

**1 Mark Street  
Reigate, Surrey, RH2 0BL  
Telephone: 01737 244886**

**E-mail: [engs@blacker.co.uk](mailto:engs@blacker.co.uk)**

**CONSTRUCTMENT MANAGEMENT PLAN**

**FOR**

**REFURBISHMENT AND REAR EXTENSIONS**

**AT**

**33 LONSDALE ROAD  
BARNES, LONDON SW13**

Prepared by Michael S Blacker C Eng FStruct E.

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- 4. CONTAINMENT OF DUST AND SITE CLEANING**
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- 4. BOREHOLE LOG**
- 5. GROUND STABILITY REPORT.**

## **1.0 INTRODUCTION**

- 1.1 This method statement has been prepared on behalf of The Riverside Trust in connection with the complete refurbishment of the property and construction of a rear single storey extension and an extension to the rear of the coach house. Modification of the attic space and the construction of a rear facing dormer to 33 Lonsdale Road, London SW13 9JP
- 1.2 This method statement is based on the drawings of A2 Intergraph. The existing drawings are in my appendix 1 and the proposed drawings are in my appendix 2.
- 1.3 The Structural design with full working drawings and supporting calculations will be produced by the Michael Blacker Partnership

## **2.0 PROJECT SUMMARY**

- 2.1 33 Lonsdale Road is a substantial two storey property with a small basement on the right-hand side. On the left-hand side there is a two-storey attached coach house.
- 2.2 There is public parking available in the local area but with time restrictions.
- 2.3 The property has a large frontage which will allow limited off street parking and for storing of materials.

## **3.0 SETTING UP THE SITE**

- 3.1 The property will not be occupied during the works. A hoarding will be erected across the front garden just behind the dwarf wall but its position will vary to suit the existing trees which are to be retained. The hoarding will return down the inside of the left-hand garden wall. It will not extend down the right-hand boundary so as not to damage the trees. The hoarding will have a height of 2400mm and be painted blue or another colour to suit the Council's requirements. Access doors will be created on the left-hand side to allow for delivery vehicles to enter the site and unload. There will be an opening on the right-hand side for entry and exit of small vehicles and cars. All gate will open inwards to prevent them blocking the pavement.
- 3.2 Some materials will be stored in the front area. However, an access/egress way through to the rear garden will be temporally created through the coach house.

- 3.3 On the left-hand side there will be 10m<sup>3</sup> skip during the demolition phase and the excavation for the new foundations at the rear of the property. The skip lorry will have a banksman, to ensure public safety, and will reverse into the site and drive out forward.
- 3.4 Excavated materials will be brought through to the front of the property, through the coach house, and then loaded into the skip. See Michael Blacker Partnership plan 4885/TO1 in appendix 3.
- 3.5 The material will be damped down, from time to time, to minimise dust. If the skip is to be left for any length of time, including overnight, it is to be covered with suitable sheeting.
- 3.6 The hoarding will be placed in the position shown on drawing 4885/TO1 or in another adjacent position as may be required by the Council. The hoarding is to be painted blue or any other colour that may be required by the Council. The drawing is attached in my appendix 3.
- 3.7 The front hoarding is to have signs and notices clearly placed on it to make it visible and to comply with health and safety requirements
- 3.8 Water will be taken via the existing incoming water main
- 3.9 A new temporary electricity supply will be put in place with a separate meter to suit the requirements of the contractor.

#### **4.0 CONTAINMENT OF DUST AND SITE CLEANING**

- 4.1 The borehole, taken as part of the soil investigation, shows some top soil and then Kempton Park gravel with some sand. Therefore, the excavated material should not produce great quantities of dust. The borehole log is shown in my appendix 4.
- 4.2 Most excavated material will be taken out to the rear of the property where it will initially be stored and then transported to the front, through the coach house, and then, via the conveyor, to the skip.
- 4.3 All excavated material is to be put in spoil heaps. These heaps are to be damped down from time to time to prevent dust flying. If the heap is to be left overnight it is to be covered with suitable sheeting.
- 4.4 Vehicles will only be at the front of the building. It is therefore unlikely that they, and in particular their wheels, will require on site washing.

cont/d....

## **5.0 DRAINAGE**

### Surface Water

- 5.1 As can be seen from the borehole taken on the site from 1200mm deep there is Kempton Park gravel with some silty sand. There are therefore two options for the surface water.
- a. Option 1  
The surface water drainage can continue to drain into the existing system which runs down the right-hand side of the property.
- b. Option 2  
The surface water could, if required by the Council, run to new soakaways at the front and rear of the property.

### Foul Drainage

- 5.2 The borehole taken did not strike water until 3.5m. It is therefore unlikely that the foul drainage system will encounter water while it is being constructed.
- 5.3 The existing foul drainage runs down the right-hand side of the property. However, a new Utility Room, toilet with a wash hand basin is to be put into the existing lower Ground floor. The drainage will therefore be below the invert level of the existing manhole. The toilet will be served by a macerator running to a new manhole in the utility room and then be pumped up to the existing manhole. The wash hand basins will drain into the new manhole to be pumped into the existing manhole.
- 5.4 The existing drainage will be subject to a CCTV survey to ascertain its condition and the depth of the outfall into the public sewer.

## **6.0 GROUND STABILITY REPORT**

- 6.1 A copy of the Ground Stability Report produced by Property Search Group is attached in my appendix 5.
- 6.2 Section 2 deals with flood risk and as can be seen the estimate that there is only a 1 in 200year chance of flooding to this site.
- 6.3 The borehole struck water at 3.5m and therefore the ground water level is unlikely to affect the construction phase of the works or the final property.
- 6.4 The new footings to the extensions will be at least 1200mm deep so they are founded on the Kempton sand and gravel

....cont/d

## **7.0 CONCLUSIONS**

- 7.1 No building work of this nature can be carried out without some inconvenience to the immediate neighbours and to a lesser extent other road users. However, the purpose of this plan, and ensuring that the Contractor is a member of the Considerate Contractors Scheme, is to ensure that these inconveniences are kept to a minimum and any grievances addressed immediately.
- 7.2 The proposed works will be carried out strictly in accordance with the drawings, calculation, details and Method Statements produced by the Michael Blacker Partnership and the drawings of A2 Intergraph. Providing the procedures set out on the drawings and in the Method Statements are followed there should be no significant risk of structural stability to the Adjoining Owners' properties and land.
- 7.3 The existing foul water drainage system running down the right-hand side of the property is to be retained. The house will remain a single dwelling and therefore the amount of effluent is unlikely to change greatly.
- 7.4 The surface water drainage will either be taken into the existing system or into new soakaways in the front and rear gardens. The footprint of the building is slightly increased and therefore there will only be a slight increase in the volume of water during heavy rainfall. However, this will only be a slight increase and will be well within the capacity of the existing system or the newly designed soakaways.
- 7.5 The Contracts Manager will be provided with a copy of this Construction Management Plan and The Traffic Management Plan and be made aware of its contents. He will work to this plan unless otherwise agreed with the Council. If it is necessary to revise this plan it will be approved by the Council before any changes are put into operation.

