

DESIGN AND ACCESS STATEMENT

Prepared
By...



65 FIFTH CROSS ROAD
TWICKENHAM
TW25LJ
LONDON



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Site photograph: Existing rear elevation

INTRODUCTION

DESIGN AND ACCESS STATEMENT

This Design and Access Statement has been prepared by AURA Architecture & Interiors on behalf of Nigel & Kirsty Cooney for 65 Fifth Cross Road, Twickenham, TW2 5LJ, London. It accompanies an application for a 'large home extension' 'prior approval' under permitted development rights. The local planning authority is Richmond. The design has been prepared with reference to 'Permitted Development rights for House holders technical guidance'.

THE PROPOSAL

The proposal is to replace the existing rear extension with a new enlarged rear extension.

The existing extension is of substandard quality. It is prone to overheating during the summer months and being too cold during the winter. The new extension would improve the thermal quality of the house and thus the usability of these spaces. The existing extension is subdivided into a rear conservatory and a utility space. It has been added to the rear of the existing house but is not connected spatially to the rest of the house. The new extension would improve the spatial quality of the house by helping to re-connect the garden, kitchen/living/dining spaces to the original house.

The design, massing and materials of the extension has been prepared in accordance with the guidance set out in the Permitted Development rights for House holders.



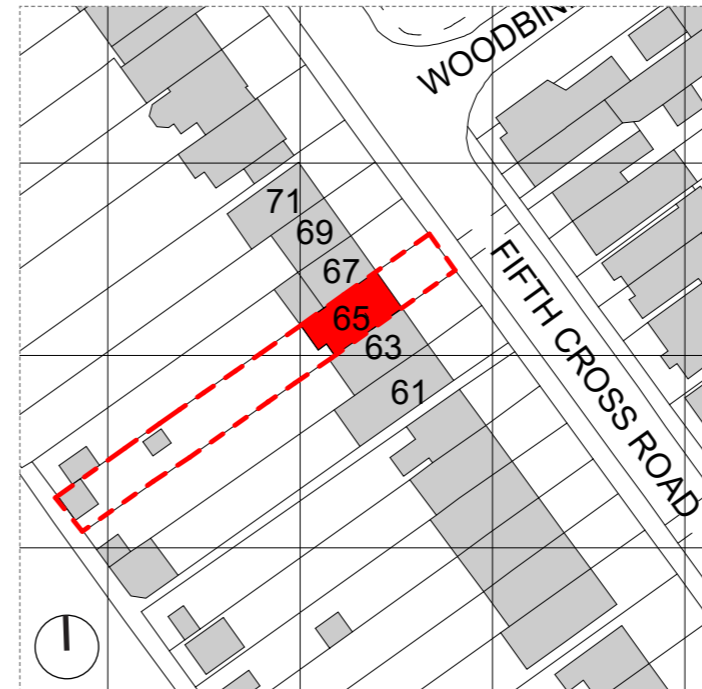
Aerial photographs

SITE

LOCATION

The site, No.65 Fifth Cross Road TW2 5LJ, is located in Twickenham. The local council is Richmond. The area is not in a conservation area or subject to an article 4 directive. The site is not on article 2(3) land nor on a site of special scientific interest.

The nearest train stations are Strawberry Hill (15 minutes walk) and Fullwell (15 minutes walk). Fifth Cross Road is primarily a residential street. It consists of 2-3 storey houses. The façades of these buildings are a mix of materials, but primarily brick and/or rendered. The roofs are primarily finished with a tiled or slate. The windows are mostly white UPVC.



Site Location Plan



Existing front elevation



Existing rear elevation



Existing rear extension



View towards back of garden

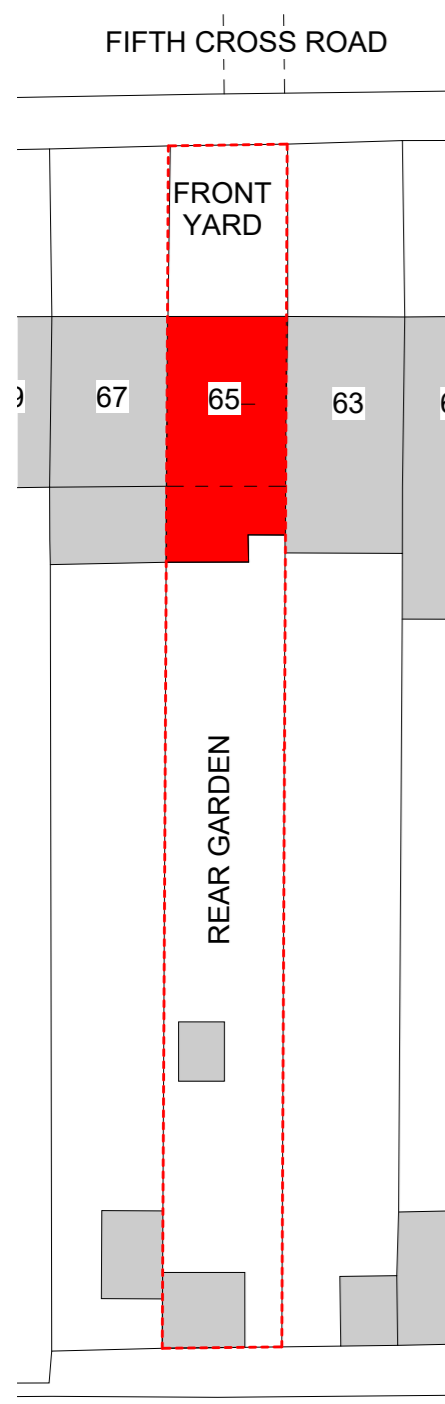
EXISTING PROPERTY

The existing property is located in the middle of a terrace. It is a single family dwelling. It is formed of a main, original, house with two storeys. To the rear of the property there is a single storey conservatory. The property has a paved area (off the street) to the front of the property. To the rear, the property has a long garden.

