

**Application reference: 24/1527/HOT**  
**NORTH RICHMOND WARD**

| Date application received | Date made valid | Target report date | 8 Week date |
|---------------------------|-----------------|--------------------|-------------|
| 17.06.2024                | 17.06.2024      | 12.08.2024         | 12.08.2024  |

**Site:**

176 St Leonards Road, East Sheen, London, SW14 7NN

**Proposal:**

Proposed single storey rear extension

Status: Pending Decision (If status = HOLD please check that all is OK before you proceed any further with this application)

**APPLICANT NAME**

Mr and Mrs Pangbourne  
176 St Leonards Road  
East Sheen  
London  
Richmond Upon Thames  
SW14 7NN

**AGENT NAME**

Mr Dan Brandt  
45 Maplewell Road  
Woodhouse Eaves  
Loughborough  
LE12 8RG

**DC Site Notice:** printed on and posted on and due to expire on

**Consultations:**

**Internal/External:**

**Consultee**

Network Rail

**Expiry Date**

09.07.2024

**Neighbours:**

178 St Leonards Road, East Sheen, London, SW14 7NN, - 18.06.2024

174 St Leonards Road, East Sheen, London, SW14 7NN, - 18.06.2024

**History: Development Management, Appeals, Building Control, Enforcements:**

Development Management

Status: GTD

Date: 29/05/2007

Application: 07/1212/HOT

Single storey rear extension.

Development Management

Status: REF

Date: 29/05/2007

Application: 07/1213/PS192

Loft conversion with front roof lights, hip to gable and rear mansard roof extension.

Development Management

Status: GTD

Date: 10/12/2007

Application: 07/3770/PS192

The partial removal of existing roof, taking out the hips at eastern end and extending rafters along to the flank wall raised up to form new gable. Insertion of steel brams and new flooring in loft and construction of stud partition to provide a master bedroom, ensuite bathroom and dressing room/closet. Inserting of two dormer windows into rear roof slope and velux lights into front, whilst retaining existing sashes in eastern flank wall.

Development Management

Status: GTD

Date: 01/04/2015

Application: 15/0413/PS192

Conversion and extension of existing attic in semi detached single family dwelling house to provide additional bedroom and bath/shower room,

including replacement of existing hipped roof flank with gable end and addition of back dormer

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Development Management

Status: PDE

Application:24/1527/HOT

Date:

Proposed single storey rear extension

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Building Control

Deposit Date: 26.08.2005

New installation rewire or partial rewire Dwelling house

Reference: 07/74371/NICEIC

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Building Control

Deposit Date: 10.12.2007

Installed a Gas Boiler

Reference: 07/COR01469/CORGI

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Building Control

Deposit Date: 24.12.2007

BRECECA: New installation rewire or partial rewire Dwelling house

Reference: 08/BRE00012/BRECECA

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Building Control

Deposit Date: 26.08.2015

Loft conversion incorporating hip end to gable and rear dormer window

Reference: 15/2028/BN

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Building Control

Deposit Date: 21.10.2015

Install replacement windows in a dwelling Install replacement door in a dwelling

Reference: 16/FEN00571/FENSA

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Building Control

Deposit Date: 13.03.2019

Install replacement door in a dwelling

Reference: 19/FEN00649/FENSA

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Building Control

Deposit Date: 27.06.2024

Single Storey Rear Extension

Reference: 24/0780/IN

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|                                  |  |
|----------------------------------|--|
| <b>Application Number</b>        | <b>24/1527/HOT</b>   |
| <b>Address</b>                   | <b>176 St Leonards Road<br/>East Sheen<br/>London<br/>SW14 7NN</b> |
| <b>Proposal</b>                  | <b>Proposed single storey rear extension</b>                       |
| <b>Contact Officer</b>           | <b>Sukhdeep Jhooti</b>   |
| <b>Target Determination Date</b> | <b>12.08.2024</b>  |

## 1. INTRODUCTION

This application is of a nature where the Council's Constitution delegates the authority to make the decision to Officers rather than it being determined by the Planning Committee.

Before preparing this summary report the planning officer considered any relevant previous planning applications in relation to the development and considered any comments made by those interested in the application such as consultees with specialist knowledge and nearby residents.

