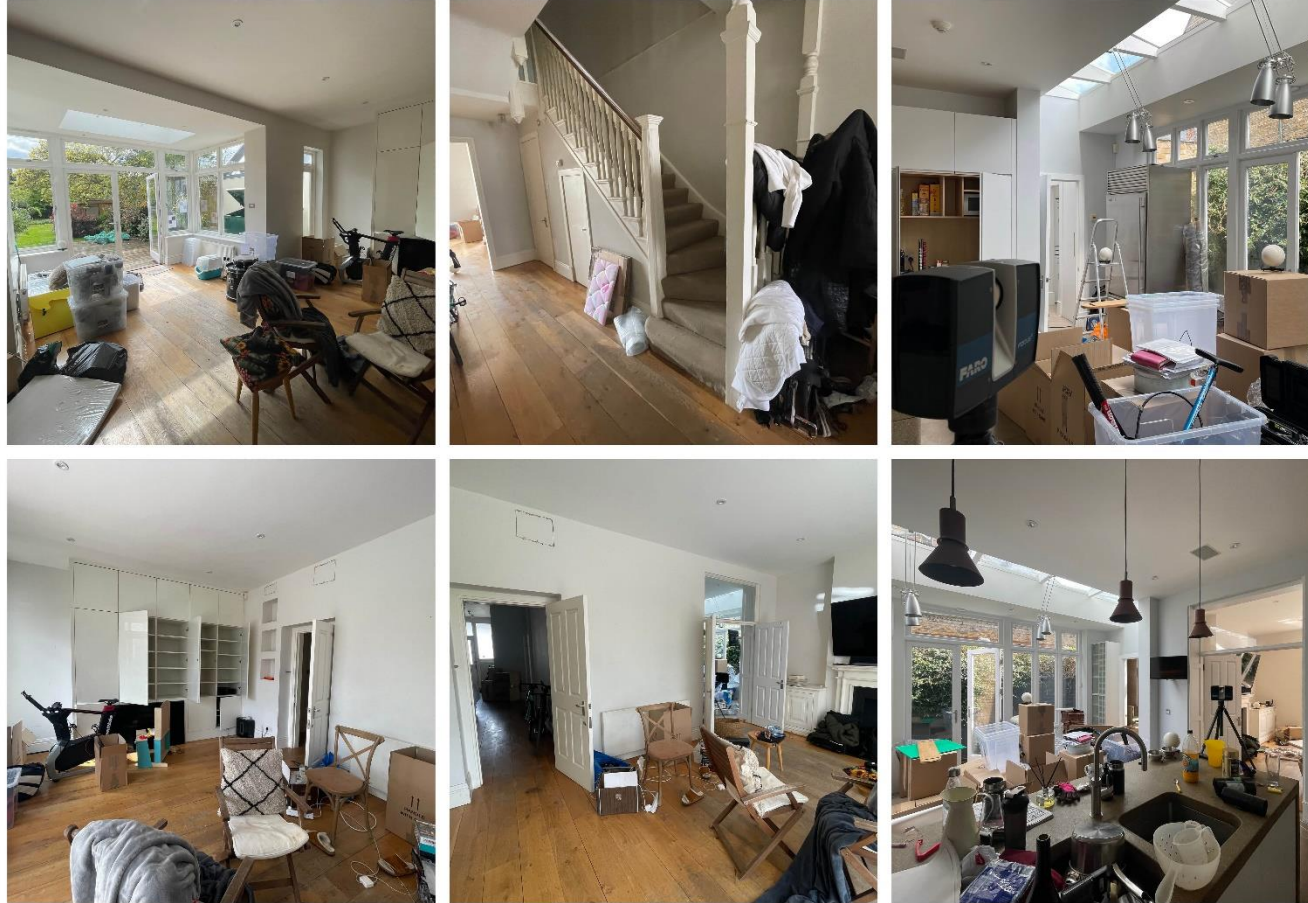


Figure 2: Ground Floor Photographs as Existing – Reading Top Left to Bottom Right; Living Room and Conservatory, Entrance Hall, Kitchen Side Lightwell, Rear Living, Rear Living viewing to Hallway, Kitchen



Figure 3: First Floor Photographs as Existing – Reading Top Left to Bottom Right; Front Bedroom 01, Existing Conservatory Roof and Neighbouring Extension, Front Bedroom 01, Landing/Stairwell, Rear Bedroom 01, Lobby/Landing