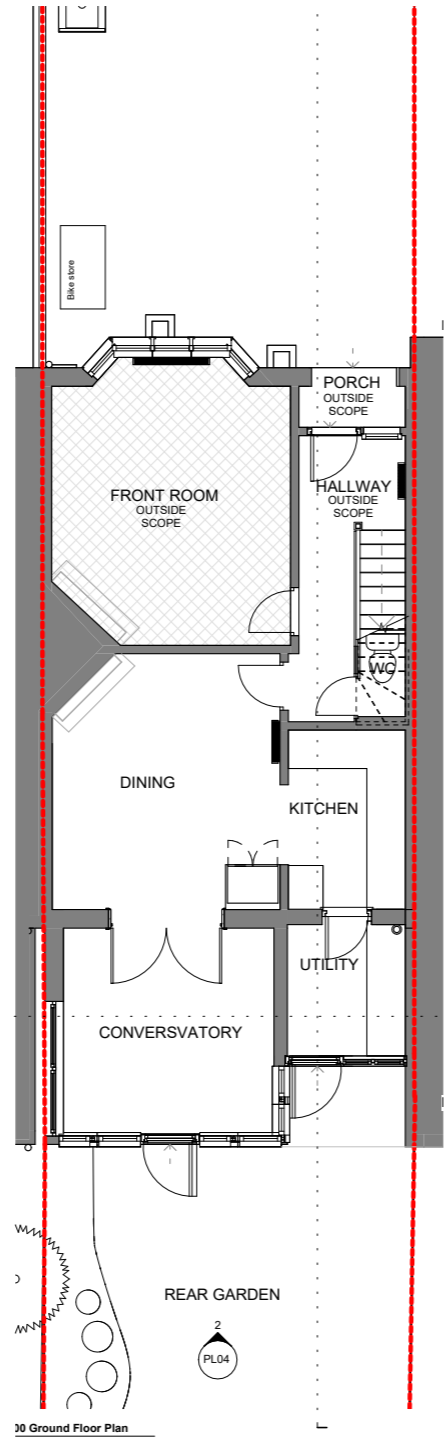
The existing conservatory is of substandard quality. It is prone to overheating during the summer months and being too cold during the winter. It is formed of a single sheet polycarbonate roof, brick cladding and UPVC windows/doors. It contains a conservatory space and a utility room. It has been added to the existing property rather than connected spatially to it.

The proposal therefore is to improve both the thermal performance to the rear of the house and also its spatial quality/connecting to the existing house.

