



PROPOSED FORMATION OF A LOWER GROUND FLOOR LIGHTWELL WITH DUAL-SWEPT STAIRS TO REACH THE 'BRIDGE' ABOVE. THE TERRACE OVER WILL INCLUDE 'WALK-ON ROOF LIGHTS' TO ENSURE NATURAL LIGHT REACHES THE INTERNAL AREAS AT THIS FLOOR. EXTERNALLY THE LIGHTWELL WILL BE FINISHED WITH STONE PAVERS OR SIMILAR ON PEDESTAL SYSTEMS (IN ACCORDANCE WITH POSSIBLE FRA AND SUDS IMPROVEMENTS) AND INCLUDE AN EXTERNAL LOG BURNER FIREPLACE UNDER THE BRIDGE THAT CONNECTS THE GROUND FLOOR LIVING SPACES TO THE REAR GARDEN.

PROPOSED LOWER GROUND FLOOR EXTENSION TO FOLLOW THE FOOTPRINT OF THE PROPERTY AT GROUND FLOOR; THE PROPOSED EXTENSION IS NOT MORE THAN 50% OF THE EXISTING GARDEN OR OTHER UNDEVELOPED SPACE IN ALIGNMENT WITH POLICY LP11 OF THE LOCAL PLAN, PLEASE REFER TO THE ENCLOSED PLANNING, DESIGN AND ACCESS STATEMENT FOR THE FULL NUMERIC ANALYSIS ON THE EXTENSION.

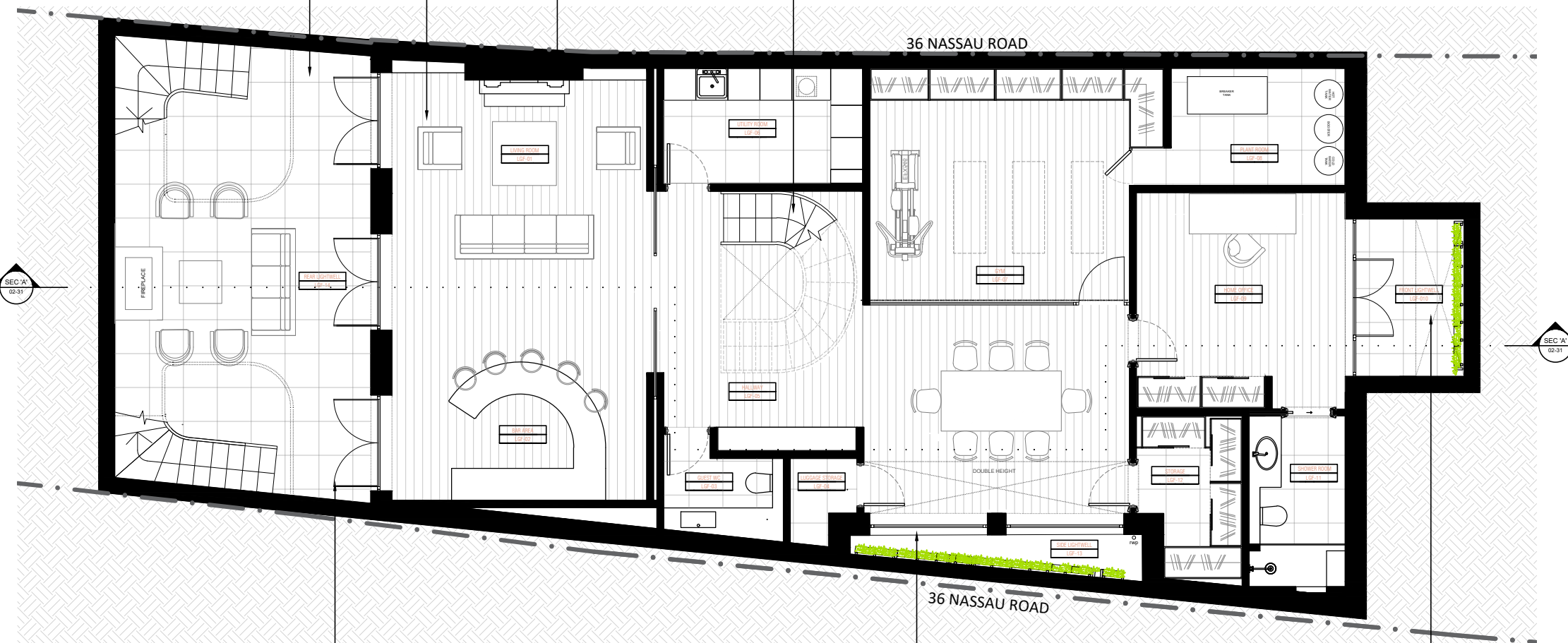
THE PROPERTY IS LOCATED WITHIN FLOOD RISK ZONE 3 AND AS SUCH RELEVANT FLOOD RISK ASSESSMENT AND SUSTAINABLE URBAN DRAINAGE CONSIDERATIONS HAVE BEEN APPLIED TO THE DESIGN SOLUTION; PLEASE REFER TO THE INITIAL INVESTIGATIVE REPORT FROM CLANCY CONSULTING AND SUBJECT TO POSITIVE PRE-APPLICATION ADVICE ON THE OVERARCHING PROPOSALS, ANY SUBSEQUENT APPLICATION WOULD BE ACCOMPANIED BY A FULL FLOOD RISK ASSESSMENT AND SUSTAINABLE URBAN DRAINAGE REPORT CONFIRMING MITIGATION, IMPROVEMENT AND COMPLIANCE FACTORS

PROPOSED FORMATION OF A REAR CHIMNEY BREASTS FOR THE LOWER GROUND AND GROUND FLOOR LOG BURNER FIREPLACES; THE FLUE ROUTE WOULD BE TAKEN TO THE REAR LIGHTWELL AND DISPELLED TO AVOID THE NEED FOR AN EXTERNAL STACK IN THIS POSITION.

INTERNALLY THE PROPOSAL SEEKS TO PROVIDE FAMILY ENTERTAINMENT AND FLEXIBLE SPACES TO PROVIDE THE GROWING FAMILY WITH THE DESIRED AMENITIES WHICH INCLUDE UTILITY, GYM, HOME OFFICE, STORAGE AND PLANT ROOM.

36 NASSAU ROAD

36 NASSAU ROAD



THE PROPOSED REAR ELEVATION AT THE LOWER GROUND FLOOR CONSISTS OF FACING BRICK DETAILS AND METAL-FRAMED FRENCH DOORS FINISHED IN 'BRONZE' OR SIMILAR; PLEASE REFER TO THE REAR ELEVATION FOR FURTHER DETAILS.

THE PROPOSAL SEEKS TO ADAPT THE EXISTING 'SIDE LIGHTWELL' TO BE A DOUBLE HEIGHT VOID SPACE EXTERNALLY PROVIDING ADDITIONAL NATURAL LIGHT TO THE LOWER GROUND FLOOR WITH A 'SET BACK' VOID INTERNALLY BEHIND THE GLAZING; THE GLAZING SEEKS TO REPLICATE THE ARCHED FORM WITH BRONZE OR SIMILAR METAL FRAMED WINDOW SYSTEMS. THE PROPOSAL SEEKS TO PROVIDE A 'GREEN WALL' TO THE BOUNDARY TO ENHANCE BIODIVERSITY AND IMPROVE THE INTERNAL 'OUTLOOK' VERSUS THE EXISTING ARRANGEMENT AT GROUND FLOOR CURRENTLY.