**END.**

## **APPENDIX 1**





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Date	Description



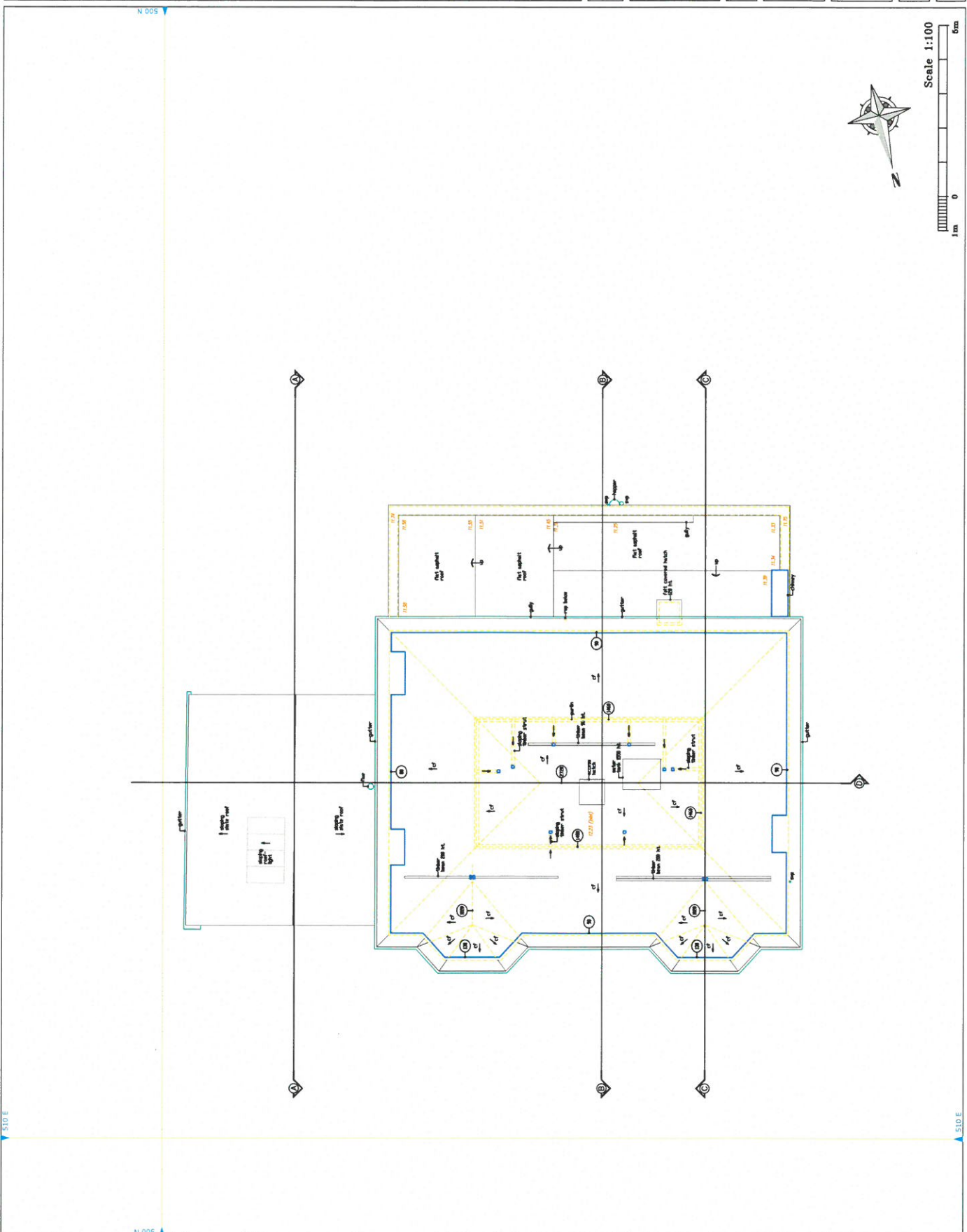
Architecture & Graphic Design  
48 Pinnerhorne  
London SW8 3JG  
Tel: 020 3652 2868  
Email: info@intergraph.co.uk

Client  
**RIVERSIDE TRUST**

Project  
**33 LONSDALE ROAD  
LONDON SW13 9JS**

Drawing Title  
**EXISTING  
ATTIC PLAN**

Scale	1:100	Author	NAA
Date	01 FEB 2016	Checked	
Drawn	AS		
Project Number	AR.TPA.GA.105		