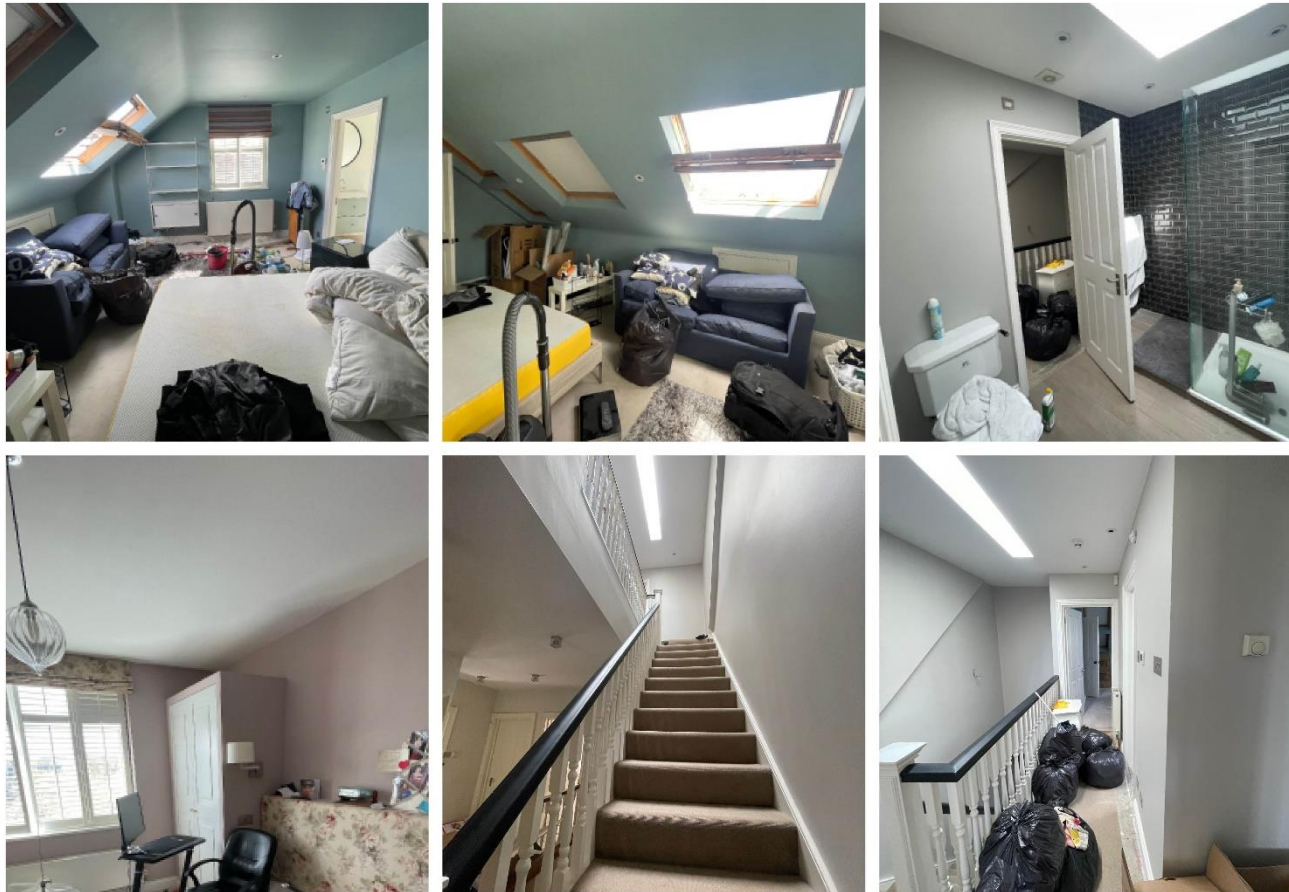


Figure 4: Second Floor Photographs as Existing – Reading Top Left to Bottom Right; Bedroom 06, Bedroom 06 (Front), Family Shower Room, Bedroom 04 (Rear), Stairwell, Bedroom 04



Figure 5: Exterior Photographs as Existing – Reading Top Left to Bottom Right; Front Façade, Street Scene, Frontage, Rear Elevation, Rear Elevation and Context, Garden space

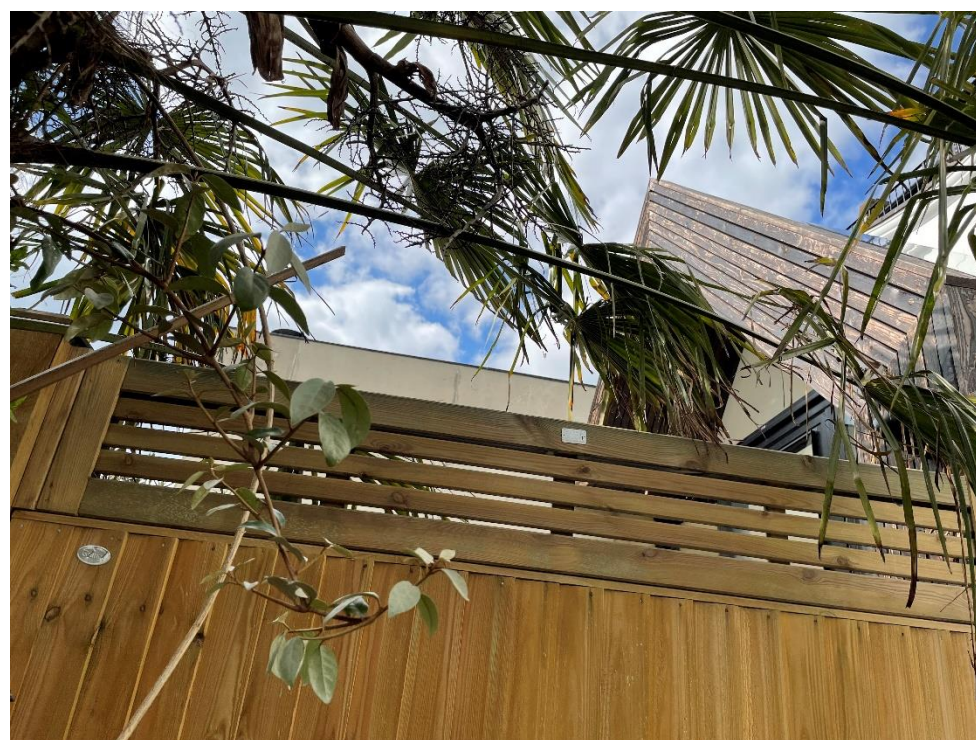


Figure 6 & 7 - Existing extension at N. 36 Nassau Road from 34 Nassau Road's garden

3. DESIGN PROPOSAL

3.1 Introduction

The proposal seeks to better utilise the existing site with a lower ground floor extension with a ground floor, single-story extension to the rear with full internal refurbishment.