PROPOSED FRONT LIGHTWELL TO PROVIDE EXTERNAL AMENITY, NATURAL LIGHT AND VENTILATION TO THE HOME OFFICE; AT GROUND FLOOR LEVEL THIS WILL BE FORMED WITH A MINIMUM UPSTAND AND HORIZONTAL METAL GRILLE TO MINIMISE ANY VISUAL IMPLICATION OF THIS INTERVENTION, SIMILAR TO THE RECENT PRECEDENT CONSENTED AT NO.20 NASSAU ROAD (19/0342/HOT). PLEASE SEE 'SECTION A AS PROPOSED' FOR FURTHER DETAILS. THE LIGHTWELL AT LOWER GROUND FLOOR WOULD BE FINISHED IN WHITE-RENDER TO IMPROVE THE REFLECTIVITY OF NATURAL LIGHT.

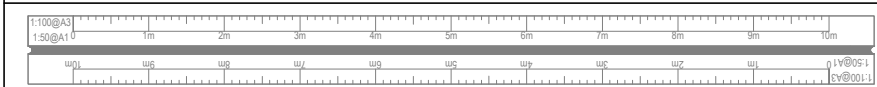
1 LOWER GROUND FLOOR PLAN AS PROPOSED

02-09 SCALE: 1:100 @ A3 // 1:50 @ A1

DISCLAIMER:

Dimensions to be verified on site. Only figured dimensions to be used and any discrepancies in dimensions are to be reported to RJHA. No dimensions are to be scaled from printed drawings. Any areas indicated on this drawing are for guidance only. No responsibility is taken for their accuracy. There is a risk of injury or death in construction if works are not properly planned and supervised. The contractor must not undertake any elements of the work without first having carried out the necessary risk assessments and prepare detailed method statements.

SCALE RULE:



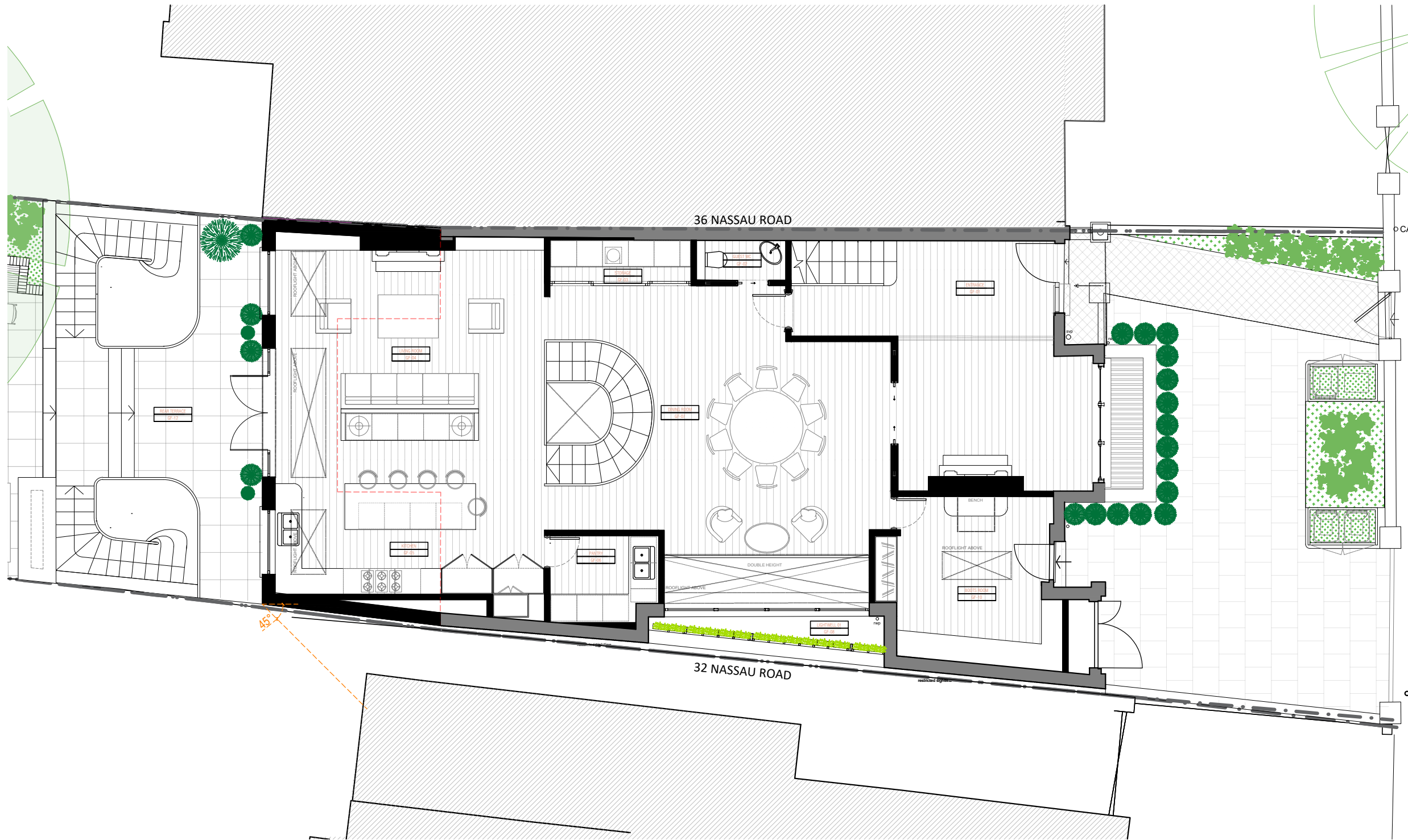
KEY:

- EXISTING WALL
- PROPOSED WALL
- WOODEN FLOOR
- STONE/TILE FLOOR

NOTES:

REV.	DESCRIPTION:	BY:	DATE:
PA-	ISSUED FOR PRE-APP	CM	01.12.2023
STAGE:			
PRE-APP			

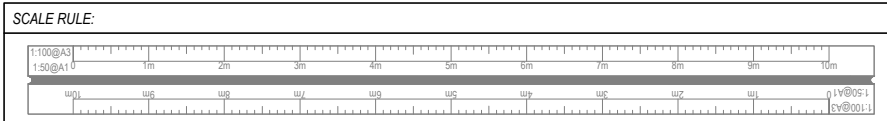
RICHARD JAMES HASTINGS ARCHITECTURE			
A: VICARAGE HOUSE, KENSINGTON CHURCH ST, W8 4DB E: CONTACT@RJHARCHITECTURE.COM			
Client	MR & MRS RICHARDS		
Address	34 NASSAU ROAD SW13 9QE		
TITLE LOWER GROUND FLOOR PLAN AS PROPOSED			
DRAWING	2313_02-09		
REV.	PA-	SCALE	AS STATED
STATUS	PRE-APP	DRAWN	CM
DATE	01.12.2023	CHECKED	RJH