Scale 1:100  
1m 0 5m





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**Revisions**

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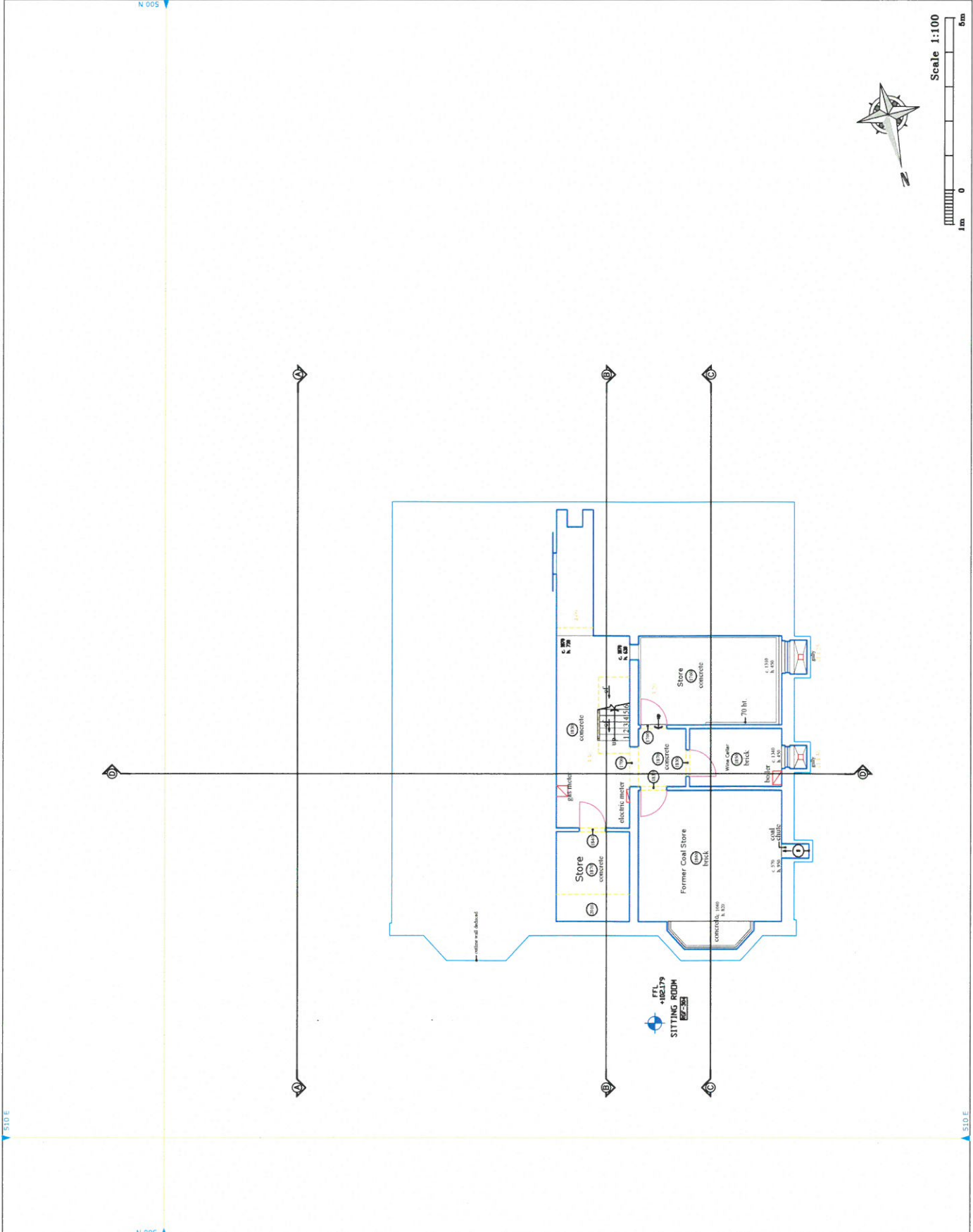
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London SW9 3JG  
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**Drawing Title**  
EXISTING LOWER  
GROUND FLOOR PLAN

<b>Scale</b>	1:100	<b>Author</b>	NAA
<b>Date</b>	01 FEB 2016	<b>Checked</b>	
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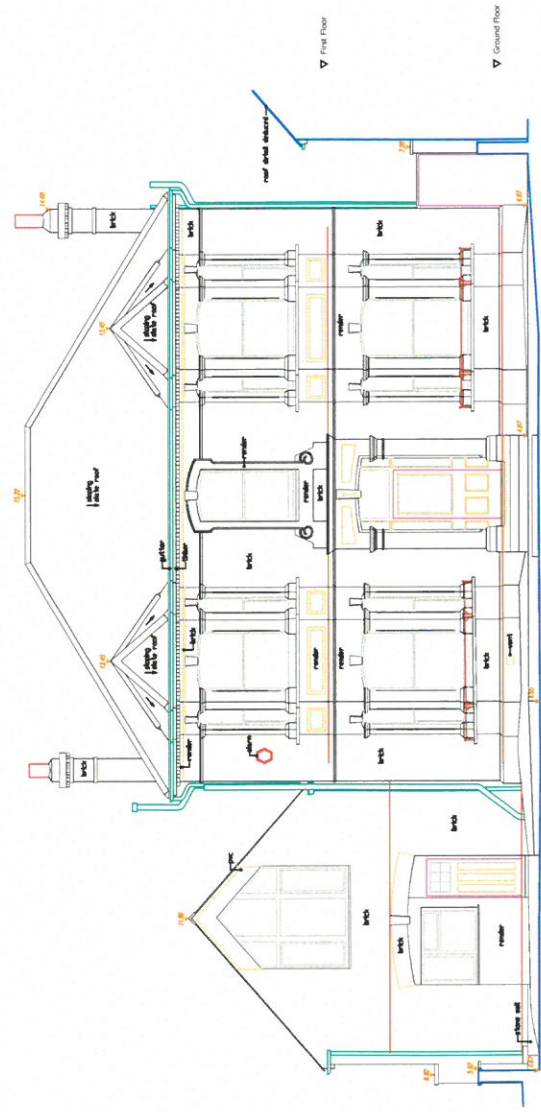
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 48 Pineshore  
 London SE8 3AC  
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 FRONT ELEVATION

Scale	1:100	Drawn	NAA
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Front Elevation



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Author **PLANNING.**

Date	Description



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 49 Pinnerbury  
 London, SE8 3AG  
 Tel: 020 3662 3888  
 Email: info@intergraph.co.uk

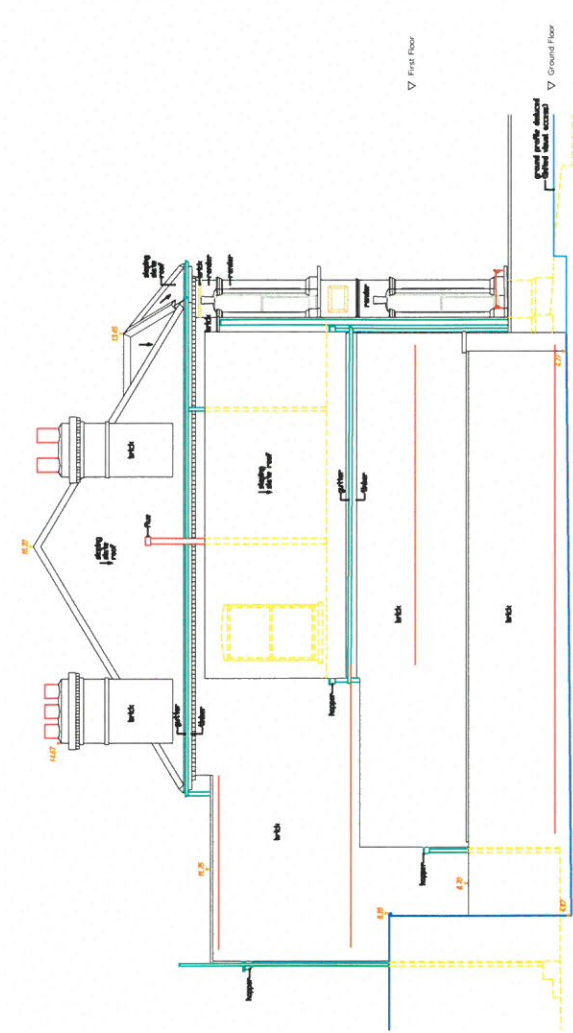
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Project **33 LONSDALE ROAD  
 LONDON SW13 9JS**