Consideration and care have been taken to ensure the proposed interventions respect the building and its surroundings by retaining existing fabric, specifying high-quality materials, fixtures, and fittings, selecting materials which are harmonious with the existing and surrounding properties and minimising impact on the adjacent properties.

The proposal has been carefully crafted to fully adhere and reflect all relevant Planning Policies and is considered to be fully compliant; the relevant Policies (Local, National and Guidance Documents) are detailed later within this report for reference.

As part of the ongoing development, we have submitted a separate application for permitted development for an outdoor swimming pool and a pool house (24/1194/PS192). The consultants responsible for the SUDS (Sustainable Urban Drainage Systems) and FRA (Flood Risk Assessment) reports, as well as the BIA (Biodiversity Impact Assessment) report, have adopted a comprehensive and integrated approach. This holistic method ensures that all aspects of the proposal are thoroughly considered, addressing all necessary requirements in detail for both this specific application and whilst viewing all concurrent factors currently submitted.

On the 17th of January 2024, the proposal received positive Pre-Application Advice, which has been fully embraced with modifications and improvements made to the scheme to fully satisfy the suggestions made. These are provided below in [blue](#) for ease of reference.

3.2 Proposed Alterations

LOWER GROUND FLOOR

The lower ground floor extension is to be formed under the proposed footprint of the property. This space will provide secondary family living/entertaining spaces with a bar area and log burner fireplace, a guest WC and utility, a gym, plant room to service the property and an additional office, storage room and shower room.

Basement extension is located entirely under existing property as well as under the proposed ground floor rear extension. A lower ground floor courtyard is proposed to extend further to the rear of the ground floor rear extension with a solid 'bridge' like structure proposed above which provides ground floor access to the rear garden. There are no design objections to the basement which will not be readily visible from the street. It is noted that a lightwell is proposed to the front of the property. It is noted that lightwells are not common in the locality. Notwithstanding such there is no objection to the principle of a lightwell, however this should be made to be inconspicuous. It is suggested that soft landscaping is incorporated to screen the lightwell from view. The basement courtyard will extend beyond proposed ground floor extension. This will not be visible from public vantage points and there is no objection to the design. [...]

The Front Lightwell will have a minimal upstand finished with a coping stone; the recent local precedent of this can be found at No.20 Nassau Road (19/0342/HOT). The upstand proposed is to be minimal (300mm total) and finished with a coping stone, the metal grille (black painted) will be horizontal and installed below the coping level to ensure minimal visual implication is formed by this aspect of our proposal. To minimise any visual implication of this intervention, the lightwell parapet will be screened by low shrubs proposed to be planted in front to conceal it from the street in accordance with pre-application advice.

[...] It is noted the site is within an area designated with Archaeological Priority. It is necessary that a desk-based assessment is prepared and submitted with any future planning application given the extent of intrusive works. See Local Plan Policy LP7 for further details. '

An Archaeological desk-based assessment has been prepared following the advice. Please refer to the 'AB Heritage' Report which accompanies this submission. The desk -based assessment has noted that there is a low potential for archaeological remains to exist on site, therefore no further archaeological works are recommended to be carried, and we believe this now satisfies the Council's requirements on this matter.

The proposal seeks to adapt the existing side lightwell at the Ground Floor to form a double height void space externally providing additional natural light to the Lower Ground Floor with a set-back void internally behind the glazing, with a rooflight over, please refer to the 'Proposed Ground Floor' section below and to the 'Side Elevation as Proposed' drawing for further information.

To the rear, a patio space with dual staircases provide access to the Ground Floor Terrace and Garden beyond. This space is accessed via x3 arched opening with one French Door and two windows which will be bronze or similar metal framed; please refer to the enclosed drawing packages for further elevational information.

The proposed Lower Ground Floor will be reflective of the footprint of the property at Ground Floor and not exceed 50% of the existing garden land or more than half of any other undeveloped areas in compliance of Policy 11 of the Local Plan (2018).

With the proposed new slab and structure outlined in 'Section A as Proposed' between the ground and the lower ground floor and as detailed in the DSA Preliminary scheme, the internal headroom on the lower ground floor will be approximately 2.8 meters. This height limitation is to prevent future subdivision for additional floors, aligning with Policy LP 11 4.11.4. This design choice prioritises volumetric space and natural light, enhancing the overall liveability of the areas. Additionally, natural ventilation is facilitated by the positioning of three lightwells.

For further and full details on the construction method, methodology and compliance of the proposal in structural terms please refer to the enclosed CMS by DSA Consulting Structural and Civil Engineers. This report has been informed by extensive trial pits, boreholes and soil samplings by Ground and Water to ensure our complete compliance to all requirements.