1 GROUND FLOOR PLAN AS PROPOSED

02-10 SCALE: 1:100 @ A3 // 1:50 @ A1

DISCLAIMER:
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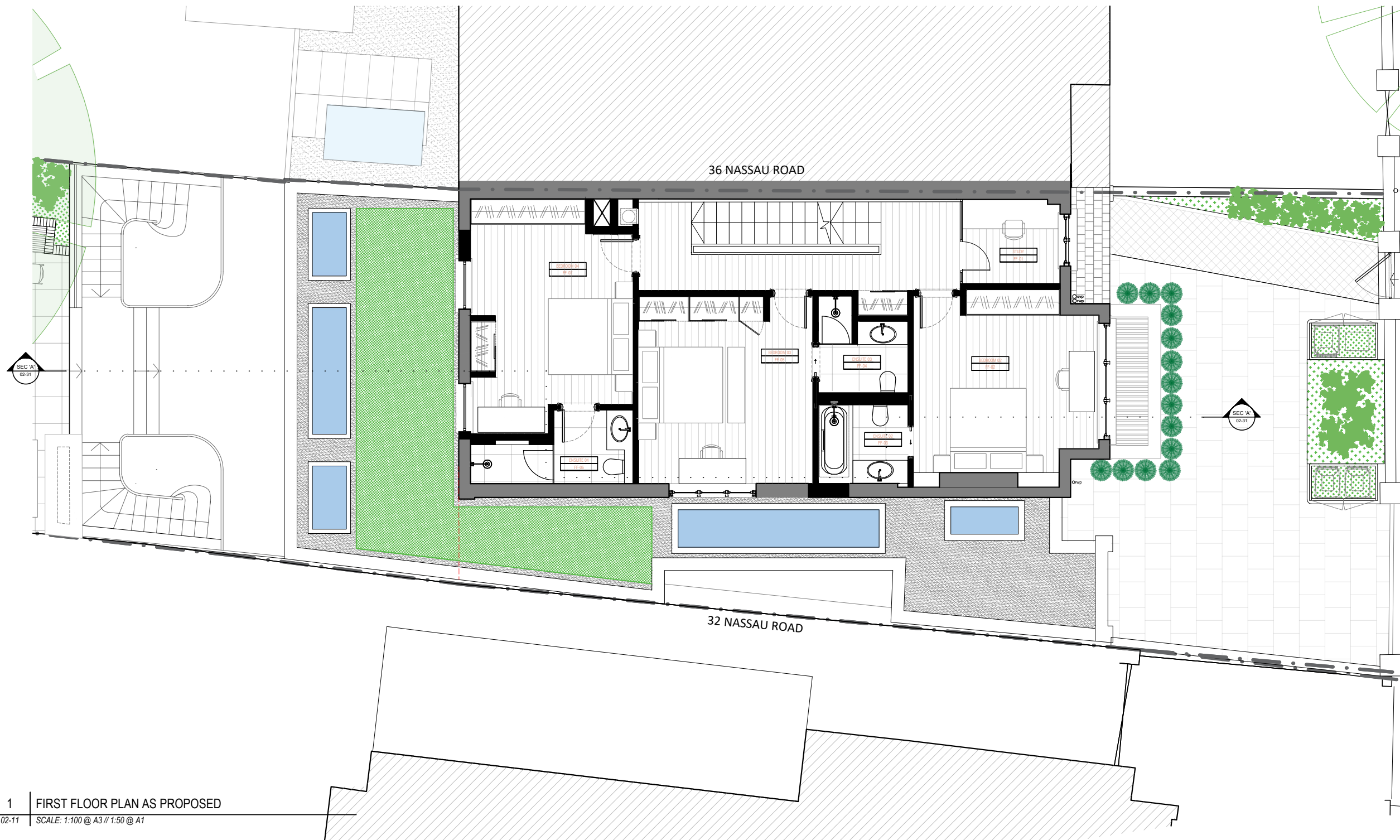
KEY:

NOTES:

REV.	DESCRIPTION:	BY:	DATE:
P-	ISSUED FOR PLANNING	CM	16.07.2024

STAGE:
PLANNING

RICHARD JAMES HASTINGS ARCHITECTURE			
A: VICARAGE HOUSE, KENSINGTON CHURCH ST, W8 4DB E: CONTACT@RJHARCHITECTURE.COM			
Client	MR & MRS RICHARDS		
Address	34 NASSAU ROAD SW13 9QE		
TITLE	GROUND FLOOR PLAN AS PROPOSED		
DRAWING	2313_02-10		
REV.	P-	SCALE	AS STATED
STATUS	PLANNING	DRAWN	CM
DATE	16.07.2024	CHECKED	RJH



1 | FIRST FLOOR PLAN AS PROPOSED
02-11 | SCALE: 1:100 @ A3 // 1:50 @ A1

DISCLAIMER:
Dimensions to be verified on site. Only figured dimensions to be used and any discrepancies in dimensions are to be reported to RJHA. No dimensions are to be scaled from printed drawings. Any areas indicated on this drawing are for guidance only. No responsibility is taken for their accuracy.
There is a risk of injury or death in construction if works are not properly planned and supervised. The contractor must not undertake any elements of the work without first having carried out the necessary risk assessments and prepare detailed method statements.

SCALE RULE:

KEY:

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NOTES:

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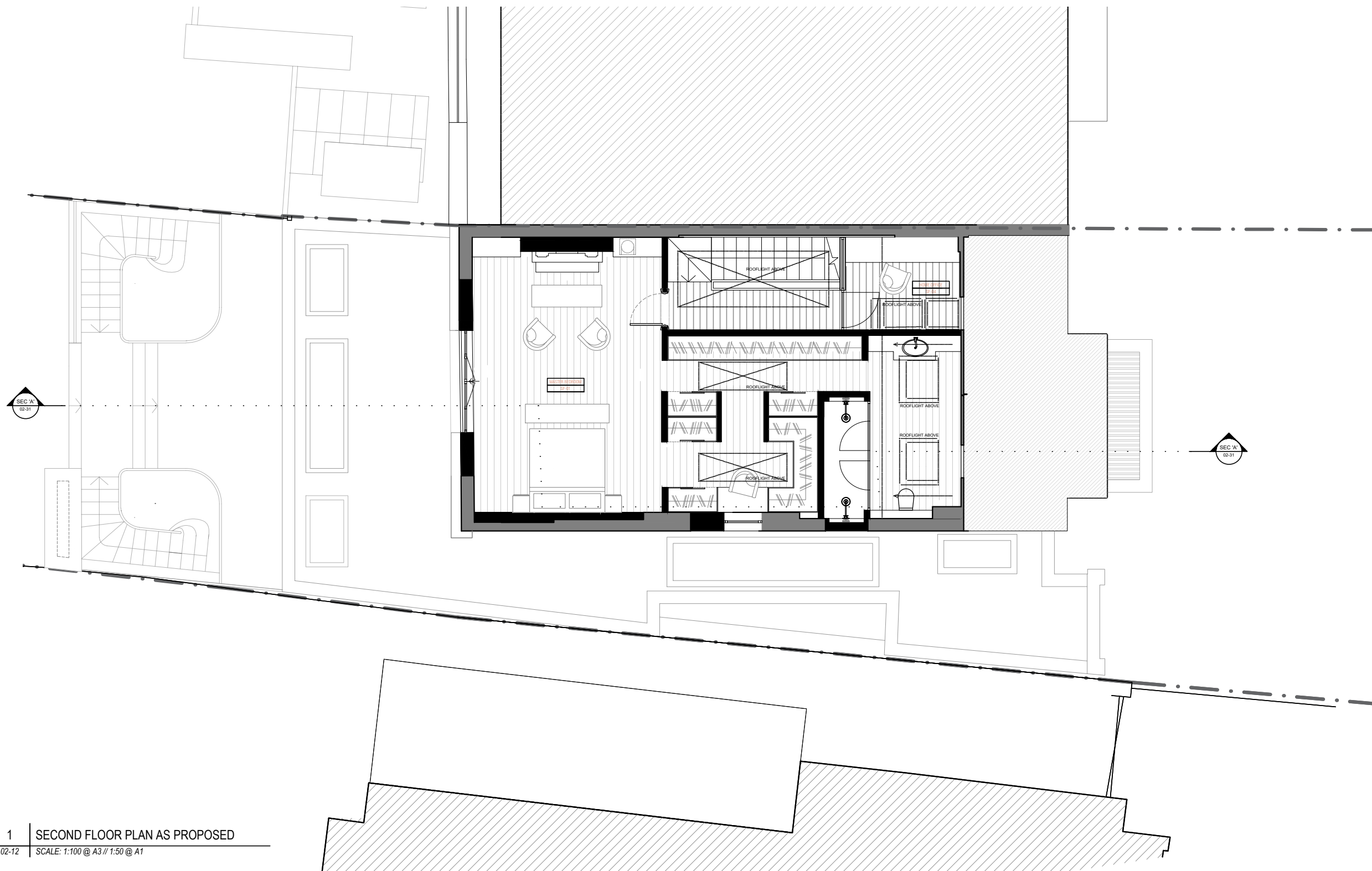
REV.	DESCRIPTION:	BY:	DATE:
P-	ISSUED FOR PLANNING	CM	16.07.2024