By indicating that the development proposal complies with relevant Local Plan Policies, the planning officer has considered the information submitted with the application, any previous relevant applications, any comments received in connection with the application and any other case specific considerations which are material to the decision.

## 2. DESCRIPTION OF THE SITE AND ITS SURROUNDINGS

The application site comprises a two-storey, semi-detached dwellinghouse within East Sheen Village and is designated as follows:

- Area Benefitting Flood Defence
- Flood Zone 2
- Increased Potential Elevated Groundwater
- Risk of Flooding from Surface Water 1 in 100 chance
- Village [East Sheen Village]
- Village Character Area [St Leonards Road/ Ormonde Road and surrounds – Character Area 3 East Sheen Village Planning Guidance Page 21 CHARAREA05/03/01]

## 3. DESCRIPTION OF THE PROPOSAL AND ANY RELEVANT PLANNING HISTORY

The proposed development comprises single-storey rear extension

The comprehensive list of planning history can be found above however the most relevant planning history is as follows:

- **15/0413/PS192.** Conversion and extension of existing attic in semi-detached single-family dwelling house to provide additional bedroom and bath/shower room, including replacement of existing hipped roof flank with gable end and addition of back dormer. **Granted**
- **07/3770/PS192.** The partial removal of existing roof, taking out the hips at eastern end and extending rafters along to the flank wall raised up to form new gable. Insertion of steel beams and new flooring in loft and construction of stud partition to provide a master bedroom, ensuite bathroom and dressing room/closet. Inserting of two dormer windows into rear roof slope and velux lights into front, whilst retaining existing sashes in eastern flank wall. **Granted**
- **07/1213/PS192.** Loft conversion with front roof lights, hip to gable and rear mansard roof extension. **Refused**
- **07/1212/HOT.** Single-storey rear extension. **Granted**

## 4. CONSULTATIONS CARRIED OUT

The list of neighbours notified of this application are listed above.

No letters of representation were received.

### AMENDMENTS

Eaves height reduced from 2.4m to 2.3m and a 45-degree line has been shown from the centre of the Officer Planning Report – Application 24/1527/HOT Page 3 of 10

nearest ground floor habitable room window at 178 St Leonards Road. These amendments do not prejudice neighbours or materially affect the design of the scheme. As such, a neighbour consultation is not required.

## 5. MAIN POLICIES RELEVANT TO THE DECISION

### NPPF (2023)

The key chapters applying to the site are:

- 4. Decision-making
- 12. Achieving well-designed places
- 14. Meeting the challenge of climate change, flooding and coastal change
- 15. Conserving and enhancing the natural environment

These policies can be found at:

<https://www.gov.uk/guidance/national-planning-policy-framework>

### London Plan (2021)

The main policies applying to the site are:

- D4 Delivering good design
- D12 Fire Safety

These policies can be found at: <https://www.london.gov.uk/what-we-do/planning/london-plan>

### Richmond Local Plan (2018)

The main planning considerations applying to the site and the associated Local Plan policies are:

| Issue   | Local Plan Policy | Compliance |               |
|---|-------------------|------------|---------------|
| Local Character and Design Quality            | LP1,              | Yes        | <del>Ne</del> |
| Impact on Amenity and Living Conditions       | LP8               | Yes        | <del>Ne</del> |
| Impact on Biodiversity                        | LP15              | Yes        | <del>Ne</del> |
| Impact on Trees, Woodland and Landscape       | LP16              | Yes        | <del>Ne</del> |
| Impact on Flood Risk and Sustainable Drainage | LP21              | Yes        | <del>Ne</del> |

These policies can be found at

[https://www.richmond.gov.uk/media/15935/adopted\\_local\\_plan\\_interim.pdf](https://www.richmond.gov.uk/media/15935/adopted_local_plan_interim.pdf)

### Richmond Publication Local Plan (Regulation 19 version)

The Richmond Publication Version Local Plan (Regulation 19 version) was published on 9 June 2023 for public consultation which ended on 24 July 2023.

The Publication Version Local Plan, together with all the representations received during the representation period, the plan and its supporting documents were submitted to the Secretary of State for examination on 19 January 2024. The submission documents do not form part of the statutory development plan for the Borough, however, by publishing and submitting the Borough Local Plan for independent examination the Council has formally confirmed its intention to adopt the Publication Plan.