Drawing Title  
**EXISTING  
 SIDE ELEVATION TO  
 31 LONSDALE ROAD**

Date	Issue	Drawn	Checked
1:100	01 FEB 2016	NAA	NAA
0A3			

Drawing number  
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Side Elevation to 31 Lonsdale Road





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Rev	Date	Description

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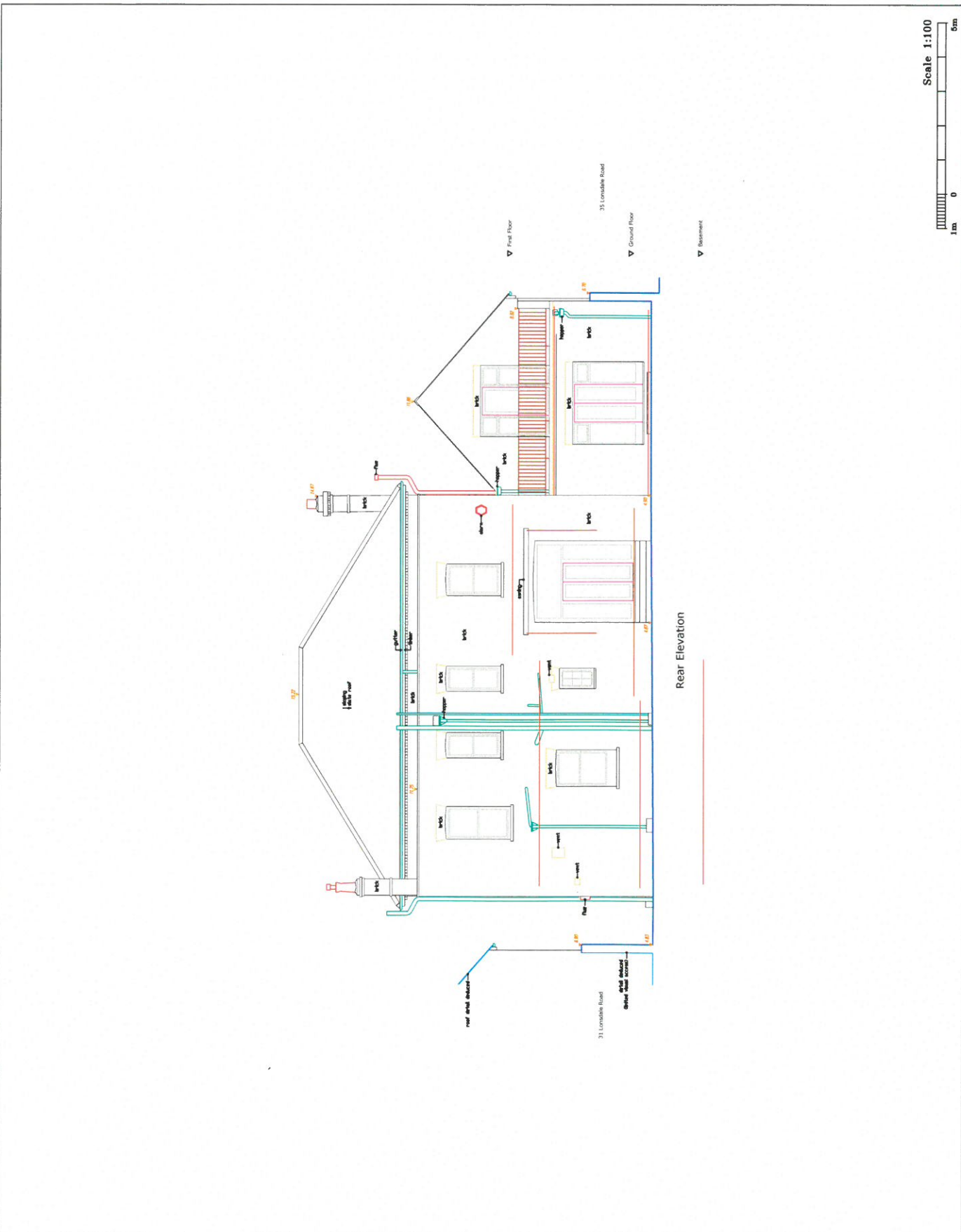
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48 Powshorn  
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**Drawing Title**  
EXISTING  
REAR ELEVATION

<b>Scale</b>	1:100	<b>Drawn</b>	NAA
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<b>Project Number</b>	AR.TPA.GA.109	<b>Revision</b>	



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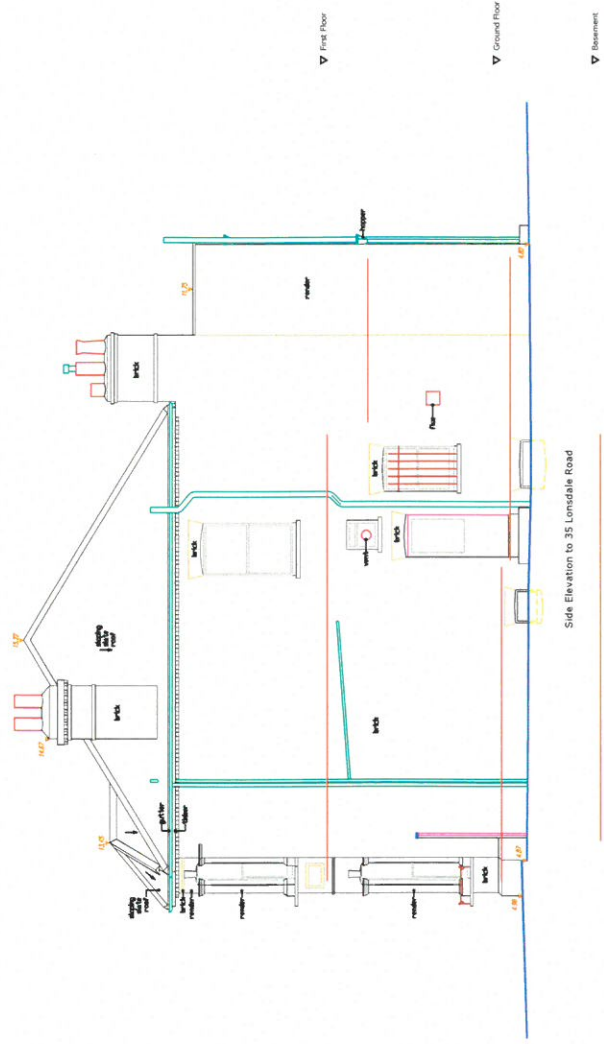
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**Drawing Title**  
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35 LONSDALE ROAD