STAGE:

PLANNING

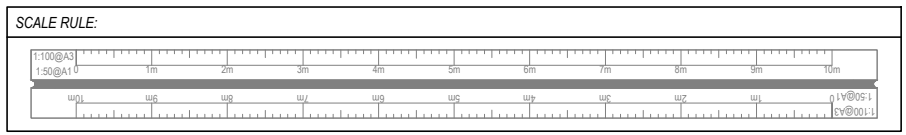
RICHARD JAMES HASTINGS ARCHITECTURE
A: VICARAGE HOUSE, KENSINGTON CHURCH ST, W8 4DB
E: CONTACT@RJHARCHITECTURE.COM

Client	MR & MRS RICHARDS		
Address	34 NASSAU ROAD SW13 9QE		
TITLE	FIRST FLOOR PLAN AS PROPOSED		
DRAWING	2313_02-11		
REV.	P-	SCALE	AS STATED
STATUS	PLANNING	DRAWN	CM
DATE	16.07.2024	CHECKED	RJH



1 | SECOND FLOOR PLAN AS PROPOSED
 02-12 | SCALE: 1:100 @ A3 // 1:50 @ A1

DISCLAIMER:
 Dimensions to be verified on site. Only figured dimensions to be used and any discrepancies in dimensions are to be reported to RJHA. No dimensions are to be scaled from printed drawings. Any areas indicated on this drawing are for guidance only. No responsibility is taken for their accuracy.
 There is a risk of injury or death in construction if works are not properly planned and supervised. The contractor must not undertake any elements of the work without first having carried out the necessary risk assessments and prepare detailed method statements.



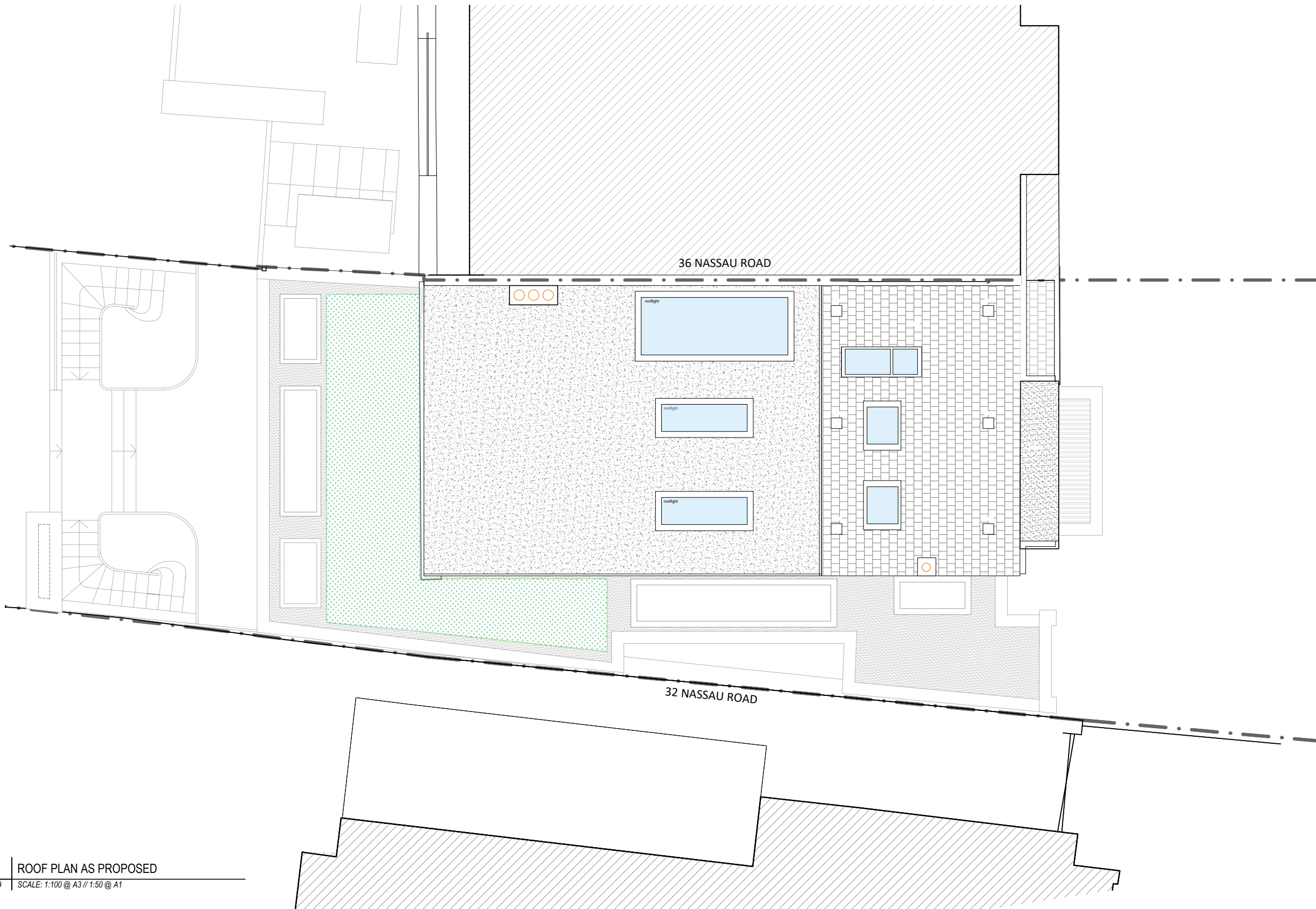
KEY:

NOTES:

REV.	DESCRIPTION:	BY:	DATE:
P-	ISSUED FOR PLANNING	CM	16.07.2024

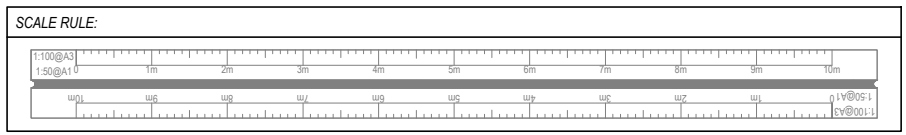
STAGE:
PLANNING

RICHARD JAMES HASTINGS ARCHITECTURE			
A: VICARAGE HOUSE, KENSINGTON CHURCH ST, W8 4DB E: CONTACT@RJHARCHITECTURE.COM			
Client	MR & MRS RICHARDS		
Address	34 NASSAU ROAD SW13 9QE		
TITLE	SECOND FLOOR PLAN AS PROPOSED		
DRAWING	2313_02-12		
REV.	P-	SCALE	AS STATED
STATUS	PLANNING	DRAWN	CM
DATE	16.07.2024	CHECKED	RJH



1 | ROOF PLAN AS PROPOSED
 02-19 | SCALE: 1:100 @ A3 // 1:50 @ A1

DISCLAIMER:
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KEY:

NOTES:

REV.	DESCRIPTION:	BY:	DATE:
P-	ISSUED FOR PLANNING	CM	16.07.2024

STAGE:
PLANNING

RICHARD JAMES HASTINGS ARCHITECTURE			
A: VICARAGE HOUSE, KENSINGTON CHURCH ST, W8 4DB E: CONTACT@RJHARCHITECTURE.COM			
Client	MR & MRS RICHARDS		
Address	34 NASSAU ROAD SW13 9QE		
TITLE	ROOF PLAN AS PROPOSED		
DRAWING	2313_02-19		
REV.	P-	SCALE	AS STATED
STATUS	PLANNING	DRAWN	CM
DATE	16.07.2024	CHECKED	RJH

Appendix B – EA Flood Report & Peak Rainfall Climate Change Allowance

Flood map for planning

Your reference
<Unspecified>

Location (easting/northing)
521780/176563

Created
25 Sep 2023 12:09

**Your selected location is in flood zone 3
– an area with a high probability of flooding.**

This means:

- you may need to complete a flood risk assessment for development in this area
- you should ask the Environment Agency about the level of flood protection at your location and request a Flood Defence Breach Hazard Map (You can email the Environment Agency at: enquiries@environment-agency.gov.uk)
- you should follow the Environment Agency's standing advice for carrying out a flood risk assessment (find out more at www.gov.uk/guidance/flood-risk-assessment-standing-advice)

Notes

The flood map for planning shows river and sea flooding data only. It doesn't include other sources of flooding. It is for use in development planning and flood risk assessments.