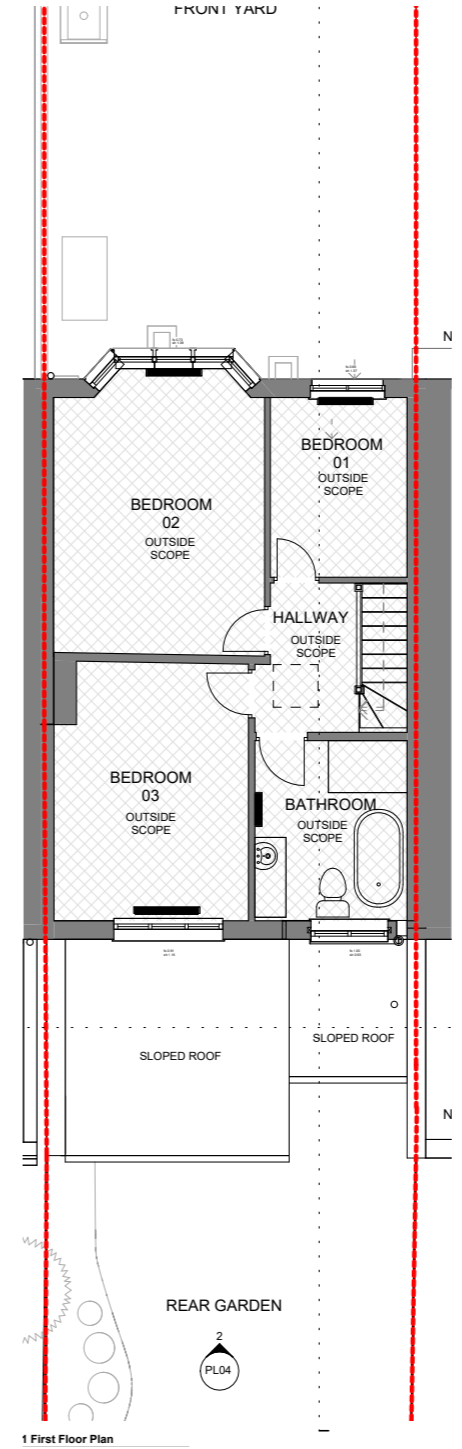
EXISTING DRAWINGS



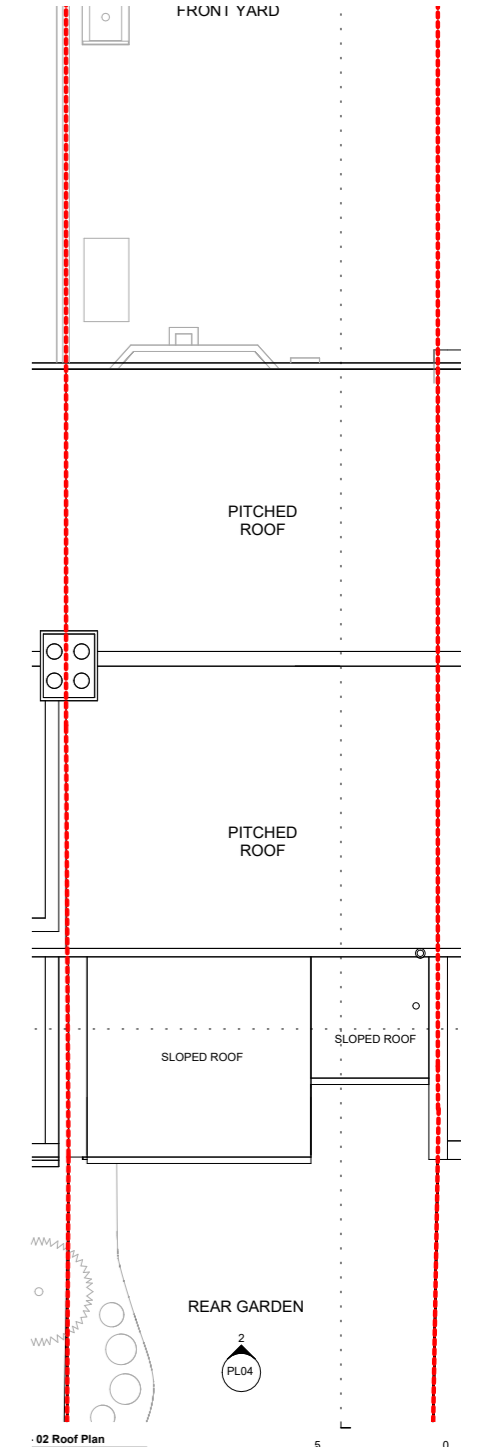
Existing site plan



Existing ground floor plan



Existing first floor plan

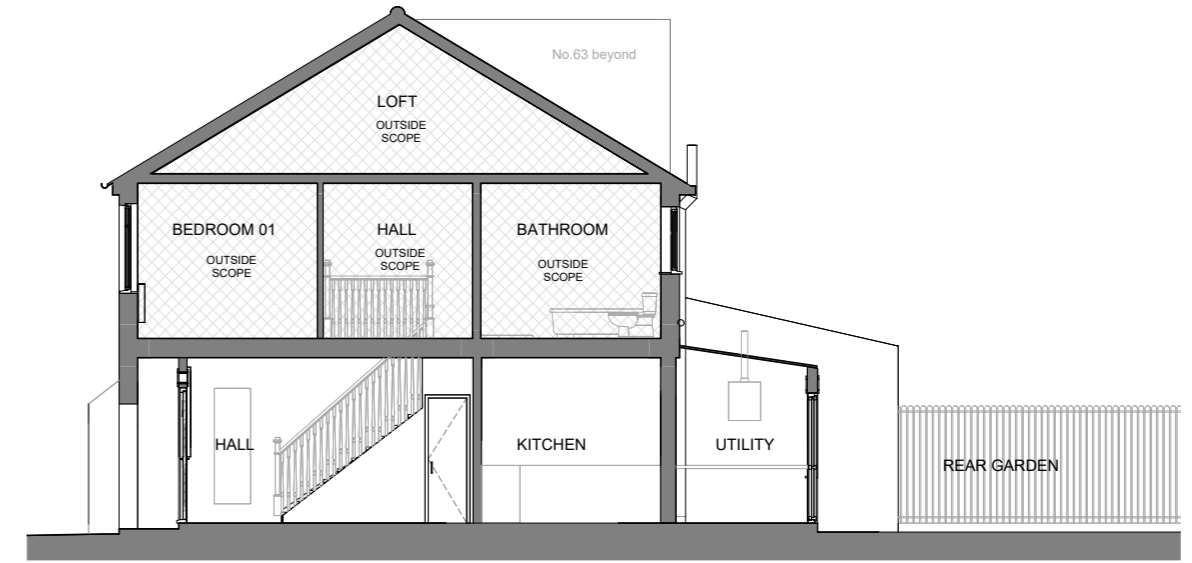


Existing roof plan

EXISTING DRAWINGS



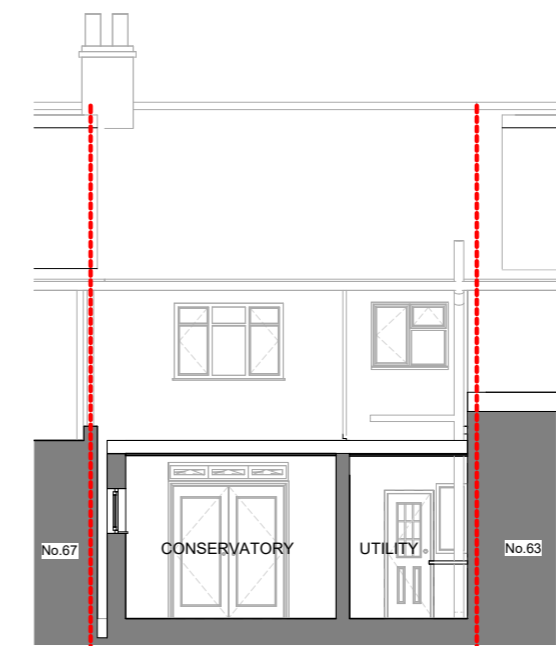
Existing front elevation (Outside Scope)



Existing long section



Existing rear elevation



Existing cross section



Aerial photograph

PLANNING CONTEXT

OVERVIEW

The site, No.65 Fifth Cross Road TW2 5LJ, is located in Twickenham. The local council is Richmond.

From looking at aerial photographs and the planning portal, we can see that a number of other properties in the area have large rear extensions. Within this row of terrace, the planning portal shows that a number of these have been carried out through 'large home extension' 'prior approval' under permitted development rights.

CONTEXT

- Number 41 Fifth Cross Road. Planning reference: 23/1956/HOT& 18/3828/PDE. Year: 2019. Six meter rear extension 6m 'large home extension' 'prior approval' under permitted development rights.
- Number 49 Fifth Cross Road. Planning reference: 14/1132/PDE. Year: 2014. Six meter rear extension 6m 'large home extension' 'prior approval' under permitted development rights.
- Number 61 Fifth Cross Road. Planning reference: 2/1446. Year: 2014. Six meter rear extension 6m 'large home extension' 'prior approval' under permitted development rights.