GROUND FLOOR

When considering the 'House Extensions and External Alterations' of the Local Plan Supplementary Planning Documentation applicants are encouraged to retain the original form of the host property where reasonable and that any alterations proposed should enhance the quality of the overall building with the original appearance being the reference point when considering any changes. Extensions should not dominate the existing house and should harmonise with the original appearance. Policy LP1 of the Local Plan seeks to maintain and, where possible, enhance the high architectural and urban design quality which contributes to the character and heritage of an area. The design proposal has been catalysed through detailed research, consideration and design development with the site context, property history and surrounding fabric as a core consideration of the proposal.

'The application proposes to demolish the existing conservatory and construct a ground floor extension which extends further to the rear and would encompass the entire width of the host dwelling. It is noted there are a number of larger extensions at ground floor level in the locality and as such there is no objection in design terms. It is noted that the extension would not extend beyond the neighbours rear extension at No.34 and the proposal is set below the first floor fenestration remaining subservient to the host dwelling. Alterations to the existing side extension is proposed which appear to create a slightly taller extension within a similar footprint to existing. The extension would not extend any further forward than existing and is considered to remain subservient to the host dwelling. New side facing windows are proposed to the side extension, however these will be inconspicuously located and will not impact local character.'

Our proposal aims to sympathetically update and improve this property whilst ensuring the works are entirely considered and appropriate to both the individual property and that of the surroundings streetscape.

'[...] The proposed ground floor side/rear extension is to extend further into the rear garden and closer to both side boundaries. They are also to be set higher than the existing side/rear extensions. Notwithstanding such, it is noted that the rear extension will not extend further than the extension at No.36, which is understood to be constructed. The extension will extend further than the rear elevation of No.32. The House extensions SPD states that the effect of single storey extensions are generally acceptable if they project no further than 3.5m. It appears that this is the case, however the applicant should demonstrate that the 45-degree BRE test is passed from the rear facing windows to No.32 at application stage. Although the side extension is set higher, it is not considered that the proposal will appear overbearing or result in loss of sunlight above and beyond the existing extension which would warrant a reason for refusal. It is noted there are side facing windows proposed. These should be obscure glazed and non-openable to a height of 1.7m above floor level.[...]

The existing rear, single-storey conservatory extension will be demolished and replaced by a single storey extension which spans side to side. The proposed design envisages a partial infill to the side of the property and projects an additional 1.7m rearward to match the built line of the neighbouring extension at No.36 Nassau Road. The proposed extension sits circa.875mm below the ridge of the extension recently consented and built at No.36, and will not be significantly higher than the existing structure present at No.34. Our project matches the lesser projection of the consented and built scheme at No.36, with the majority of the neighbouring extension projection an additional 2425mm beyond our built-line.

Please refer to the 'Rear Elevation as Proposed' for reference to the 'The House Extension SPD' and the 45-Degree BRE Test which confirms the suitability of the proposal and not failing the 45-degree test as requested by the Pre-Application Advice. The centre of the conservatory window at No. 32 Nassau Road, does not lie within the 45 degree angle on elevation, so the impact of the extension is likely to be small and would not lead to an unreasonable loss of daylight or sunlight to the habitable rooms of any neighbouring properties or cause any undue overshadowing to neighbouring gardens given its reasonable height.

This extension includes a series of flat rooflights which are fully concealed behind the proposed parapet. Three arched openings are formed at this level with a set of French-Doors, metal framed (bronze or similar) centrally providing access to the terrace beyond. The proposed extension is finished in Yellow Stock Facing Bricks which have been selected to be sympathetic to the existing context and wider street scene with Marrakesh brick tiles installed vertically under the window cills. A privacy screen of circa. 2300mm to match the existing conditions is proposed to either boundary wall and is assumed to be close-boarded timber fencing.

The rear terrace railings are proposed in metal with the terrace and steps being finished in stone pavers or similar.

Internally, the space has been reconfigured to create an Open Plan Living/Dining/Kitchen, with a Guest WC, Cloak Storage, Pantry, Front Study and Boot Room/Garage Storage.

The entrance/reception utilises a fire curtain to satisfy the Building Regulation and guarantee the protected Means of Escape, please refer to the 'Fire Statement' for further details which accompany this application as requested by the Pre-Application Advice.

The existing internal staircase is removed and replaced, with a secondary staircase connecting the Ground Floor to the Lower Ground Floor.

The existing storage and secondary access door to the side infill will be replaced with timber doors, designed to be more sympathetic to the style of the properties and its surroundings. The proposal seeks to introduce a brick arch over the openings to soften the aesthetic whilst removing the large flashing parapet roof structure. The frontage is proposed to be raised to form a gable for aesthetic purposes, which will conceal a new flat roof beyond (inclusive of Building Regulation compliant insulation). This proposal seeks to follow existing architectural details already present on Nassau Road to better unify No.34 within its surroundings.

The flat roof beyond the gable will only sit higher than the existing upper level of the infill by 165mm and circa. 450mm from the existing roof level. This modification will enhance the thermal efficiency of the flat roof.