This information relates to the selected location and is not specific to any property within it. The map is updated regularly and is correct at the time of printing.

Flood risk data is covered by the Open Government Licence which sets out the terms and conditions for using government data. <https://www.nationalarchives.gov.uk/doc/open-government-licence/version/3/>

Use of the address and mapping data is subject to Ordnance Survey public viewing terms under Crown copyright and database rights 2022 OS 100024198. <https://flood-map-for-planning.service.gov.uk/os-terms>






Flood map for planning

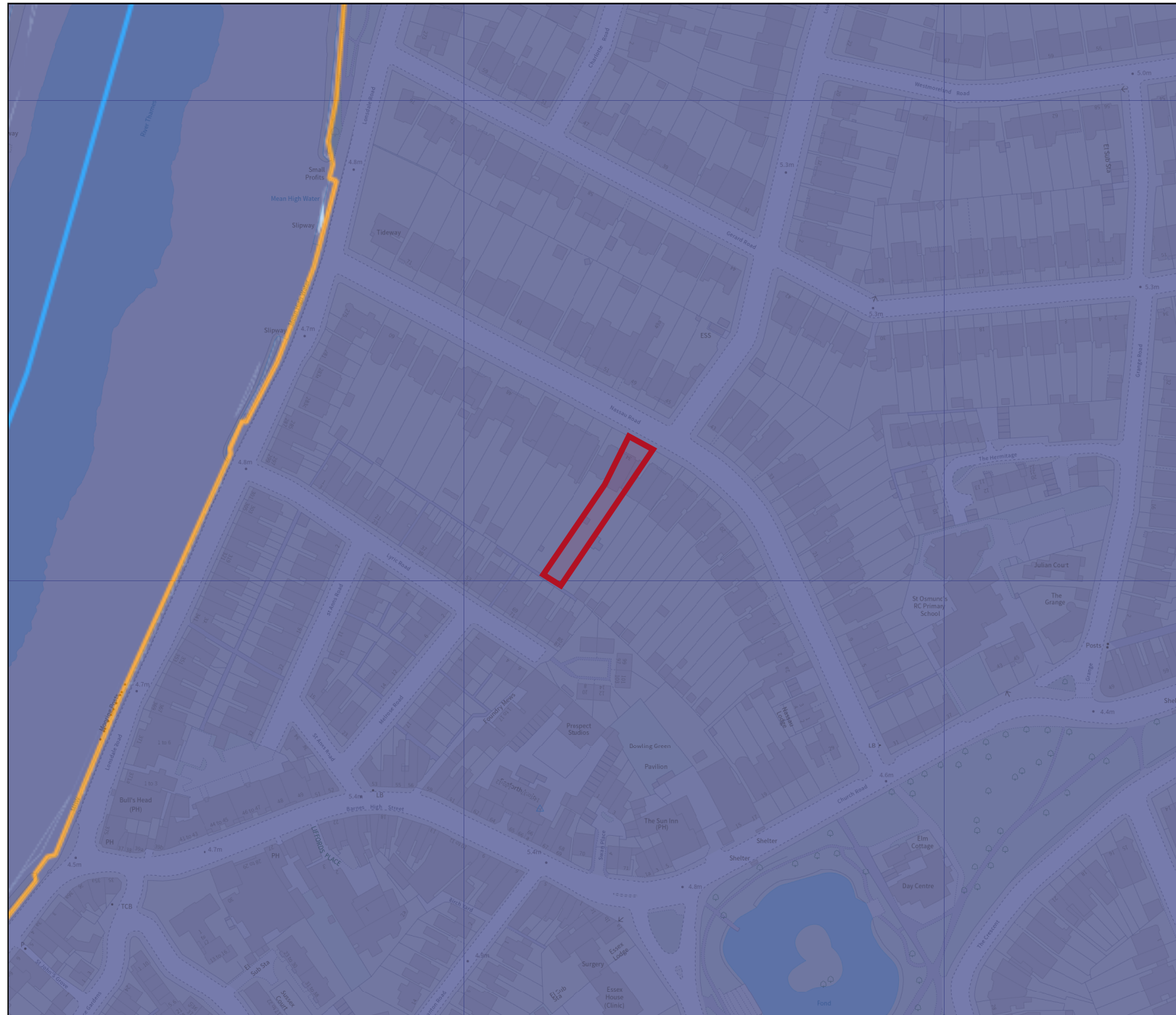
Your reference
<Unspecified>

Location (easting/northing)
521780/176563

Scale
1:2500

Created
25 Sep 2023 12:09

-  Selected area
-  Flood zone 3
-  Flood zone 2
-  Flood zone 1
-  Flood defence
-  Main river
-  Water storage area



Product 4 (Detailed Flood Risk) for: 34 Nassau Road, SW13 9QE

Requested by: Charlie Neville/Clancy Consultancy

Reference: KSL 324368 LMB

Date: 27/09/2023

Contents

- Flood Map for Planning (Rivers and Sea)
- Flood Map Extract
- Thames Estuary 2100 (TE2100)
- Thames Tidal Upriver Breach Inundation Modelling 2017
- Site Node Locations Map
- Defence Details
- Recorded Flood Events Data
- Recorded Flood Events Outlines Map
- Additional Information

The information provided is based on the best data available as of the date of this letter.

You may feel it is appropriate to contact our office at regular intervals, to check whether any amendments/ improvements to the data for this location have been made. Should you re-contact us after a period of time, please quote the above reference in order to help us deal with your query.

Please refer to the [Open Government Licence](#) which explains the permitted use of this information.

Flood Map for Planning (Rivers and Sea)

The Flood Map:

Our Flood Map shows the natural floodplain for areas at risk from river and tidal flooding. The floodplain is specifically mapped ignoring the presence and effect of defences (including any tidal barriers). Although flood defences reduce the risk of flooding they cannot completely remove that risk as they may be over topped or breached during a flood event.

The Flood Map indicates areas with a 1% (0.5% in tidal areas), Annual Exceedance Probability (AEP) - the probability of a flood of a particular magnitude, or greater, occurring in any given year, and a 0.1% AEP of flooding from rivers and/or the sea in any given year. In addition, the map also shows the location of some flood defences.

The Flood Map is intended to act as a guide to indicate the potential risk of flooding. When producing it we use the best data available to us at the time and also take into account historic flooding and local knowledge. The Flood Map is updated on a quarterly basis to account for any amendments required. These amendments are then displayed on the internet at <https://www.gov.uk/check-flood-risk>

At this Site:

The Flood Map shows that this site lies within the outline of Flood Zone 3. This zone comprises land assessed as having a 0.5% (1 in 200) or greater annual probability of tidal flooding.

Enclosed is an extract of our Flood Map which shows this information for your area.

Method of production

The Flood Map at this location has been derived using detailed modelling of the tidal River Thames through the Thames Tidal Defences Study completed in 2006 by Halcrow Ltd.