The Publication Version Local Plan, including its evidence base, are material considerations for decision-making. The weight to be given to each of the emerging policies and allocations will depend on an assessment against the criteria set out in paragraph 48 of the NPPF. As the Council considers the emerging Borough Local Plan to be sound and legally compliant, officers and Councillors should accord relevant policies and allocations significant weight in the determination of applications taking account of the extent to which there are unresolved objections to relevant policies. Therefore, the weight afforded to each policy at this stage will differ depending on the level and type of representation to that policy. This is addressed in more detail in the assessment below where it is relevant to the application.

Note that it was agreed by Full Council on 27 April, when the Publication Plan was approved, that no weight will be given to Policy 4 in relation to the increased carbon offset rate, and therefore the existing rate of £95 will continue to be used; in addition, no weight will be given to Policy 39 in relation to the 20% biodiversity net gain requirement; all other aspects and requirements of these policies will apply.

| Issue                              | Publication Local Plan Policy | Compliance |               |
|------------------------------------|-------------------------------|------------|---------------|
| Local character and design quality | 28                            | Yes        | <del>No</del> |
| Biodiversity and Geodiversity      | 39                            | Yes        | <del>No</del> |
| Trees, Woodland and Landscape      | 42                            | Yes        | <del>No</del> |
| Amenity and living conditions      | 46                            | Yes        | <del>No</del> |

These policies can be found at

[https://www.richmond.gov.uk/media/16749/hpn\\_plan\\_2018\\_to\\_2033\\_january\\_2019.pdf](https://www.richmond.gov.uk/media/16749/hpn_plan_2018_to_2033_january_2019.pdf)

### Supplementary Planning Documents

House Extension and External Alterations  
Village Plan – East Sheen Village

These policies can be found at:

[https://www.richmond.gov.uk/services/planning/planning\\_policy/local\\_plan/supplementary\\_planning\\_documents\\_and\\_guidance](https://www.richmond.gov.uk/services/planning/planning_policy/local_plan/supplementary_planning_documents_and_guidance)

## 6. EXPLANATION OF OFFICER RECOMMENDATION

The key issues for consideration are:

- i Design
- ii Impact on neighbour amenity
- iii Trees
- iv Flood Risk
- v Fire Safety

### i Design

*Policy LP1 of the Local Plan 2018 seeks to maintain and, where possible, enhance the high architectural and urban design quality which contributes to the character and heritage of the area. Proposals should demonstrate an understanding of the site and its context when considering the design including layout, siting and access and the compatibility of the works to the neighbouring uses.*

*The Councils SPD relating to House Extensions and External Alterations states that the overall shape, size and position of side and rear extensions should not dominate the existing house or its neighbours. It should harmonise with the original appearance, either by integrating with the house or being made to appear as an obvious addition.*

The proposed extension would be built from complementary materials. It would have a dual pitched roof to complement the pitched roof of the existing house. Whilst it would benefit from contemporary glazing, this helps ensure it serves as an obvious addition to the host dwellinghouse. The footprint would be proportionate to the footprint of the original house and rear garden area.

In view of the above, the proposal complies with the aims and objectives of policy LP1 and policy 28 of the Publication Local Plan.