Scale	Date	Drawn	Checked
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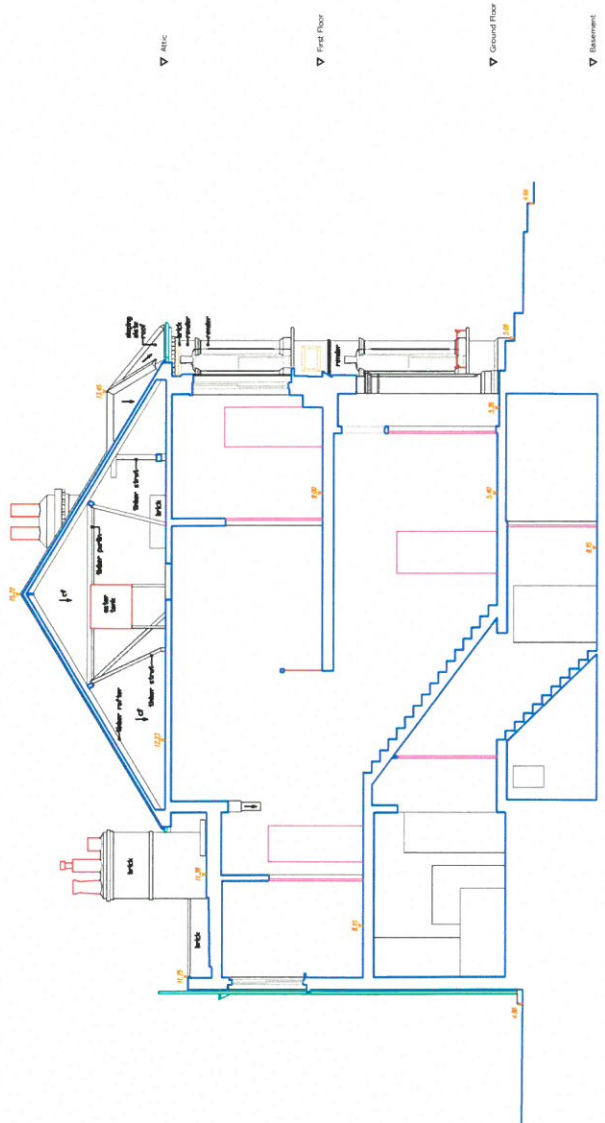
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EXISTING  
SECTION B-B

Scale	1:100	Drawn	NAA
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Section B-B

- ▽ RUC
- ▽ First Floor
- ▽ Ground Floor
- ▽ Basement





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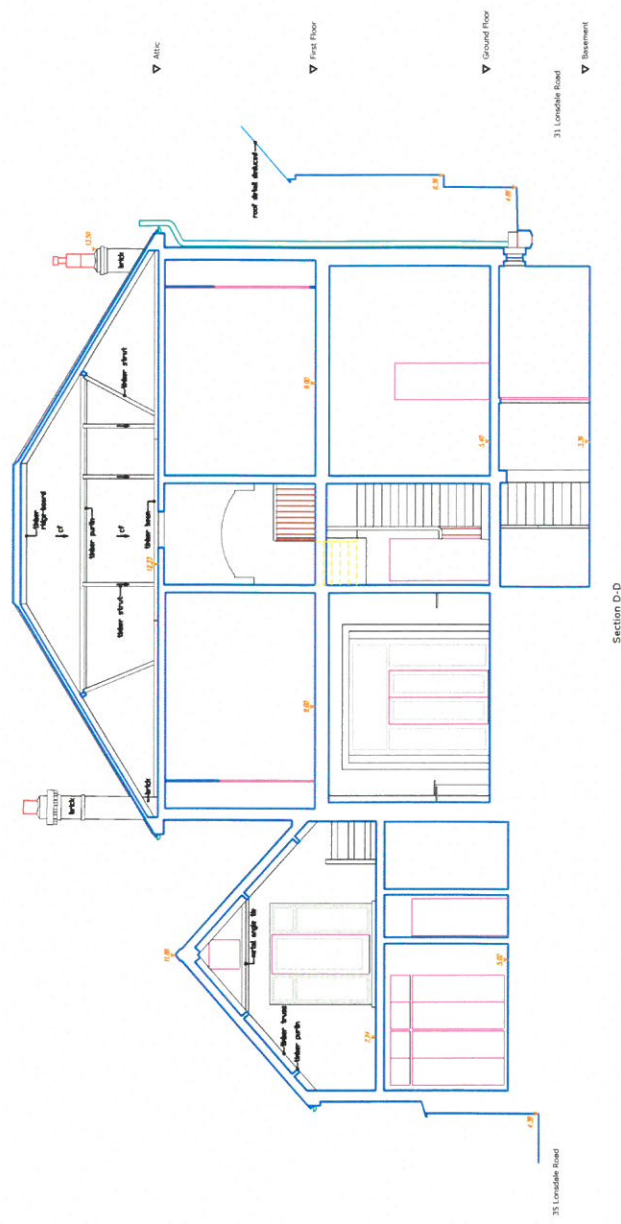
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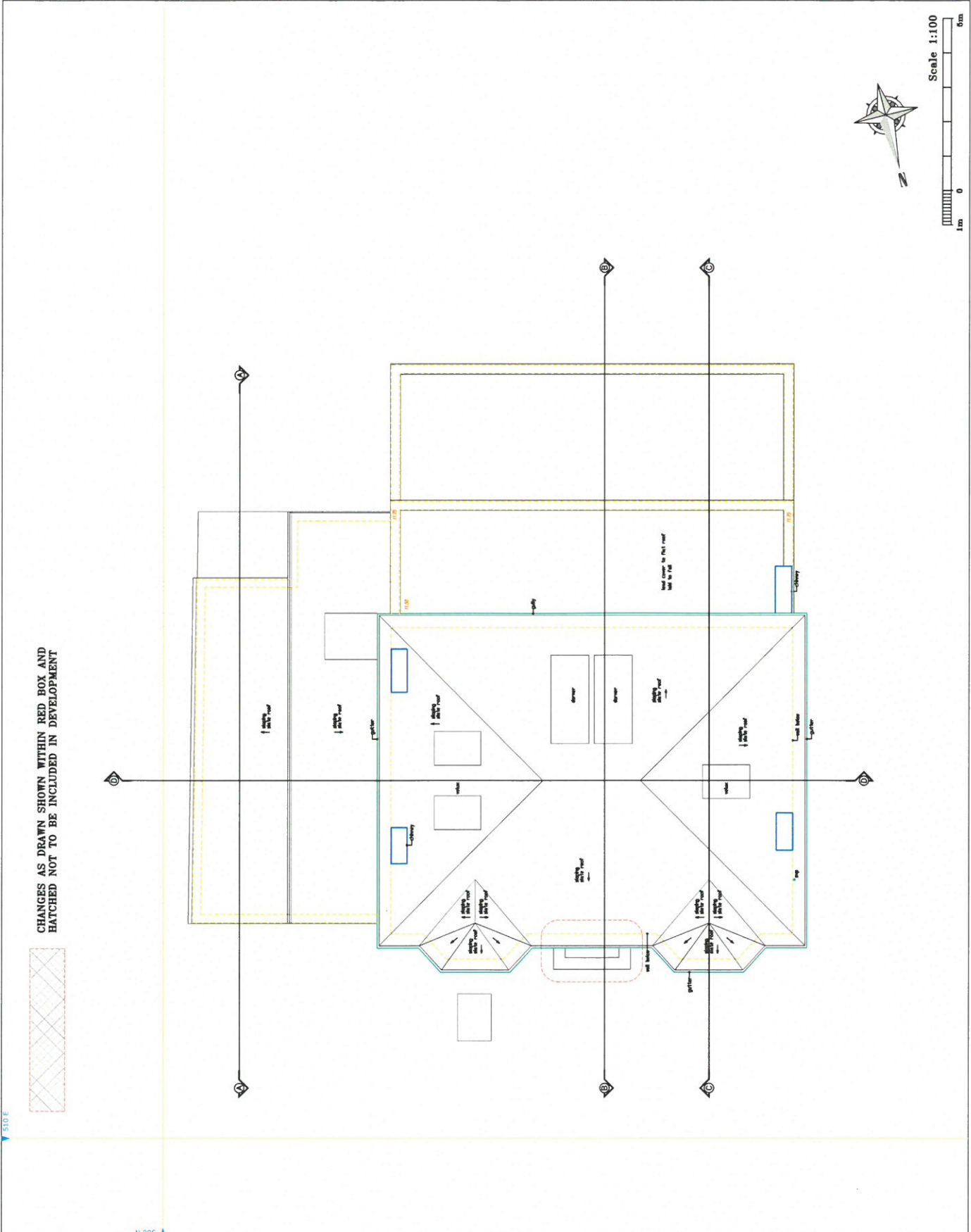
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LONDON SW13 9JS