Thames Estuary 2100 (TE2100)

You have requested in-channel flood levels for the tidal river Thames. These have been taken from the Thames Estuary 2100 study completed by HR Wallingford in 2008. The modelled node closest to your site is **2.18**; the locations of nearby nodes are also shown on the enclosed map.

Details about the TE2100 plan

The Plan sets out how the Environment Agency and our partners can work together to manage tidal flood risk, from now until the end of the century. The Plan covers the Thames Estuary from Teddington in the west to the mouth of the estuary at Shoeburyness (north bank) and Sheerness (south bank) in the east. It is an adaptive plan for managing the estuary, including the tidal defence system, until 2100 so that current standards of flood protection are maintained or improved taking into account climate change effects e.g. sea level rise. The Plan has 3 phases of activity:

- Until 2035 – maintain and improve current defences, safeguard areas required for future improvements, and monitor climate change indicators.
- 2035-2050 – raise existing walls, defences & smaller barriers whilst reshaping the riverside environment.
- 2050-2100 – determine and implement an option for the future of the Thames Barrier, and adapt other defences as required to work alongside this to protect the estuary.

The Thames Estuary 2100 Plan can be found at: <https://www.gov.uk/government/publications/thamesestuary-2100-te2100>

Details about the TE2100 in-channel levels

The TE2100 in-channel levels take into account operation of the Thames Barrier when considering future levels. The Thames Barrier requires regular maintenance and with additional closures the opportunity for maintenance will be reduced. When this happens, river levels – for which the Barrier would normally shut for the 2008 epoch – will have to be allowed through to ensure that the barrier is not shut too often. For this reason, levels upriver of the barrier will increase and the tidal walls will need to be raised to match.

Why is there no return period for levels upriver of the barrier?

The levels upriver of the barrier are the highest levels permitted by the operation of the Thames Barrier. If levels and flows are forecast to be any higher, the Thames Barrier would shut, ensuring that the tide is blocked and the river maintained to a low level. For this reason the probability of any given water level upriver of the Barrier is controlled and therefore any associated return period becomes irrelevant. The Thames Barrier and associated defence system has a 1 in 1000 year standard which means it ensures that flood risk is managed up to an event that has a 0.1% annual probability. The probability of water levels upriver is ultimately controlled by the staff at the Thames Barrier.

Why are the levels in west London higher than the defence crest levels?

In west London there is a heavy influence from upriver flows (fluvial flows). The flood defences are built to manage tidal flood risk only. With very high fluvial flows, the river levels in west London could be above the 0.1% annual probability tidal level.

Why are the climate change/future west London levels lower than the 2008 levels?

The climate change levels are assessed to determine the future tidal defence levels. For this reason they only account for extreme tidal events and not extreme fluvial flow events. The 2008 levels include extreme flows from upriver (fluvial events) as well as extreme tidal events.

For further information about the Thames Barrier please visit our website at:

<https://www.gov.uk/the-thames-barrier>

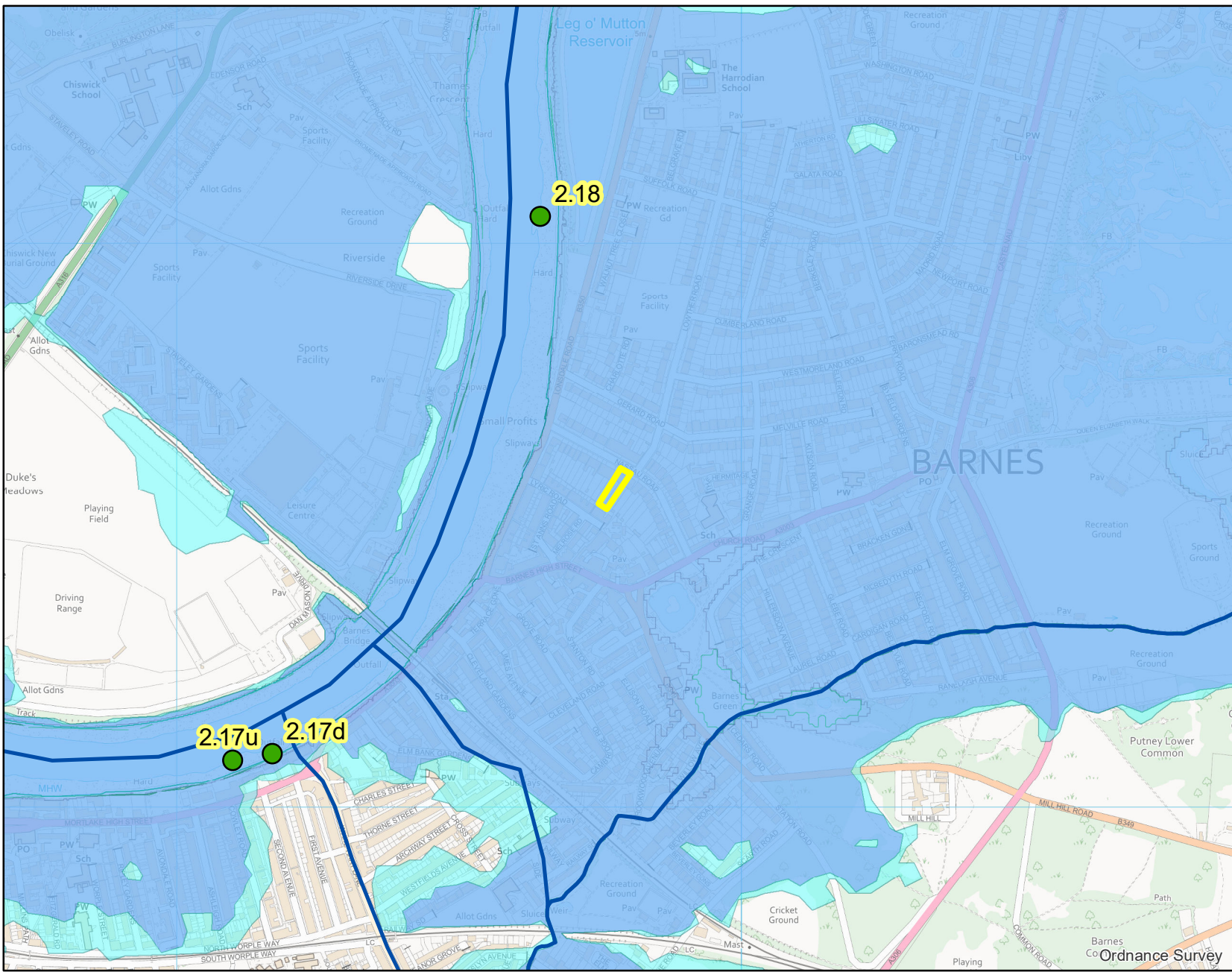
Where to find the in-channel levels and defence crest level data from the 2008 TE2100 study

The TE2100 in-channel levels and defence crest levels documents can be downloaded from ShareFile at the following link:

<https://ea.sharefile.com/d-s5e564014724448219331e780c91c4ac2>

- Upriver of the Thames Barrier – is detailed within Table 6.1 (page 44) of the document titled '*Thames Estuary 2100, Improvements to Flood Risk Management System, Design Water Levels and Future Defence Crest Levels, May 2015*'.
- Downriver of the Thames Barrier is detailed within Table 7.1 (page 56) of the document titled '*Thames Estuary 2100, Improvements to Flood Risk Management System, Design Water Levels and Future Defence Crest Levels, May 2015*'. Defence raising for other barrier options can also be found in the document titled '*Thames Estuary 2100, Phase 3 Studies, Topic 1.5, Phase 3 Set 2 Estuary Wide Options Hydraulic modelling, December 2008*'

Detailed FRA Map centred on SW13 9QE created 27/09/2023 [Ref: KSL 326368 LMB]



Scale 1: 10,000



Legend

- █ Site
- █ Main Rivers
- TE2100 Model Nodes
- Flood Map - Flood Zone 3
- Flood Map - Flood Zone 2

Flood Map for Planning (assuming no defences)

Flood Zone 3 shows the area that could be affected by flooding:

- from the sea with a 0.5% or greater chance of occurring each year
- or from a river with a 1% or greater chance of occurring each year.