'[...] Alterations to the existing side extension is proposed which appear to create a slightly taller extension within a similar footprint to existing. The extension would not extend any further forward than existing and is considered to remain subservient to the host dwelling. New side facing windows are proposed to the side extension, however these will be inconspicuously located and will not impact local character.'

The proposal seeks to adapt the existing side lightwell at the Ground Floor to be a double height void space externally providing additional natural light to the Lower Ground Floor with a set-back void internally behind the glazing, with a rooflight over. The glazing seeks to replicate the arched form with bronze or similar metal framed window systems. The proposal seeks to install a 'green wall' or similar to the boundary (No.34 side) to enhance biodiversity and improve the internal outlook versus the existing arrangement. The existing boundary wall will remain between No.32 and No.34 with no worsening of this existing level of glazing at ground floor or mutual privacy from this proposal.

The proposal includes a low level refuse storage in timber with green roof over within the front garden, which currently are stored in the driveway and therefore visible from the street. These storage units will be built as low as reasonable possible to ensure that aesthetic implications of these necessary units is lessened and that no adverse impact to the street scene is generated. The proposal seeks to comply with LBRUT Council's requirements to host 3x wheel bins and 2x recycling box.

Please refer to the 'Side Elevation as Proposed' and the 'Site Plan as Proposed' for further information.

FIRST FLOOR

The existing First Floor will be reconfigured to provide three Bedrooms with En-suites and a 'Study Space' on the landing for the children. To the front all windows are to be replaced with double-glazed timber (Accoya or similar) casement windows to match the existing aesthetic, fenestration, and finish.

[...] It is noted there are side facing windows proposed. These should be obscure glazed and non-openable to a height of 1.7m above floor level.'

One side facing window is to be bricked up with a new tripartite sash window to be introduced with obscure glazed in accordance with the Pre-Application Advice. To the rear, minor adjustments to the window apertures are proposed to better align the vertically of the elevation with new timber sash (Accoya or similar) with slim-line double glazed fixtures proposed and new brick arched lintel to improve the general aesthetic of the rear facade. Externally the proposal seeks to reintroduce (it may well be present behind the existing render finishes) facing brick to further improve the external facades of the property.

[...] It is proposed that the first-floor render is removed to reveal the facing brickwork. There is no objections to this.'

The Ground Floor extension roof will incorporate a 'Green Roof' (by Bauder or similar) to assist with both the SUDs Strategy and improve the visual sitting of the built form within the garden space. Please refer to Clancy's report on this matter.

SECOND FLOOR AND ROOF

On the Second Floor a full refurbishment is proposed with removal of the existing modern partition and redistribution of the space to form a Master Suite.

The façade of the rear dormer is to be finished in terracotta tiles (vertically hung) to mirror others on Nassau Road with a single-ply membrane of dark-grey tone to the flat roof above. The flat roof includes flat roof lights over to provide natural light and additional ventilation to the stairwell and dressing rooms. The French Doors and Side Lights to the rear will be white painted, timber (Accoya or similar), double-glazed units with metal spindles and handrail (simple square spindles with flat handrail over) externally, finished in bronze.

[...] The parapet and cornice detailing to the first floor façade, beneath the rear dormer is proposed to be altered. The detail would align with the adjoining neighbours detailing. It is noted that the existing detail is not consistent with the neighbours and as such there is no objection to the current design.

The existing parapet and cornice detailing to the base of the dormer will be adjusted to improve the aesthetic and correlate to No.36 more closely, please refer to the 'Rear Elevation as Proposed' for further information.

The existing tile hung finish to the side-elevation is to be removed and replaced with facing bricks to improve the general side elevation of the property and match many other precedents on Nassau Road. An existing side-facing window will be bricked-up and a smaller, porthole style window with an external circular slider course is proposed. The existing, rather dominating side chimney stack is to be removed with a smaller stack formed nearer the Party Wall with No.36 to service the log burner fireplaces proposed within the property.

[...] No objections to the relocation of the chimney stack nor the proposed roof lights.'

FRONT ELEVATION

The existing windows are to be replaced with double-glazed (12mm), timber (Accoya or similar) casement and sash windows with a painted finish; all of the existing fenestration, detailing and aesthetic aspects will replicate to ensure suitability. The proposal does not implicate or modify how the property is accessed.

[...] There are no objections to the replacement windows which will be double glazed, timber sash design to match existing [...]

The Front Lightwell will feature a low-profile upstand with a coping stone, concealing a black-painted metal grille to minimize visual impact, similar to designs at No.20 Nassau Road. The upstand will be minimal (300mm total), with the metal grille positioned below the coping level to reduce visual impact. Low shrubs will be planted in front to conceal the lightwell parapet from street view, following pre-application advice.

The side infill will have timber doors replacing the existing ones, blending better with the property's style. A brick arch will soften the appearance and remove the large flashing parapet roof. The frontage will be raised for aesthetic reasons, concealing the flat rooflight and a new flat roof beyond with compliant insulation, aligning with Nassau Road's architectural details (for further details please refer to the section above 'proposed ground floor' and to the enclosed drawing package).



Figure 8 – Existing Frontage at 34 Nassau Road

The proposal seeks to further improve the properties frontage with the introduction of 1x additional rendered pier with a matching coping stone to the existing, the boundary fences with No. 32 and No. 36 will be replaced with a rendered masonry wall and matching coping stones. Soft landscaping is suggested to ensure a gentle and suitable proposal is presented. Please refer to 'Side Elevation as Proposed' and 'Site Plan as Proposed' for further details.