**Drawing Title**  
PROPOSED ROOF  
PLAN

**Scale**  
1:100  
Date  
26 MAR 2024  
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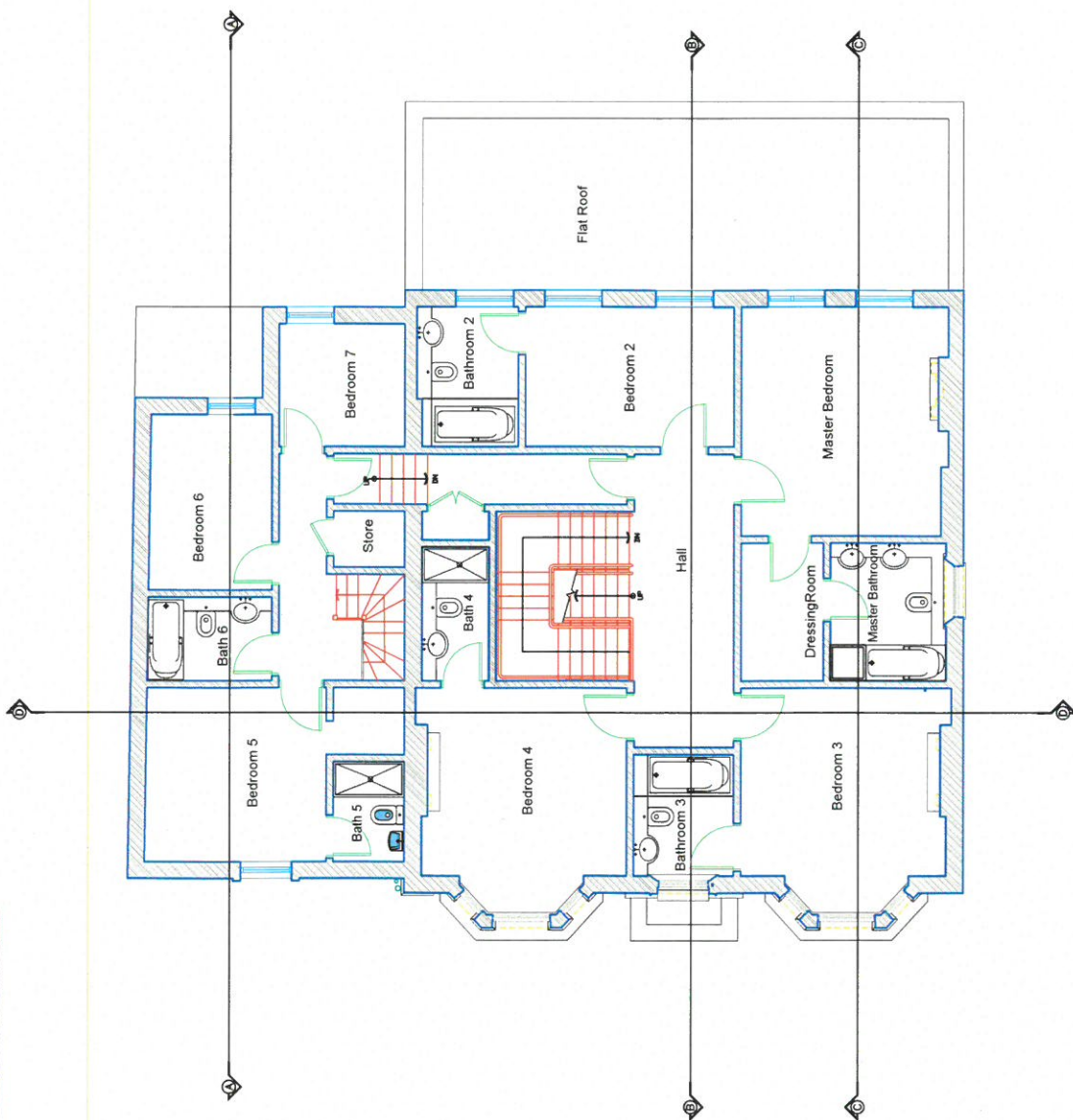
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LONDON SW13 9JS**