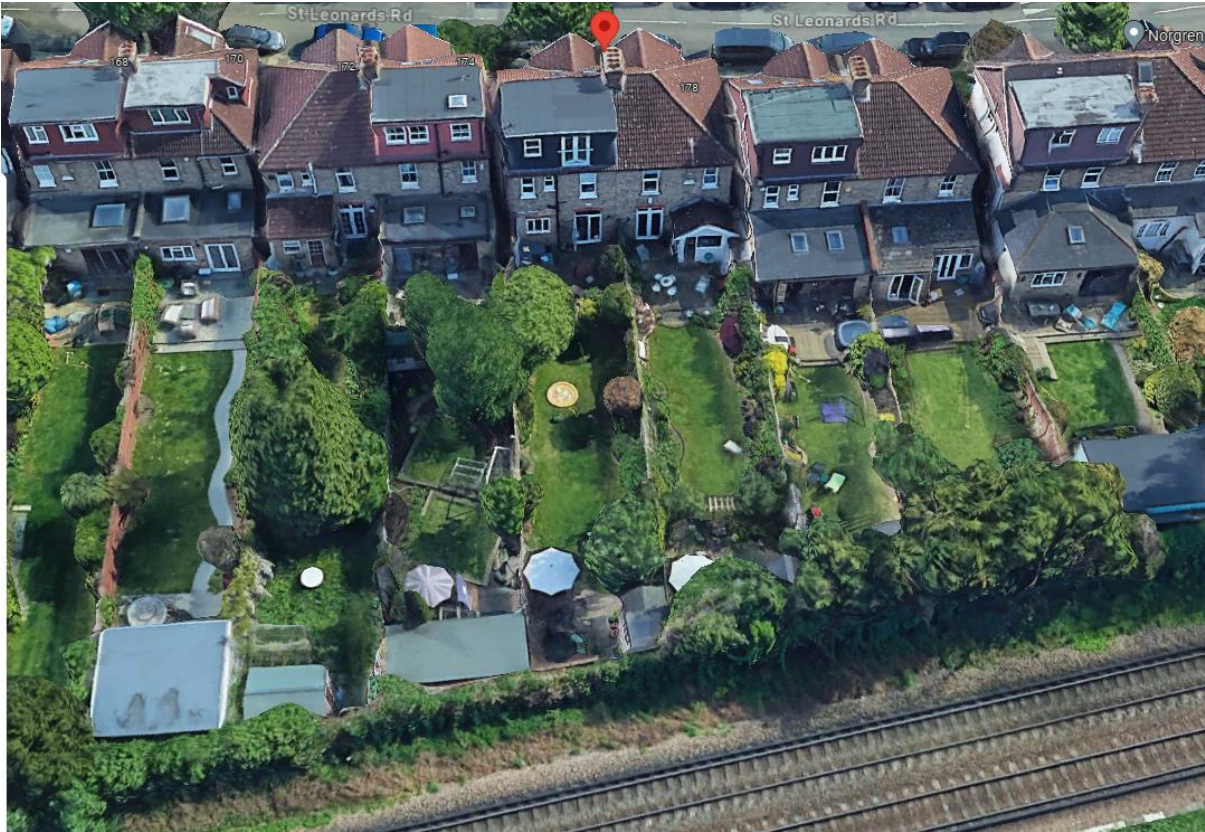
### ii Impact on neighbour amenity

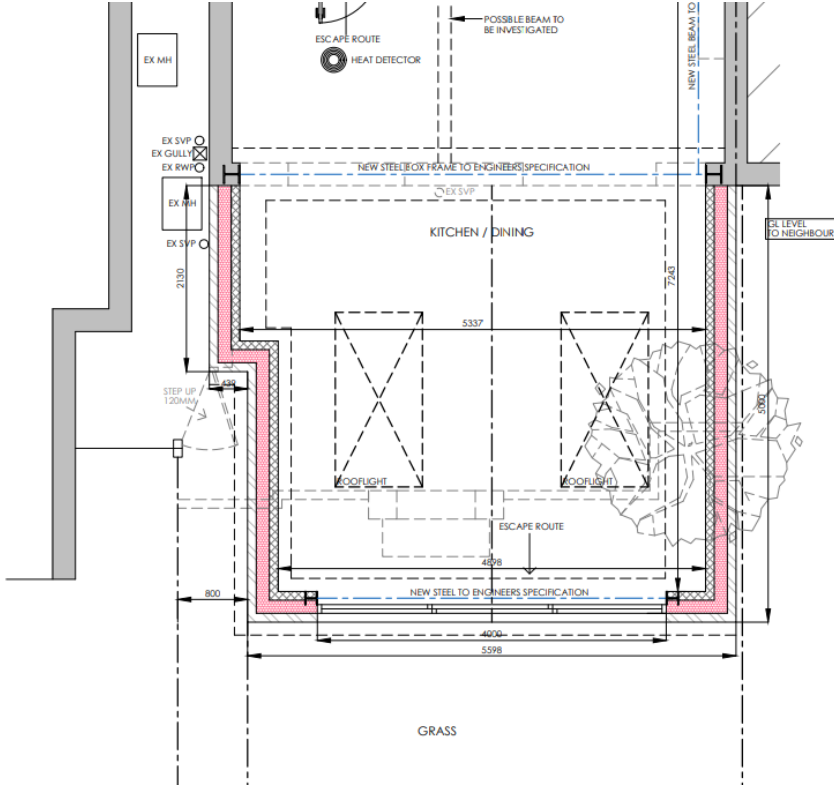
*Policy LP8 states that development must protect the amenity and living conditions of existing, adjoining and neighbouring occupants. Design must allow for good daylight standards, avoid overlooking or noise disturbance, avoid visual intrusion, overbearing impacts or harm to the reasonable enjoyment of the uses of buildings and gardens. Harm may arise from various impacts such as noise, air pollution, odours or vibration.*