Adjoining properties

As per the submission requirements on Richmond planning portal for prior approval. It is considered that those adjoining the site at No.65 Fifth Cross Road are as per below:

- 63 Fifth Cross Rd, Twickenham, London TW2 5LJ
- 67 Fifth Cross Rd, Twickenham, London, TW2 5LJ
- For the playing feilds to the rear, it is assumed that these are owned / managed by Waldgrove School Fifth Cross Road, Twickenham, London, TW2 5LH.



Site photograph: Existing rear elevation

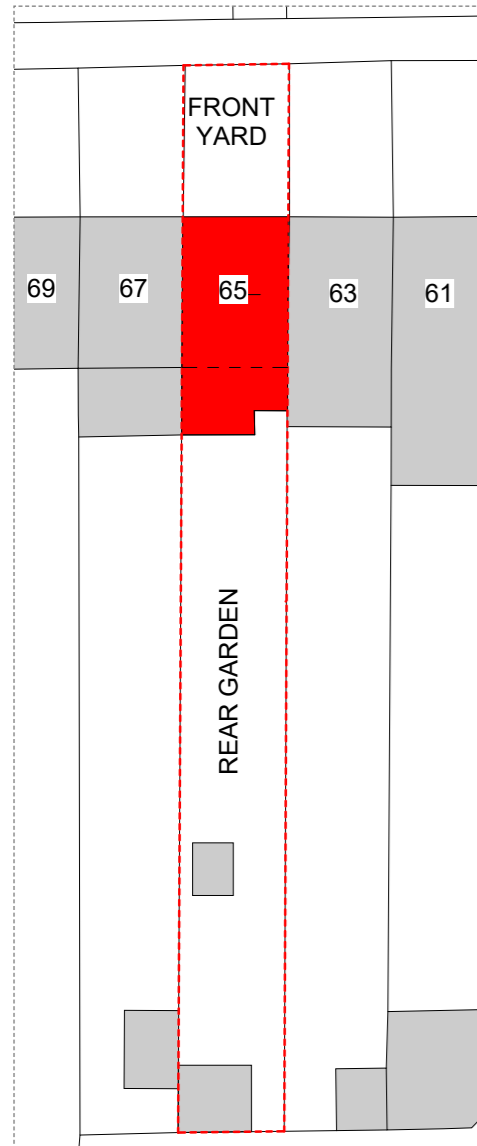
PROPOSAL

PROPOSAL

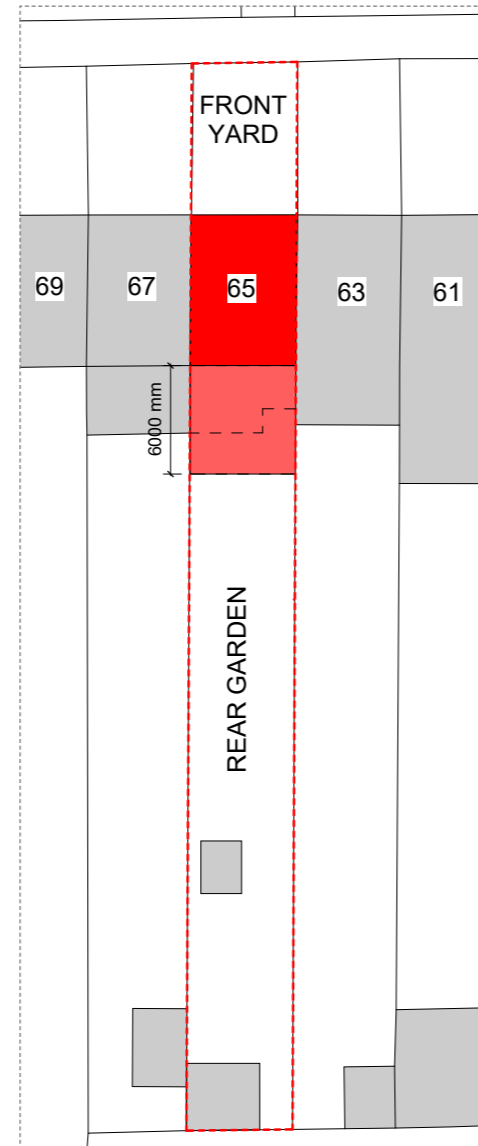
The proposal is to replace the existing rear extension with a new enlarged rear extension.

The existing extension is of substandard quality. It is prone to overheating during the summer months and being too cold during the winter. The new extension would improve the thermal quality of the house and thus the usability of these spaces. The existing extension is subdivided into a rear conservatory and a utility space. It has been added to the rear of the existing house but is not connected spatially to the rest of the house. The new extension would improve the spatial quality of the house by helping to re-connect the garden, kitchen/living/dining spaces to the original house.

The design, massing and materials of the extension has been prepared in accordance with the guidance set out in the Permitted Development rights for House holders.



Existing site plan



Proposed site plan

Permitted Development rights for House holders technical guidance supporting notes

Total area within curtilage: 345sqm. Area covered by buildings within curtilage 109.1sqm (including outbuildings and new extension). Proposed total coverage 31.6% coverage.

