

32 NASSAU ROAD

34 NASSAU ROAD

36 NASSAU ROAD

EXISTING CHIMNEY STACK TO BE REMOVED AND RELOCATED. PROPOSED BRICK CHIMNEY STACK WITH 3X POTS IS TO PROVIDE THE NECESSARY OUTLET FOR THE LOG BURNER FIREPLACES BELOW, WHICH REQUIRES A LOCALISED FLUE ROUTING TO THE ROOF LEVEL; PLEASE REFER TO THE ROOF PLAN AS PROPOSED FOR FURTHER INFORMATION.

CHIMNEY BREAST IS TO BE REINSTATED AT THE FRONT OF THE PROPERTY TO MATCH OTHERS ON NASSAU ROAD

OUR PROPOSAL SEEKS TO REMOVE THE LARGE FLASHING PARAPET PRESENT TO THE FRONT, SIDE EXTENSION AS EXISTING; OUR PROPOSAL SEEKS TO REBUILD THIS AREA WITH FACING BRICK TO MATCH THE HOST PROPERTY TO FURTHER IMPROVE THE OVERALL STREET FACING AESTHETIC OF THE PROPERTY. THE PROPOSAL SITS ONLY 165MM HIGHER THAN THE EXISTING UPPER LEVEL AND CIRCA. 450MM FROM THE EXISTING ROOF LEVEL - THIS FACILITATES AN IMPROVED, INSULATED FLAT ROOF CONSTRUCTION WITH A PARAPET PRESENT TO FULLY CONCEAL ANY FLAT ROOF LIGHTS BEYOND.

THE FRONT FACADE TO BE RAISED (PARAPET ONLY) IN BRICK TO MATCH THE AESTHETIC OF OTHERS ON NASSAU ROAD, FOR FURTHER INFORMATION PLEASE REFER TO THE PLANNING, DESIGN AND ACCESS STATEMENT WHICH INCLUDES PHOTOGRAPHIC REPORT.

EXISTING STORAGE & SECONDARY DOOR TO BE REPLACED WITH TIMBER DOORS DESIGNED TO BE MORE SYMPATHETIC TO THE STYLE OF THE HOUSE. A BRICK ARCH IS PROPOSED ABOVE THE TWO OPENINGS AS PER MANY OTHERS ON NASSAU ROAD TO SOFTEN AND IMPROVE THE AESTHETIC OF THIS AREA OF THE PROPERTY

EXISTING TIMBER FENCE IS TO BE REPLACED WITH A MASONRY WALL FINISHED TO THE SAME HEIGHT IN WHITE PAINTED RENDER, WITH COPING STONE TO MATCH THE EXISTING

PROPOSED FRONT LIGHTWELL TO PROVIDE NATURAL LIGHT AND VENTILATION TO THE LOWER GROUND FLOOR; THIS WILL BE FORMED WITH A MINIMUM UPSTAND FORMED OF 350MM AND FINISHED WITH A COPING STONE. THE UPSTAND WILL CONCEAL THE HORIZONTAL METAL GRILLE (PAINTED BLACK) TO MINIMISE ANY VISUAL IMPLICATION OF THIS INTERVENTION, SIMILAR TO THE RECENT PRECEDENT CONSENTED AT NO.20 NASSAU ROAD (19/0342/HOT). PLEASE SEE 'SECTION A AS PROPOSED' FOR FURTHER DETAILS.

THE PROPERTY IS LOCATED WITHIN FLOOD RISK ZONE 3 AND AS SUCH RELEVANT FLOOD RISK ASSESSMENT AND SUSTAINABLE URBAN DRAINAGE CONSIDERATIONS HAVE BEEN APPLIED TO THE DESIGN SOLUTION; PLEASE REFER TO THE 'FLOOD RISK AND SUSTAINABLE DRAINAGE ASSESSMENT REPORT' FROM CLANCY CONSULTING CONFIRMING MITIGATION, IMPROVEMENT AND COMPLIANCE FACTORS.

GLAZING IS PRESENT TO THE LIGHTWELL FACADE TO REPLICATE THE ARCHED FORM WITH BRONZE OR SIMILAR METAL FRAMED WINDOW SYSTEMS TO ENSURE VENTILATION AND NATURAL LIGHT TO THE INTERNAL SPACE.

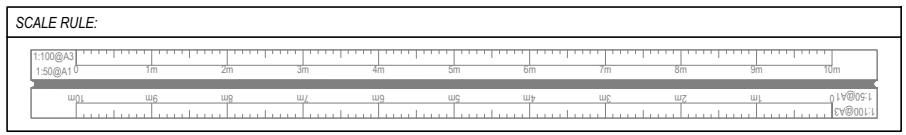
THE PROPOSED LIGHTWELL PARAPET IS SCREENED BY LOW SHRUBS PROPOSED TO BE PLANTED IN FRONT TO FURTHER CONCEAL IT FROM THE STREET IN ACCORDANCE WITH PRE-APPLICATION ADVICE.

ALL EXISTING WINDOWS TO THIS FACADE WILL BE REPLACED WITH DOUBLE-GLAZED, TIMBER (ACCOYA SUGGESTED) WITH PAINTED FINISH; ALL FENSTRATION AND AESTHETIC ARRANGEMENTS WILL BE REPLICATED TO ENSURE SUITABILITY.

EXISTING TIMBER FENCE WHICH SEPARATES THE TWO UNITS, IS TO BE REPLACED WITH A BRICK PARTY WALL TO BE FINISHED IN WHITE RENDER. PLEASE REFER TO THE 'SITE PLAN AND THE SIDE ELEVATION AS PROPOSED' FOR FURTHER INFORMATION

1 | FRONT ELEVATION AS PROPOSED  
02-21 | SCALE: 1:100 @ A3 / 1:50 @ A1

**DISCLAIMER:**  
Dimensions to be verified on site. Only figured dimensions to be used and any discrepancies in dimensions are to be reported to RJHA. No dimensions are to be scaled from printed drawings. Any areas indicated on this drawing are for guidance only. No responsibility is taken for their accuracy.  
There is a risk of injury or death in construction if works are not properly planned and supervised. The contractor must not undertake any elements of the work without first having carried out the necessary risk assessments and prepare detailed method statements.



**KEY:**

**NOTES:**

REV.	DESCRIPTION:	BY:	DATE:
P-	ISSUED FOR PLANNING	CM	01.07.2024

STAGE:  
**PLANNING**

<b>RICHARD JAMES HASTINGS ARCHITECTURE</b>			
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<b>Address</b>	34 NASSAU ROAD SW13 9QE		
<b>TITLE</b>	FRONT ELEVATION AS PROPOSED		
<b>DRAWING</b>	2313_02-21		
<b>REV.</b>	P-	<b>SCALE</b>	AS STATED
<b>STATUS</b>	PLANNING	<b>DRAWN</b>	CM
<b>DATE</b>	01.07.2024	<b>CHECKED</b>	RJH