Flood Zone 2 shows the extent of an extreme flood from rivers or the sea with up to a 0.1% chance of occurring each year.

Thames Tidal Upriver Breach Inundation Modelling - 2017

The table below displays site-specific modelled flood levels at your site. These have been taken from the Thames Tidal Upriver Breach Inundation Modelling Study 2017 completed by Atkins Ltd. in May 2017.

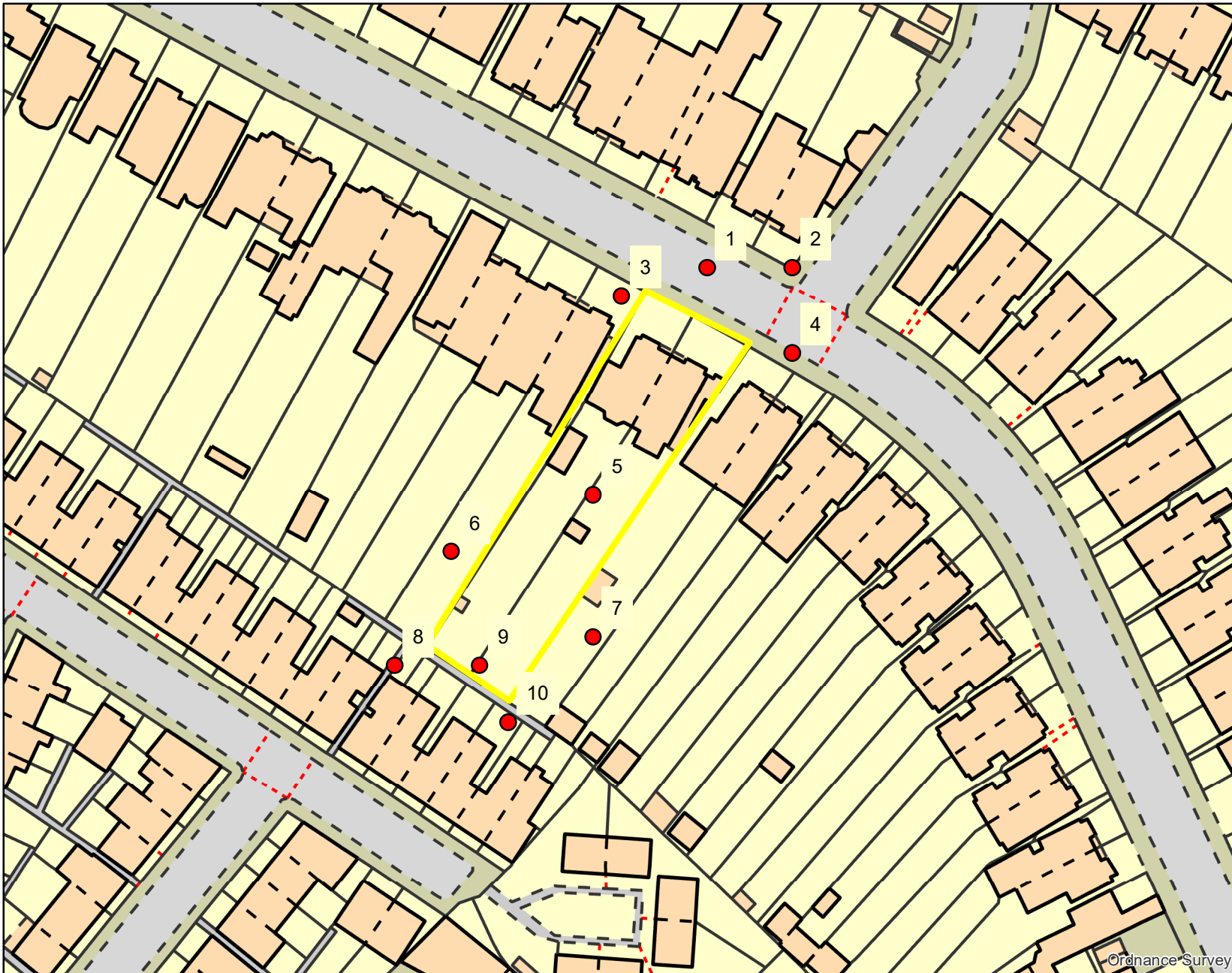
We have developed a modelling approach where all upriver breach locations along the Thames are equitably modelled, to ensure a consistent approach across London. This modelling simulates 5679 continuous tidal breaches along the entire extent of the Thames from Teddington to the Thames Barrier. For hard and composite defences breaches are set at 20 m wide; for soft defences, breaches are 50 m wide. In both cases, the defence breach scour distance was assumed to extend into the floodplain by the same distance as the breach width.

For breaches upriver of the Thames Barrier, there is no return period for modelled levels as the levels are controlled by barrier closures. The levels used are referred to as Maximum Likely Water Levels (MLWLs). Therefore 2014 and 2100 epochs were modelled on that basis.

This model has been designed for catchment wide flood risk mapping. It should be noted that it was not created to produce flood levels for specific development sites within London.

Node	National Grid Reference		Modelled levels in mAODN for Max Likely Water Level	
	Easting	Northing	2014	2100
1	521797	176605	5.00	5.44
2	521812	176605	5.01	5.40
3	521782	176600	5.03	5.46
4	521812	176590	4.94	5.39
5	521777	176565	4.85	5.36
6	521752	176555	4.85	5.36
7	521777	176540	4.85	5.35
8	521742	176535	4.85	5.36
9	521757	176535	4.85	5.37
10	521762	176525	4.85	5.36

2D Node Map centred on SW13 9QE created 27/09/2023 [Ref: KSL 326368 LMB]