In accordance with the Class A.1B: this would therefore not exceed 50% of the total area within the curtilage. AURA drawing reference: PL02

TECHNICAL GUIDANCE

Introduction

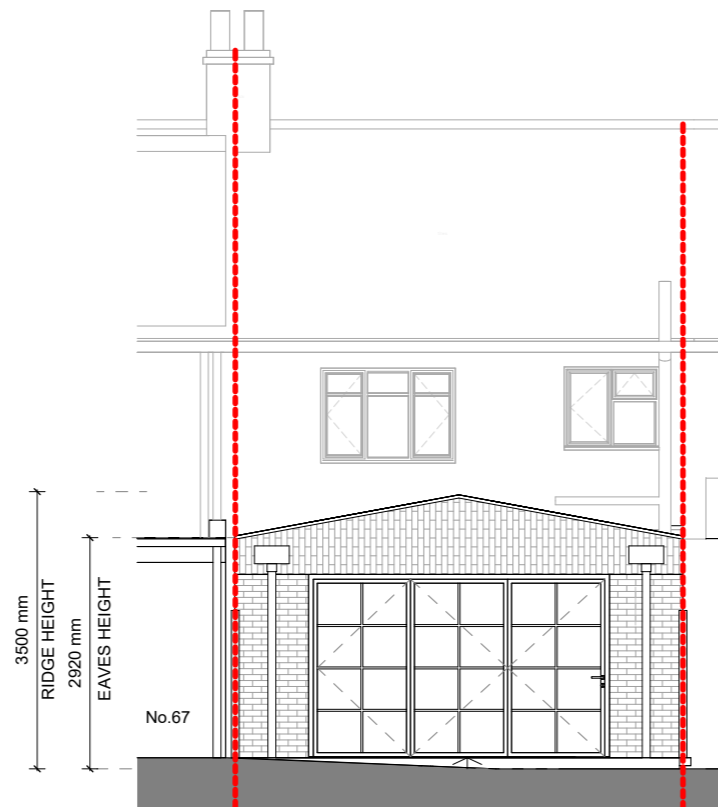
This design has been prepared in accordance with the 'Permitted Development rights for House holders technical guidance' it is determined that the proposed works would fall under Class A, paragraph A.1(g). Class B, C, D, E, F, G and H are not applicable.

Class A - Technical Guidance

- A1.A: Non-applicable. The existing house was not created under permitted development rights/ through a change of use.
- A1.B: As demonstrated on drawing PL02, the total ground coverage within the curtilage would be 31.6% and would therefore not exceed the 50% requirement
- A1.C: Non-applicable. The original house is two storeys. The proposal is for a single storey extension.
- A1.D: Non-applicable. The original house is two storeys. The proposal is for a single storey extension.
- A1.E: Non-applicable. The proposed works would not affect the principal elevation or be visible from a highway
- A1.F: Non-applicable. As per A1.G 'A single-storey extension to a house which is not on article 2(3) land or on a site of special scientific interest can be larger than allowed under paragraph (f)'
- A1.G: The proposed site is not located within an article 2(3) land nor on a site of special scientific interest. The existing property is a mid terrace and not a detached building. As per A1.G(i) 'it must not extend beyond the rear of the original house by more than 6 metres'. The proposal is for a 6m rear extension as measured from the base of the original rear wall to the 'outer edge of the wall of the extension (not including any guttering or barge boards)'
- A1.G(ii): The proposed ridge height is 3.5m this therefore does not exceed a 'total extension height of 4m'.
- A.1.I: The proposed extension is within 2 metres of the boundary of its curtilage, therefore the maximum height of the eaves allowed is 3 metres. The proposed eaves height is therefore 3m.
- A.1.J: Non-applicable.



Existing rear elevation



Proposed rear elevation

Permitted Development rights for House holders technical guidance supporting notes

In accordance with A1.G(ii): The proposed ridge height is 3.5m this therefore does not exceed a 'total extension height of 4m'. In accordance with A.1.I: The proposed extension is within 2 metres of the boundary of its curtilage, therefore the maximum height of the eaves allowed is 3 metres. The proposed eaves height is therefore 3m.

MATERIALS

INTRODUCTION

- The material strategy for the proposed extension has been prepared with reference to the 'Permitted Development rights for House holders technical guidance' and in particular Class A Condition: A.3(a) which states that 'materials used for the proposed are of a 'similar appearance' to 'used in the construction of the existing dwelling-house'

PROPOSED EXTERNAL WALLS

- The existing rear facade of the house has a red brick finish. In accordance with Condition: A.3 the new rear facade will also have a red brick finish

PROPOSED ROOF

- The existing property has a pitched, tiled roof finish. In accordance with Condition: A.3 the new roof will be pitched and have a tiled roof finish
- The new roof will have 6 new roof-lights