A brick chimney breast is proposed on the left hand side of the front pitch roof, mirroring the stepped details and location as per others on Nassau Road, please see the Front and Side Elevation for further information.

The front Victorian tiles are to be removed and replaced like for like, and the existing garden gravel is to be replaced with York Stone or similar. This will be laid in a permeable way to allow water to infiltrate to the ground which assists the flood management presented further reducing surface runoff and the risk of flooding.

Please refer to the FRA & SUDS report by Clancy for further information.

REAR ELEVATION

The existing Ground Floor Conservatory is to be demolished and extended by circa. 1700mm and 'Squared' off to the rear; this will include a flat roof with 3x rooflights (fully concealed behind the proposed parapet) and x3 arched openings with bronze framed window/door sets at both ground and lower ground floors. A 'green roof' by Bauder or similar is proposed to the ground floor extensions flat roof, which will assist with the wider SUDs Strategy whilst improving the softening of the built-form. This will also offer the opportunity to reduce the rainwater run off whilst connecting the gullies to 'reduced flow' outlets to further mitigate risks of flash flooding or similar in accordance with Guidance under Policy LP17 of the Local Plan. At Ground floor, the central French-Doors lead to the terrace beyond. The proposed parapet level sits circa. 875mm below the upper ridge level of the neighbouring extension to ensure suitability with the projection of the extension matching the consented and now built projection to No.36. The proposed rear extension is to be finished in Yellow Stock Facing Bricks which has been carefully selected to be sympathetic to the existing context and wider street scape to the rear of this side of Nassau Road. This materiality is continued to the upper portion of the façade to further improve the general aesthetic of this property. The extension includes Marrakesh Brick Green Gloss 50x150mm tiles installed vertically under the window cill to soften the façade at Ground Floor with detailing such as, two-layer soldier coursing at Lower Ground Floor to provide architectural refinement and interest whilst ensuring a respectful, subtle and elegant proposal is presented. A privacy screen to match the existing height of circa.2300mm to both sides is proposed and assumed to be close-boarded timber fencing, painted to ensure mutual privacy between residences.

Minor adjustments to the rear First Floor apertures to better align the verticality of the elevation are proposed with the replacement units being double-glazed (12mm), timber sash windows (Accoya or similar). The existing render will be removed and facing brick is to be exposed and treated by specialists to mirror the existing rear, brick facades prevalent on this side of Nassau Road.

[...] It is proposed that the first-floor render is removed to reveal the facing brickwork. There is no objections to this.

The proposal seeks to replace the existing rear dormer in a profile to follow the existing ridge level, pitch, overall projection and eaves positions. The façade of the dormer will be finished in terracotta tiles (vertically hung) to mirror others on Nassau Road with a single-ply membrane of dark-grey tone to flat roof above. The French Doors and Side Lights will be white painted timber (Accoya or similar), double-glazed units (12mm) with metal spindles and handrail (simple square spindles with flat handrail over) externally, finished in bronze. The existing parapet and cornice detailing to the base of the dormer will be adjusted to improve the aesthetic and correlate to No.36 more closely; this includes a circa. 600mm circa increase in the cornice head level on the right-hand side to provide a more symmetrical and well-presented solution, however, given the existing built-form this does not create any detrimental implication on volumetric, massing or other such implications to the neighbouring property.

[...] The dormer is proposed to be set higher, closer to the ridge. Given the existing dormer encompasses most of the roof, and considering the existence of other large roof extensions in the locality, it is not considered that the proposals would result in harm to the character of the area. The dormer is to be finished in terracotta tiles. It is noted on the proposed drawings that these will match others in the locality. This is acceptable.

The parapet and cornice detailing to the first floor façade, beneath the rear dormer is proposed to be altered. The detail would align with the adjoining neighbours detailing. It is noted that the existing detail is not consistent with the neighbours and as such there is no objection to the current design.[...]

Flat roof lights are proposed over the staircase and within the master dressing to ensure natural light and ventilation reaches these spaces; these will high-grade products with minimal frame and in vertical height terms.

The existing chimney stack is to be removed and relocated to serve the proposed log burner fireplaces at Lower, Ground and Second floors. The proposed chimney stack will have 3 No. terracotta pots (one for each fireplace proposed) and built in bricks to match others and to be in keeping with the aesthetic of the area.

SIDE ELEVATION

The proposal seeks to address the varied materiality and built-form that existing to the side elevation, seeking to provide a more cohesive and harmonised aesthetic that weaves more gently within the wider contextual setting.

[...] Alterations to the existing side extension is proposed which appear to create a slightly taller extension within a similar footprint to existing. The extension would not extend any further forward than existing and is considered to remain subservient to the host dwelling. New side facing windows are proposed to the side extension, however these will be inconspicuously located and will not impact local character.

The existing tile hung finish to the side-elevation is to be removed and replaced with facing-bricks as per many other precedents on Nassau Road; this will further harmonise and improve the external aesthetic of the property within its contextual sitting.