Scale 1: 1,000

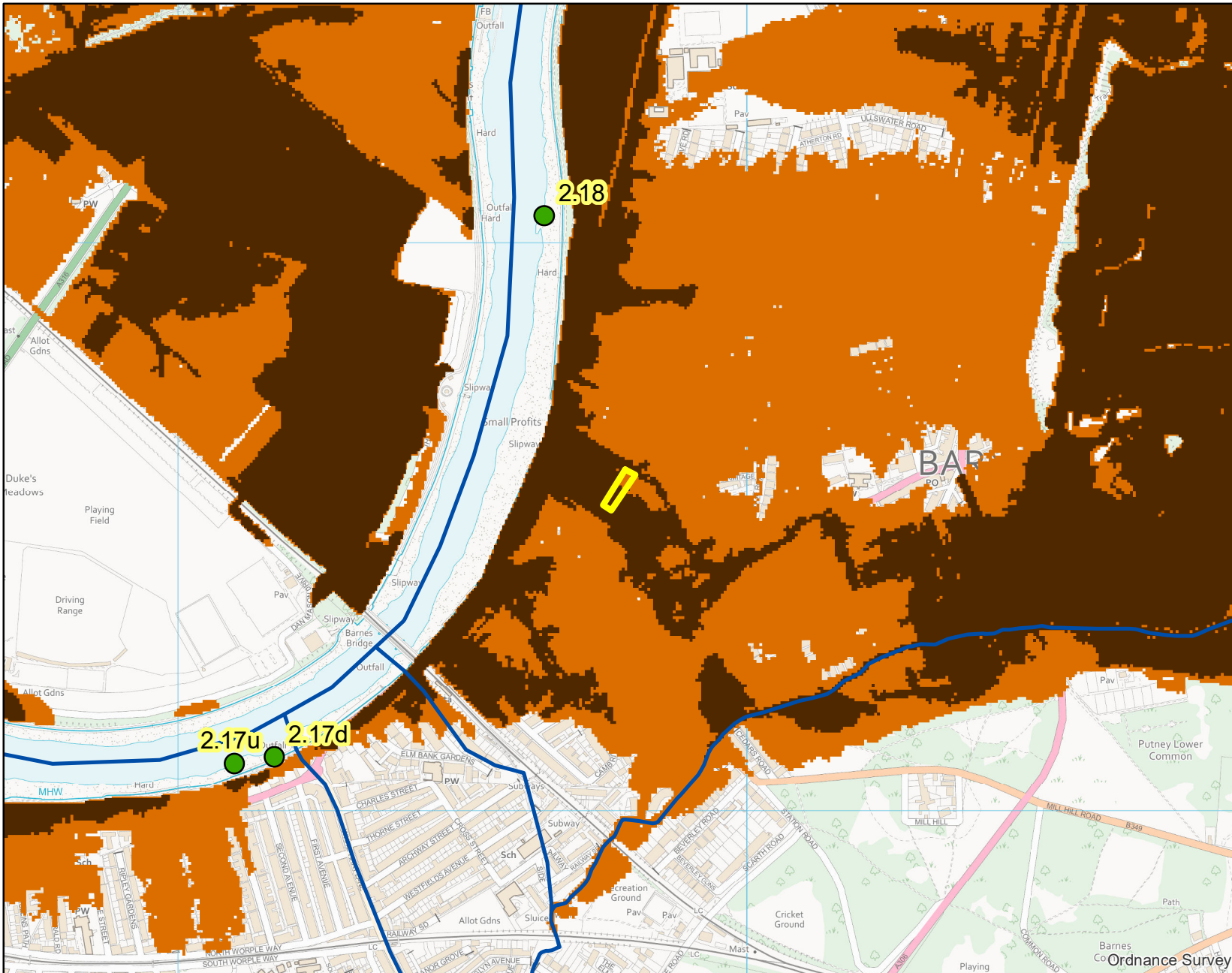


Legend

- 2D_Nodes
- Site
- Main Rivers

Ordnance Survey

Breach Inundation Map centred on SW13 9QE created 27/09/2023 [Ref: KSL 326368 LMB]



Scale 1: 10,000



Legend

- ▬ Site
- ▬ Main Rivers
- TE2100 Model Nodes

Upriver MLWL Breach Inundation

Epoch

- 2014
- 2100

Thames Tidal Upriver Breach Inundation Modelling 2017

A modelled representation of all upriver tidal breach locations along the Thames from Teddington to the Thames Barrier, based on low floodplain topography. For hard and composite defences breaches are set at 20 m wide; for soft defences, breaches are 50 m wide. In both cases, the defence breach scour distance was assumed to extend into the floodplain by the same distance as the breach width. The modelling is based on the 2008 TE2100 in-channel levels, with an allowance for climate change for epoch 2100.

Defence Details

The design standard of protection of the flood defences in this area of the Thames is 0.1% AEP; they are designed to defend London up to a 1 in 1000 year **tidal** flood event. The defences are all raised, man-made and privately owned. It is the riparian owners' responsibility to ensure that they are maintained to a crest level of 5.94 m AODN (the Statutory Flood Defence Level in this reach of the Thames). Information relating the TE2100 Plan and any future defence crest levels can be found on ShareFile at following link: <https://ea.sharefile.com/d-s5e564014724448219331e780c91c4ac2>

For more information on your rights and responsibilities as a riparian owner, please see our document 'Living on the edge' found on our website at: <https://www.gov.uk/government/publications/riverside-ownership-rights-and-responsibilities>

Areas Benefiting from Flood Defences

The Environment Agency has taken the decision to retire this dataset and remove it from the Flood Map for Planning portal. This is because we have determined that it no longer meets the customer needs and creates a false sense of security for users.

To understand the long-term risk of flooding to an area, you can use the [Check Your Long Term Flood Risk portal](#): this will provide an understanding of flood risk from rivers and sea, taking into account the presence and condition of defences, and other sources of flood risk such as from surface water and reservoirs.

Recorded Flood Events Data

We hold records of historic flood events from rivers and the sea. Information on the floods that may have affected the area local to your site is provided below and in the enclosed map (if relevant).

Flood Event Data

We do not hold records of historic flood events from rivers and/or the sea affecting the area local to this site. However, please be aware that this does not necessarily mean that flooding has not occurred here in the past, as our records are not comprehensive.

Due to the fact that our records are not comprehensive, we would advise that you make further enquiries locally with specific reference to flooding at this location. You should consider contacting the relevant Local Planning Authority and/or water/sewerage undertaker for the area.

We map flooding to land, not individual properties. Our historic flood event record outlines are an indication of the geographical extent of an observed flood event. Our historic flood event outlines do not give any indication of flood levels for individual properties. They also do not imply that any property within the outline has flooded internally.

Please be aware that flooding can come from different sources. Examples of these are:

- from rivers or the sea;
- surface water (i.e. rainwater flowing over or accumulating on the ground before it is able to enter rivers or the drainage system);
- overflowing or backing up of sewer or drainage systems which have been overwhelmed,
- groundwater rising up from underground aquifers

Currently the Environment Agency can only supply flood risk data relating to the chance of flooding from rivers or the sea. However you should be aware that in recent years, there has been an increase in flood damage caused by surface water flooding and drainage systems that have been overwhelmed.

Additional Information

Information Warning - OS background mapping

The mapping of features provided as a background in this product is © Ordnance Survey. It is provided to give context to this product. The Open Government Licence does not apply to this background mapping. You are granted a non-exclusive, royalty free, revocable licence solely to view the Licensed Data for non-commercial purposes for the period during which the Environment Agency makes it available. You are not permitted to copy, sub-license, distribute, sell or otherwise make available the Licensed Data to third parties in any form. Third party rights to enforce the terms of this licence shall be reserved to OS.

Environment Agency planning guidance and pre application service

- Planning Practice Guidance_ provides information about planning considerations in areas at risk of flooding. <https://www.gov.uk/guidance/flood-risk-and-coastal-change>
- Planning applications: assessing flood risk - information about completing Flood Risk Assessments. <https://www.gov.uk/planning-applications-assessing-flood-risk>
- Site specific flood risk assessment: Checklist_ a checklist to help ensure you have considered all the relevant factors in your flood risk assessment. <http://planningguidance.planningportal.gov.uk/blog/guidance/flood-risk-and-coastal-change/site-specific-flood-risk-assessment-checklist/>
- Climate change allowance guidance <https://www.gov.uk/guidance/flood-risk-assessments-climate-change-allowances>

We recommend that you discuss your proposals with the Local Planning Authority at the earliest opportunity. They will be able to advise you on a wide range of planning matters in addition to flood risk.

Please see our website for details on how to get planning advice, including charged-for discretionary advice, from the Environment Agency <https://www.gov.uk/guidance/developers-get-environmental-advice-on-your-planning-proposals#when-to-consult>. Our planning team can be contacted at kslplanning@environment-agency.gov.uk

You should also consult the Strategic Flood Risk Assessment and flood risk local plan policies produced by your local planning authority.

You should note that:

1. Information supplied by the Environment Agency may be used to assist in producing a Flood Risk Assessment where one is required, but does not constitute such an assessment on its own.

2. This information covers flood risk from main rivers and the sea, and you will need to consider other potential sources of flooding, such as groundwater or overland runoff. You should discuss surface water management with your Lead Local Flood Authority.
3. Where a planning application requires a FRA and this is not submitted or deficient, the Environment Agency may well raise an objection due to insufficient information