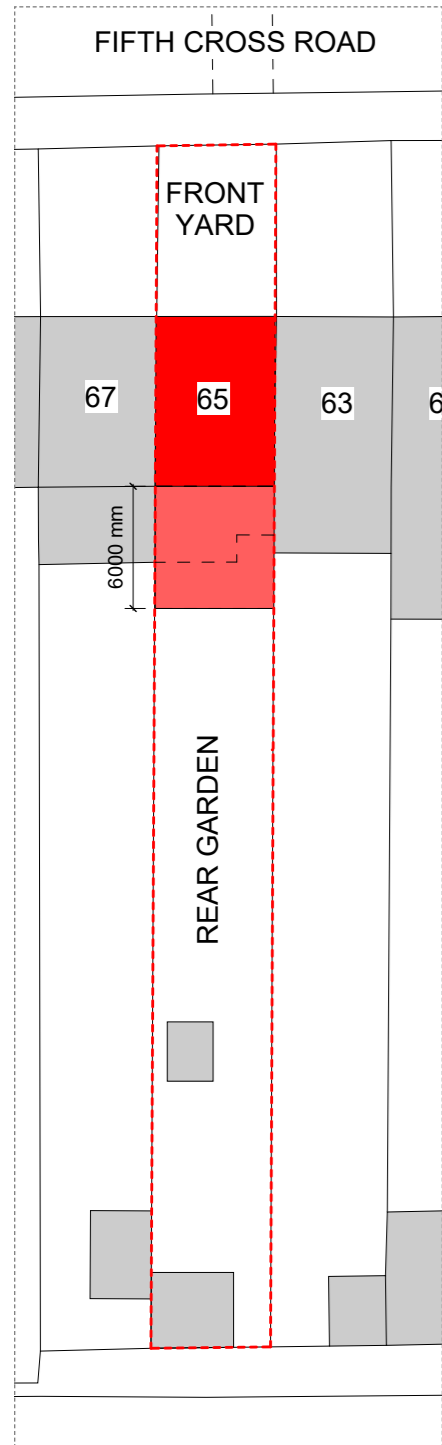
PROPOSED DOOR DESIGN

- The existing rear windows and doors are white, UPVC double glazed units.
- The proposal is for a new double glazed door set with dark grey aluminium frames and additional decorative heritage style bars. There are no new windows.
- The 'Permitted Development rights for House holders technical guidance' does not specifically mention new doors. However the general notes from Condition A.3(a) and the guidance for windows as per A.3 has been taken into consideration: 'it may be appropriate to replace existing windows with new uPVC double-glazed windows or include them in an extension even if there are no such windows in the existing house. What is important is that they give a similar visual appearance to those in the existing house, for example in terms of their overall shape, and the colour and size of the frames'.

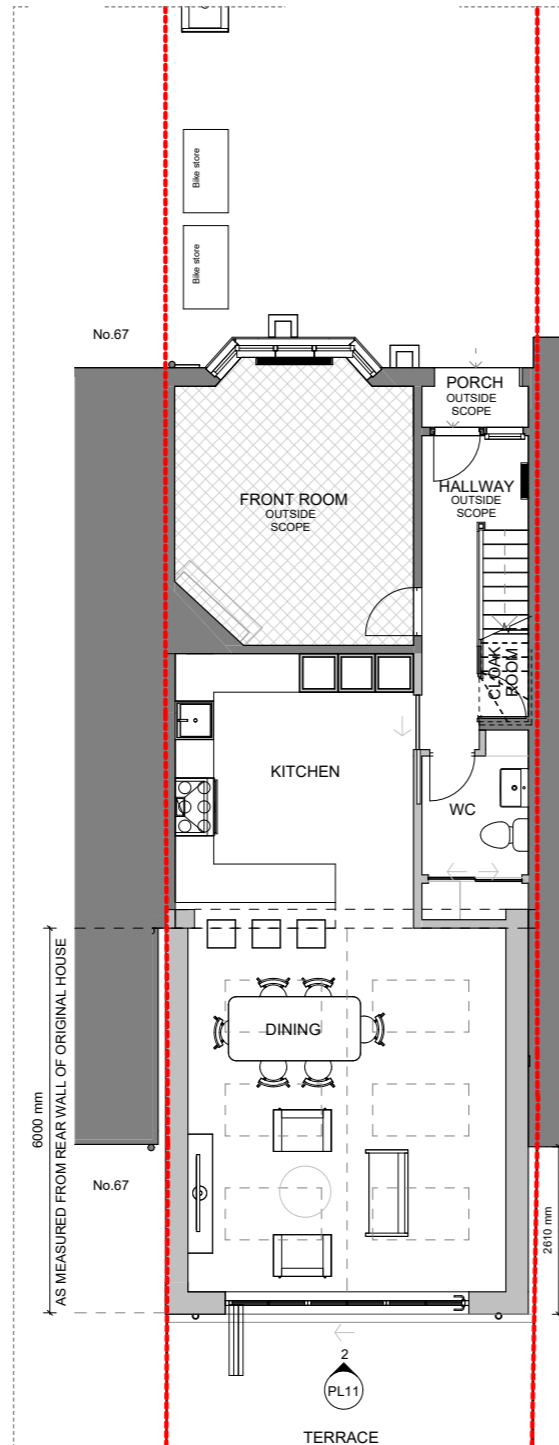
PROPOSED RAINWATER PIPES / HOPPERS

- The proposed rain water pipes / hoppers will be aluminium or plastic and in a dark gray colour to match the new doors