At First Floor, one existing side-facing window is to be bricked up with the other enlarged to form a tripartite sash window with a red brick arch detail as per others on Nassau Road, to improve the level of natural light to the bedroom; window to be timber (Accoya suggested), white painted with double-glazing with obscured glass and none-openable to a min. of 1700mm above the internal finished floor level in accordance with the Pre-Application Advice.

A porthole window with frosted glass is also proposed on the side elevation to the Second Floor, featuring a red arch brick detail. This feature is reoccurring on Nassau road, therefore the proposal seek the opportunity to integrate this architectonic element on the side of the property.



Figure 9 - Existing Side Elevation from Nassau Road

The scheme seeks to remove the large flashing parapet present to the side extension and seeks to rebuild this area with facing brick inclusive of topping soldier course and coping stone to match the host property and to further improve the overall aesthetic of the property. The proposal sits only 165mm higher than the existing upper level and circa. 450mm from the existing roof level; this facilitates an improved, insulated flat roof construction with a parapet present to fully conceal the flat rooflights beyond.

The proposal aims to adapt the existing 'side lightwell' to be a double height void space externally providing additional natural light to the Lower Ground Floor with a 'set back' void internally behind the glazing with a rooflight over; the glazing seeks to replicate the arched form with bronze or similar metal framed window systems with a red arched brick details to match the other openings present on the side façade. The existing boundary wall will remain between No.32 and No.34 with no worsening of the existing volume of glazing or mutual privacy to the space generated by this proposal.

The proposal seeks to replace the existing rear dormer in a profile to follow the existing ridge level, pitch, overall projection and eaves positions.

3.3 Proposed Drainage Strategy

The property is located within 'Flood Risk Zone 3', however, given the local precedent of subterranean extensions we strongly believe the proposal is compliant with Policy LP 21; for further information please refer to the relevant Consultant Reports (Flood Risk Assessment and Sustainable Urban Drainage Strategy Reports) confirming full compliance; please see below an extract from report from Clancy Consulting (FRA + SUDs) which confirms the considerations and applicable aspects that have been considered and tested for this scheme:

In accordance with the RBRUT local plan (2019), The disposal of surface water should be considered in the following order of priority:

- 1. Storage of rainwater for later use.*
- 2. Use infiltration techniques, such as porous surfaces in non-clay areas.*
- 3. Attenuate rainwater in ponds or open water features for gradual release to a watercourse.*
- 4. Attenuate rainwater by storing in tanks or sealed water features for gradual release to a watercourse.*
- 5. Discharge rainwater direct to a watercourse*
- 6. Discharge rainwater to a surface water drain*
- 7. Discharge rainwater to a combined sewer*

RBRUT Policy LP21 presents the target for all developments to achieve a reduction of the existing discharge rates to greenfield run-off rates wherever feasible. Where greenfield run-off rates are not feasible this is to be demonstrated by applicant and subsequently a minimum of at least 50% attenuation of the sites surface water run-off during peak times to be achieved. To accomplish this the design should ensure surface water is managed as close to its source as possible through:

- i. the increase of permeable surfaces;*
- ii. recognising opportunities for SuDS to provide other environmental benefits;*
- iii. factoring all flows into the sewer system (including swimming pools discharges, groundwater or other flows) in the calculations of greenfield run-off rates;*

The proposal seeks to re-utilise the existing connection to the public system with the addition of various mitigation/reductions proposed which include permeable paving, green roofs, non return valves and pumped systems to the Lower Ground Floor amongst other such improvements. Please refer to the enclosed FRA and SUDS Report for full details and confirmation of compliance.

3.4 Existing Trees and Root Protection

Given the proximity to neighbouring trees, our submission includes detailed reports from the Arboriculturists at Treework Environmental Practice. These reports ensure our proposals are compliant and that the works proposed do not adversely affect the existing or surrounding neighbouring trees or their roots.

While the existing small palms and shrubs on the property will be removed to facilitate the works, no existing notable trees are to be removed from the site. The proposed design for the rear garden has been meticulously planned around the existing trees and vegetation to minimise any possible impact. The front tree, 'T12', will be protected from damage during the works with robust plywood siding to a minimum height of 2 meters from the ground level, ensuring the trunk is safeguarded throughout the project as detailed further within the enclosed Arboricultural Report.

All works will be carried out in accordance with the Treework Environmental Practice report and detail. If any issues or unforeseen occur during the works, appropriate care and measures will be implemented following the recommendations in the report.

3.5 Proposed Landscaping Design (Rear Garden)

The proposed landscaping design for the rear garden prioritises the creation of a biodiverse environment. By incorporating a variety of plants and small trees, the plan not only enhances the garden's aesthetic appeal but also contributes to the overall ecological health of the area. This approach ensures a rich, diverse habitat that supports local wildlife and promotes environmental sustainability. Please refer to the design proposal and enclosed documents by 'Beeching and Co Landscapes' and the 'Site Plan as Proposed' for further details.

The proposal has been designed and scheduled in direct response with the guidance provided within the Pre-Application Advice to ensure our compliance with the following;

'..-Details of the quantity, size, species, and position (Shown on plan)

-Planting specification and methodology (with cross-sectional drawings) including soil volume calculations and incorporating root deflection measures (Where necessary)

-Proposed time of planting (season)

-5-year aftercare, maintenance and management programme...'