*The SPD on House Extensions and External Alterations notes that generally an extension of 3.5m in depth for a semi-detached will be acceptable. However, the final test of acceptability is dependent on the specific circumstances of the site which may justify greater rear projection. For example, one way of achieving this is ensuring the eaves height should be reduced to 2.2m to ensure an extension does not appear overbearing. Extensions should comply with the BRE daylight/sunlight test with regards to daylight/sunlight.*

174 St Leonards Rd

In this instance the extension would not project significantly beyond the extension at No. 174 St Leonards Road. It would be set off from the common boundary by approx. 800mm with this neighbouring property and would have an eaves height of 2.3m which is 0.3m higher than that of a boundary fence/wall constructed under permitted development and 0.1m higher than the 2.2m height specified in the House Extensions SPD. The scheme would comply with the BRE test with regards to daylight/sunlight when taken from the centre of the nearest ground floor rear habitable room window. No side windows of this neighbouring property would be affected as there are no flank windows at ground floor level adjacent to proposed extension. As such, the proposal would not lead to a material loss of light, outlook/appear overbearing when viewed from the habitable room windows and garden areas of this neighbouring property due to its overall height, width and depth.



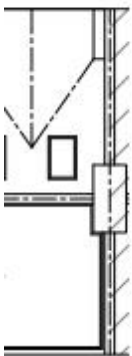




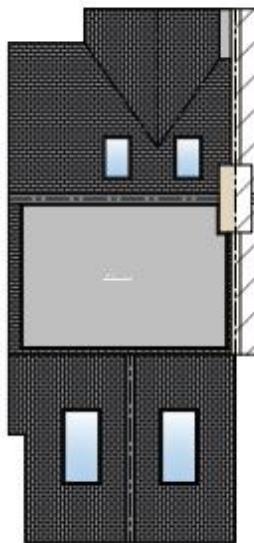
PROPOSED SIDE ELEVATION 1:100



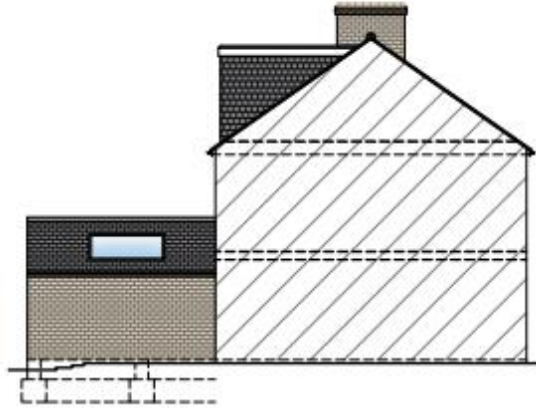
PROPOSED REAR ELEVATION 1:100



PLAN 1:100



PROPOSED ROOF PLAN 1:100



PROPOSED SIDE ELEVATION 1:100

### 178 St Leonards Rd

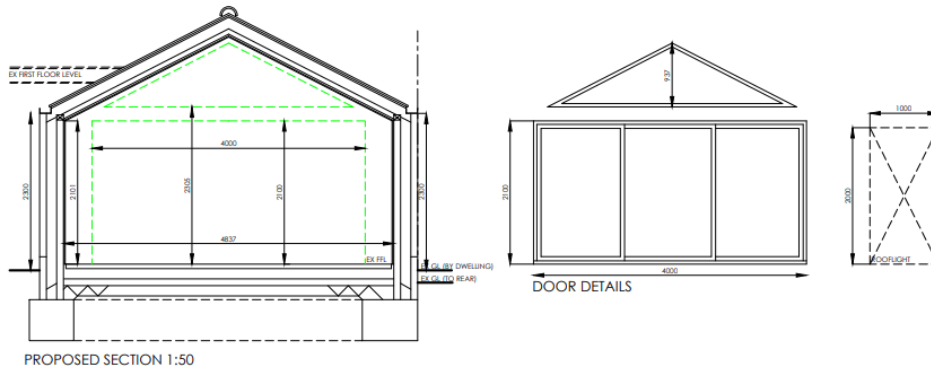
The proposed would be approx. 1.5m deeper than what is usually permitted under the council's SPD relating to House Extensions and External Alterations but given the eaves height would be 2.3m which is 0.3m higher than that of a boundary fence/wall and 0.1m higher than the 2.2m eaves height usually allowed under the House Extensions SPD, it would not appear overbearing/visually intrusive. The scheme would comply with the 45-degree BRE test in relation to daylight/sunlight when taken from the centre of the nearest ground floor rear habitable room window. An elevational test has been provided from the centre of the nearest ground floor rear habitable room window of this neighbouring property, which is more accurate than a plan test. As such, the extension would not lead to a material loss of light when viewed from the rear garden area and habitable room windows of this neighbouring property.

It is also noted that the house benefits from permitted development rights. Under Schedule 2, Part 1, Class A of The Town and Country Planning (General Permitted Development) (England) Order 2015, the applicant could benefit from applying for a single-storey extension of up to 6m in depth, provided that there are no objections from either neighbour.