**PROPOSED FIRST  
FLOOR PLAN**

Scale  
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Date  
28 MAR 2024  
Drawn  
NAA  
Checked  
AS3

Project Number  
AR.TPA.GA.406

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Description

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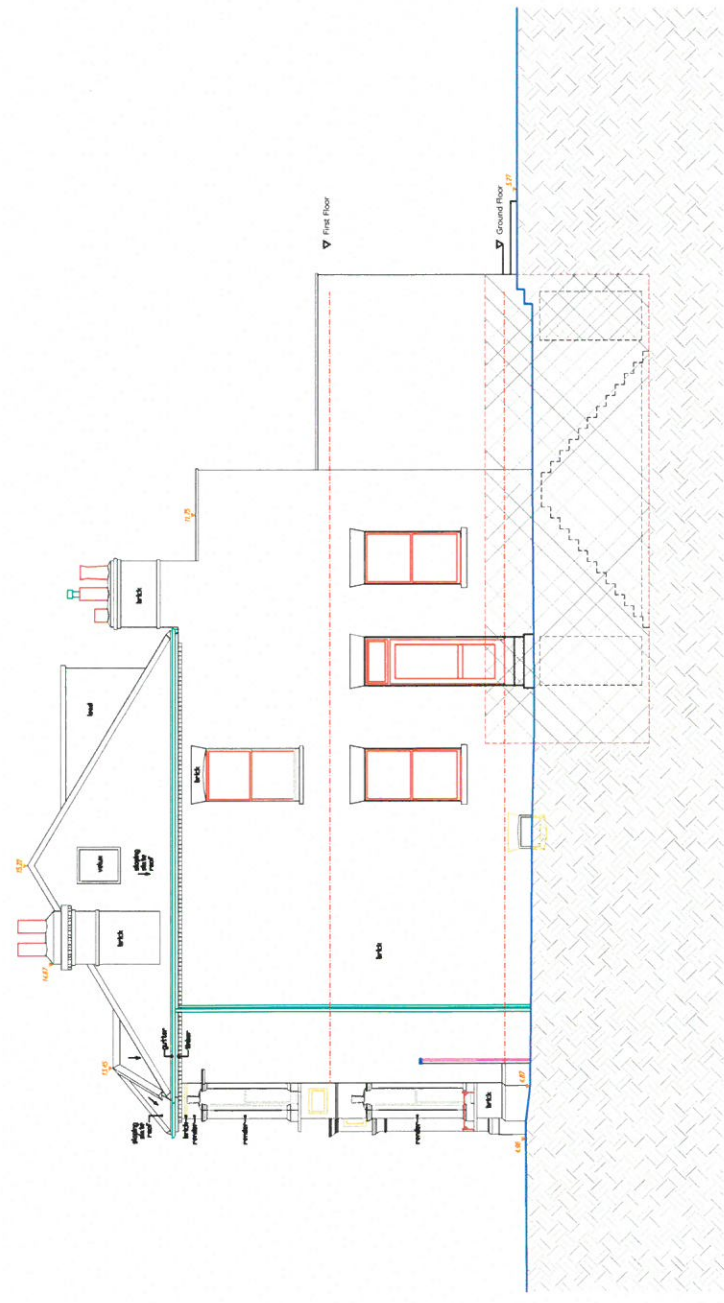
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33 LONSDALE ROAD  
LONDON SW13 9JS**

**Proposed Title  
PROPOSED  
SIDE ELEVATION TO  
35 LONSDALE ROAD**

**Scale  
1:100**  
**Date  
26 MAR 2024**  
**Author  
AS**  
**Checked  
NAA**

**Drawing Number  
AR.TPA.GA.410**  
**Revision**

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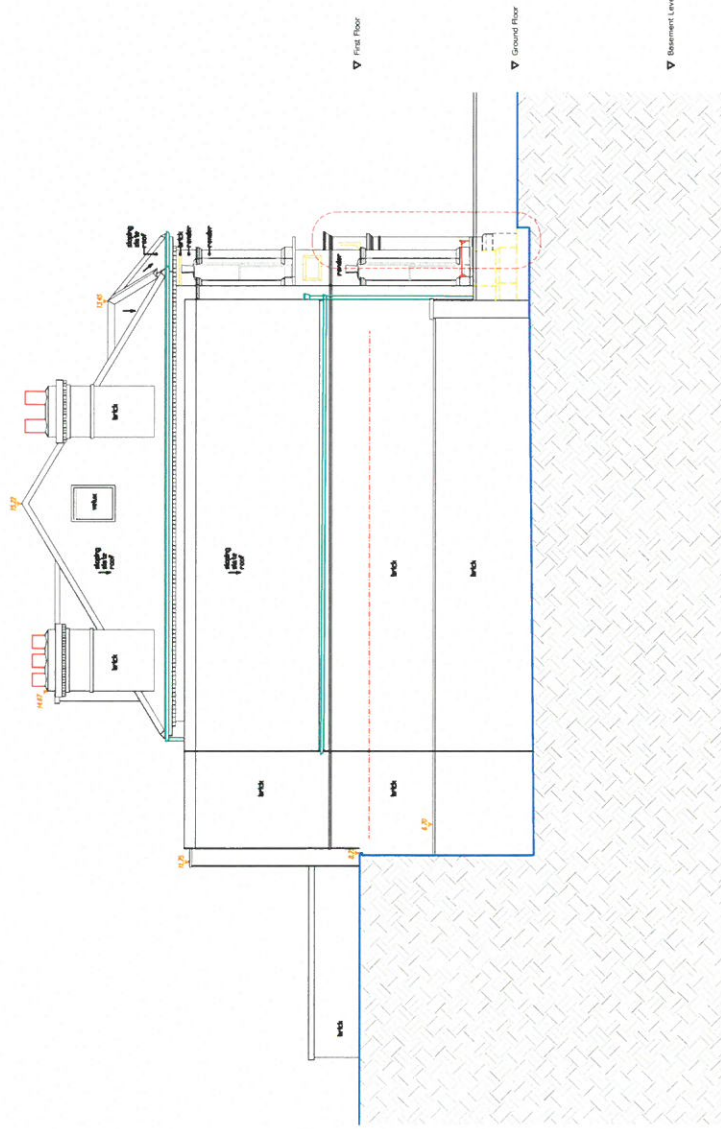