Please find below the extract of the strategy put in place by 'Beeching and Co Landscapes' for ease of reference;

Garden Layout and Planting Design to Rear Garden

Planting and planting levels

All new planting to the rear garden is to occur at existing ground level to allow new specimens of any scale a full and comprehensive root run.

The existing Magnolia will remain in the existing bed in which it currently sits, the proposal seeks to install a small area of bench seating within the raised bed area. This minor excavation will be undertaken with Arboricultural Supervision to ensure no root damage occurs, however, we would note that the Arboricultural Report suggests that the presence of roots at this elevated position is very unlikely. Planting of key trees and shrubs would be recommended for planting from October onwards and during the winter season. Further underplanting of perennials and smaller

specimens can occur at any point during the autumn or spring. NB: Exact planting dates cannot be schedule until consents are gained, site works progress to a suitable stage and the site is ready to receive them, however, they will be planted on the soonest planting cycle as outlined from such date).

Ongoing Garden Maintenance and Watering

Maintenance and watering

An irrigation system will installed to serve at least the major trees and shrubs. We will propose a maintenance visit every 2 months to ensure the successful establishment of all new planting for at least the first 18 months. This will then likely reduce to a quarterly visits.

3.6 Archaeological Study

As part of the Pre-Application Advice, an Archaeological Desk-Based Assessment has been requested to ensure that the proposed excavation will not harm any historical remains that may be present in the area.

'...It is noted the site is within an area designated with Archaeological Priority. It is necessary that a desk-based assessment is prepared and submitted with any future planning application given the extent of intrusive works. See Local Plan Policy LP7 for further details...'

The report indicates a very low potential for archaeological remains on the site. Consequently, no further archaeological work is recommended by the Specialist Consultant. Evidence shows that the site was developed as a cricket pitch in the 19th Century, during which the ground was levelled and prepared. Additionally, there are no records of previous archaeological works within the site boundary. For further details, please refer to the 'Archaeology Desk-Based Assessment' produced by AB Heritage.

4. PLANNING ASSESSMENT AND PRECEDENTS

4.1 Design

The proposed changes respect the significance of the property and its surroundings; it reflects and enhances the existing style and aesthetic associated within the property. The scale and appearance of the proposal will not have a detrimental effect on the street scene and we believe that our proposal features a proportionate and respectful addition to the property and does not cause any detrimental effect to neighbouring amenity. The previous chapter of this report identifies the key Planning Policies and Considerations applied to our design response.

4.2 Planning Precedents

Here are examples of similar proposals being supported by the Council within the immediate vicinity and a selection of these proposals are provided below for your reference.

Approval Date	Case No.	Address	Description
16/12/2019	19/3189/HOT	31 Nassau Road Barnes London SW13 9QF	Addition of pitched roof dormer on the front elevation. Rooflights to front elevation and flat roof of rear dormer.
12/06/2014	14/1574/HOT	31 Nassau Road Barnes London SW13 9QF	Basement extension under rear garden. Single storey side extension. Alterations to existing rear extension.
29/03/2019	19/0342/HOT	20 Nassau Road Barnes London SW13 9QE	Excavation of basement under dwellinghouse including the formation of a front lightwell.
15/04/1997	97/0209	24 Nassau Road London SW13 9QE	Rear Roof Extension
01/07/2015	15/1950/PS192	42 Nassau Road Barnes London SW13 9QE	Erection of a swimming pool building.

26/03/2015	15/0325/HOT	42 Nassau Road Barnes London SW13 9QE	New basement to extend existing with new lightwells to front and rear, new full width back extension at basement and ground floor, and other minor elevational alterations.
31/05/2023	23/0840/HOT	73 Castelnau, Barnes, London, SW13 9RT	New pool house with swimming pool and metal and timber cladding.

4.3 Planning Policies

This chapter summarises the key Policies that we have referenced, considered and applied to our proposal to ensure a supportable, beneficial development is presented.

Richmond Local Plan (2018)

LP1 Local Character and Design Quality
 LP4 Non-Designated Heritage Asset
 LP8 Impact on Amenity and Living Conditions
 LP10 - Local Environmental Impacts, Pollution & Living Conditions
 LP11 Subterranean and Basement Development
 LP16 Trees, Woodlands and Landscape
 LP17 Green Roofs and Walls
 LP21 Impact on Flood Risk

London Plan (2021)

Policy D4 – Delivering Good Design
 Policy D12 – Fire Safety
 Policy HC1 – Heritage Conservation
 Policy SI12 – Flood Risk and Sustainable Drainage

National Planning Policy Framework (2021)

The key chapters applying to the site and this project are:

- 4. Decision-making
- 12. Achieving well-designed places
- 16. Conserving and enhancing the historic environment

Additional Documentation of Relevance

London Borough of Richmond upon Thames;
'A Good Practice Guide on Basement Developments - May 2015'
'Basement Assessment User Guide'

5. CONCLUSION

The proposed alterations to the site are modest in nature and improve the living arrangements for current and future occupants of the property. The proposed changes respect the property and the context of its location. The proposals are considered to maintain a good level of amenity for existing and neighbouring residents and as such, the proposals are considered to be fully compliant with both the Local and National Planning Policies and Guidelines.

*RJHArchitecture and our client are devoted to ensuring a considered and appropriate development is proposed
and would welcome dialogue with the appointed Planning & Conservation Officer.*