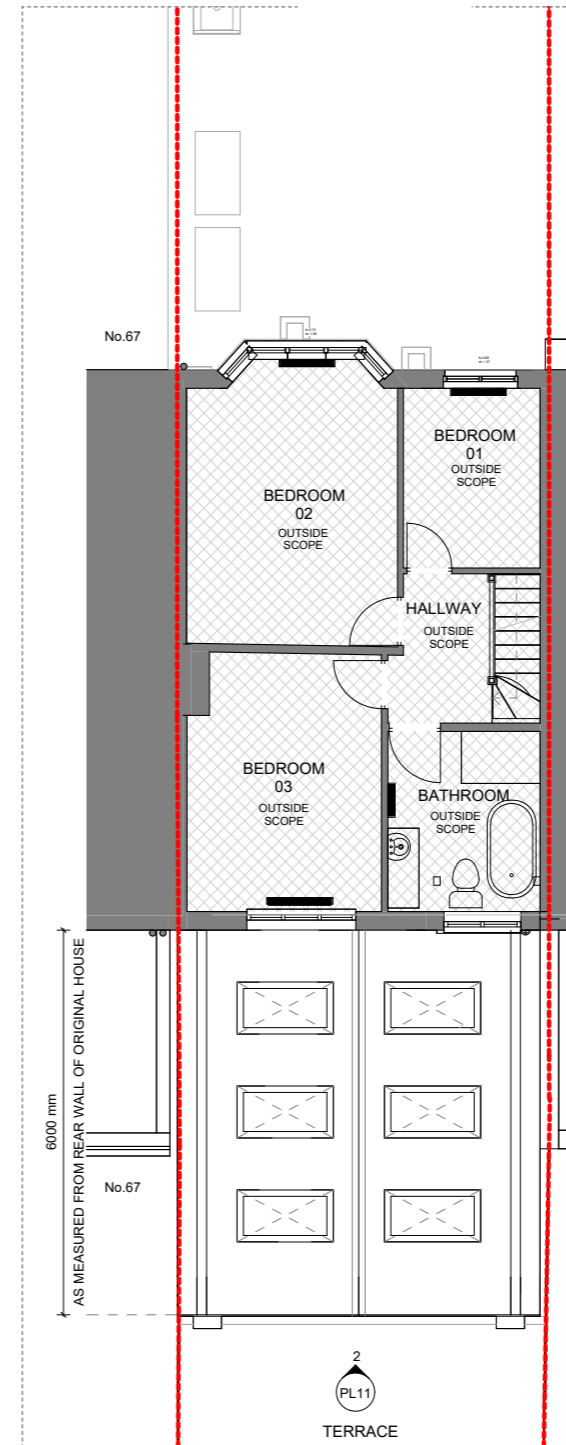
PROPOSED DRAWINGS



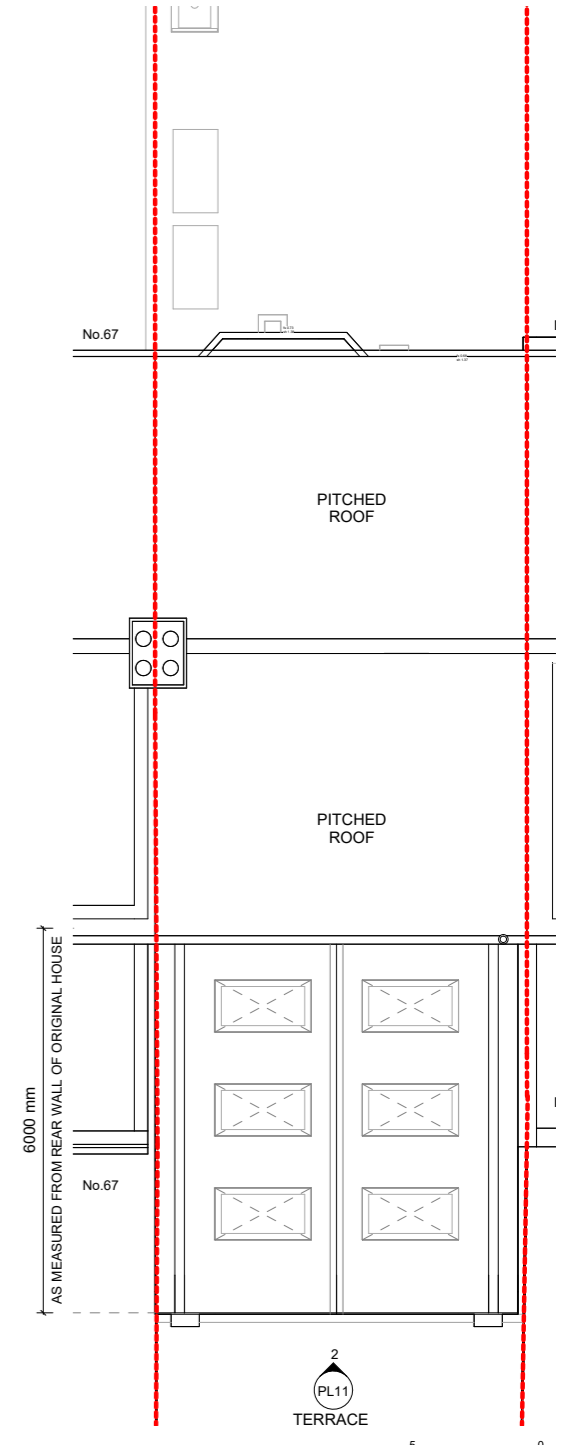
Proposed site plan



Proposed ground floor plan



Proposed first floor plan

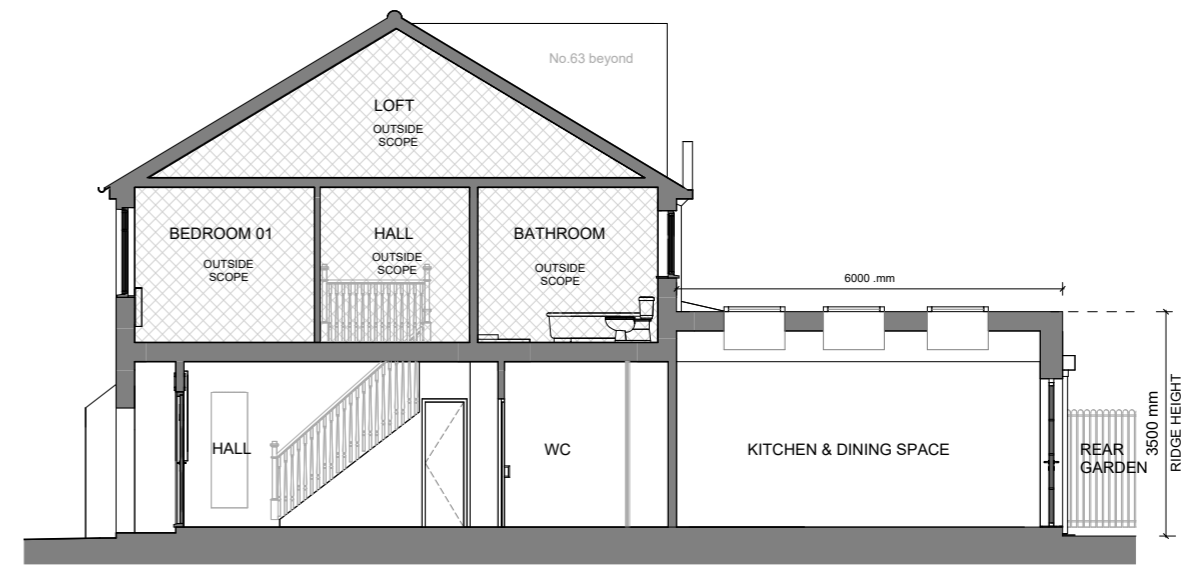


Proposed roof plan

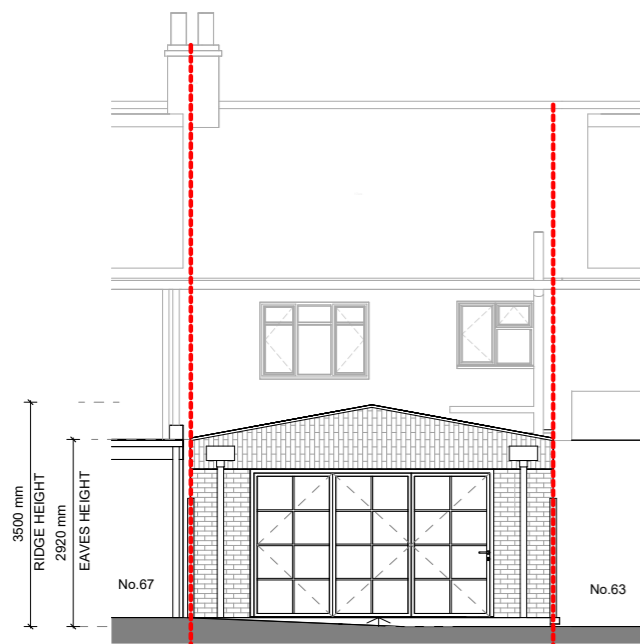
PROPOSED DRAWINGS



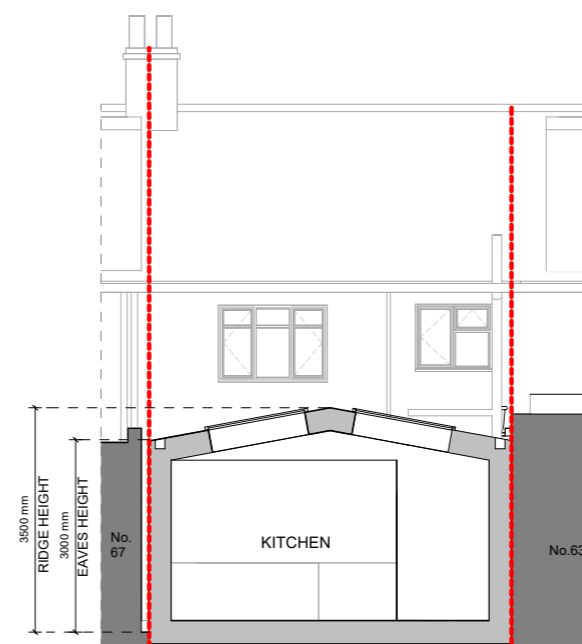
Proposed front elevation (Outside Scope)



Proposed long section



Proposed rear elevation



Proposed cross section

LANDSCAPING & AREAS



Site photographs of existing garden

ACCESS

Access to the property will remain unaffected by the works. The front of the property will remain unaffected by the proposals. The point of access to the property will be from Fifth Cross Road through the main front door. To the rear of the property, access/connection to the garden will remain a set of doors.

LANDSCAPING

The front of the property will remain untouched by the works. To the rear a small patio area will be created in front of the extension. The existing garden will remain mostly unaffected by the works.