Side Elevation to 35 Lonsdale Road

Scale 1:100  
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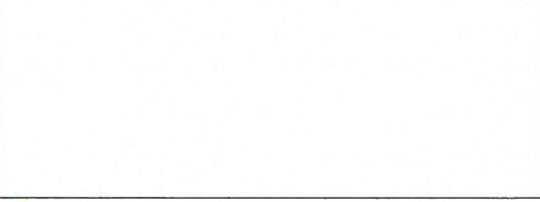
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Interior & Graphic Design**  
64 Ashford Road  
Mickleton, Kent ME14 4LR  
Tel: 020 8662 3868  
Email: info@intergraph.co.uk

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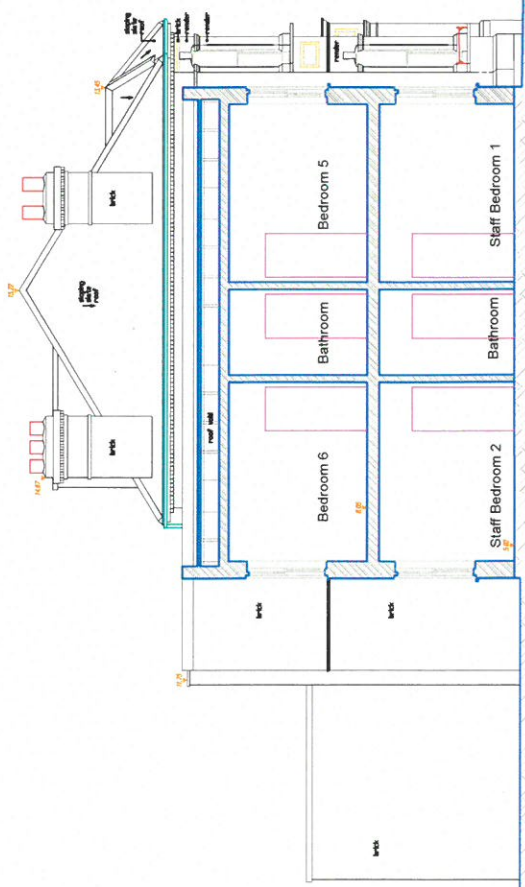
**Drawing Title**  
PROPOSED  
SIDE ELEVATION TO  
31 LONSDALE ROAD

Scale	1:100	Drawn	NAA
Date	26 MAR 2024	Checked	
Project Number	0A3	Revision	
Drawing Number	AR.TPA.GA.412		





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Section A-A



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Date	Description

**PLANNING**

Date	Description



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67 Ashford Road  
Malden, Kent ME14 4LR  
Tel: 020 3662 8868  
Email: nash@intergraph.co.uk

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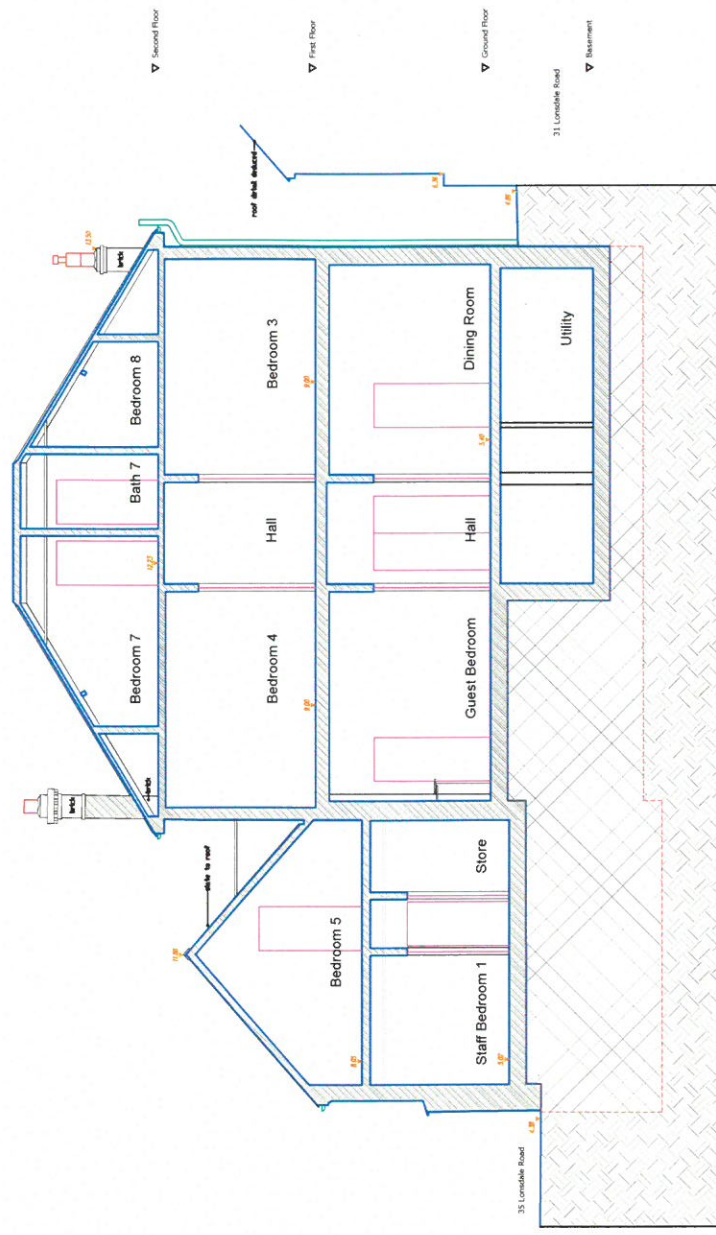
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SECTION AA**

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Project	AR.TPA.GA.413	Checked	

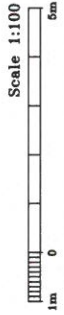




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Section D-D



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**A2 Intergraph**  
 Architecture  
 Interior & Graphic Design  
 64 Ashford Road  
 Molesey, Surrey TW20 4LR  
 Tel: 020 8668 3868  
 Email: info@intergraph.co.uk

Client  
**RIVERSIDE TRUST**

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Drawing Title  
**PROPOSED  
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Scale	1:100	Drawn	N/A
Date	26 MAR 2024	Checked	
Drawn	QAS		

Drawing Number  
**AR.TPA.GA.416**