| Level | Existing Areas | | Proposed Areas | |
|---------------------|----------------|----------|----------------|----------|
| | GEA (sqm) | GIA(sqm) | GEA(sqm) | GIA(sqm) |
| Ground Floor | 68 | 61 | 86 | 74 |
| First Floor | 51 | 45 | 51 | 45 |
| Totals | 119 | 106 | 137 | 119 |

Schedule of Areas

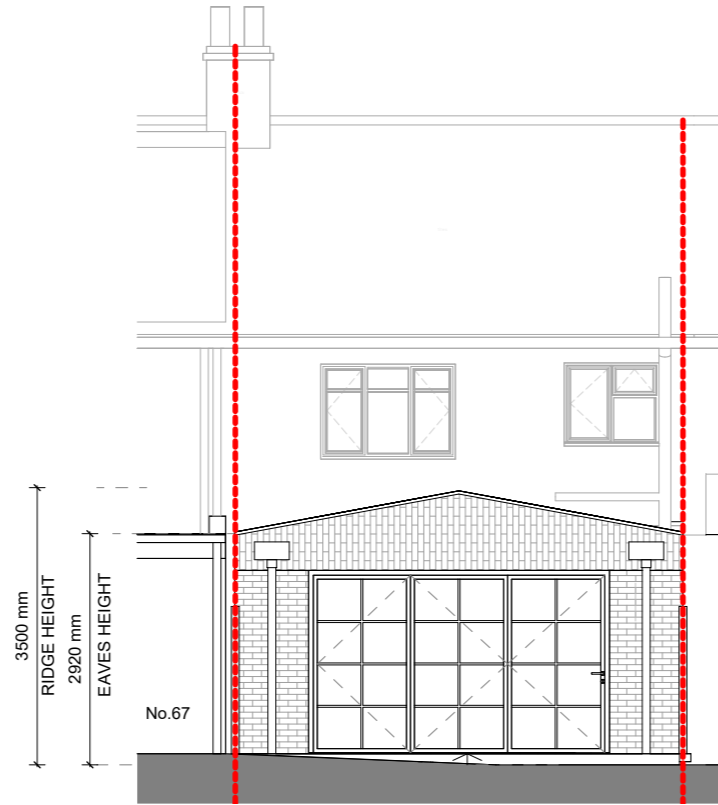
CONCLUSION

The design, massing and materials of the extension has been prepared in accordance with the guidance set out in the Permitted Development rights for House holders.

The proposed works are sympathetic to the existing property / context. The materials proposed for the scheme have been carefully chosen to tie into the existing and maintain the character of the property. The proposed works would greatly enhance the thermal performance and spatial quality of the property. It is felt that it would greatly improve the lives of its occupants and make the house a suitable home for many years to come.



Existing rear elevation



Proposed rear elevation