Therefore, whilst the depth is generous, given the eaves height and compliance with the 45-degree BRE elevational test, the proposed extension is in this particular instance, considered to safeguard the amenities enjoyed by the inhabitants of No's 174 and 178 St Leonards Road [nearest affected properties].

The proposed extension would not lead to material increases in the levels of overlooking from linear and lateral views. Sectional drawings show rooflights would be above head height so would not lead to an undue loss of privacy to neighbouring properties.





No other properties would be impacted by the scheme as it backs onto a railway. In view of the above, the scheme would safeguard neighbour living conditions in line with LP8 of the Local Plan 2018.

**iii Trees**

Policies LP15 and LP16 seek to protect biodiversity and health and longevity of trees, woodland and landscape in the borough. Local Plan policy LP16, subsection 5 requires;

"That trees are adequately protected throughout the course of development, in accordance with British Standard 5837 - Trees in relation to design, demolition and construction, Recommendations (2012)."

The site is not within a conservation area and there are no TPO trees on or adjacent to the site. Shrubs which are not afforded statutory protection would be removed to facilitate the proposal. Significant tract of rear garden area would be retained following the implementation of the proposal. As such, would comply with policy LP16 of the Local Plan.

**iv Biodiversity**

Biodiversity net gain became mandatory for minor developments on applications made from 2<sup>nd</sup> April 2024. This application is exempt from mandatory biodiversity net gain on the grounds that is a householder application.

**v Flood Risk**

Policy LP21 of the Local Plan 2018 seeks to ensure that all development minimises and reduces flood risk from all sources. Floor levels would be no lower than existing as such the scheme would not materially increase flood risk.

**vi Fire Safety**

Policy D12 of the London Plan relates to fire safety. A fire safety statement has been submitted which meets the aims and objectives of Policy D12. A condition would be imposed to ensure that the development adheres to the submitted fire safety statement on an ongoing basis. It would accordingly comply with Policy D12 of the London Plan.

**v Railway**

Network Rail have been consulted as the site backs onto railway tracks which are owned by Network Rail. They have raised no objections to the proposal.

**7. LOCAL FINANCE CONSIDERATIONS AND OTHER MATTERS**

Section 70(2) of the Town and Country Planning Act 1990 (as amended) provides that a local planning

authority must have regard to a local finance consideration as far as it is material. The weight to be attached to a local finance consideration remains a matter for the decision maker. The Mayor of London's CIL and Richmond CIL are therefore material considerations.

On initial assessment this development is not considered liable for the Mayoral or Richmond CIL however this is subject to confirmation by the CIL Administration Team

## 8. RECOMMENDATION

This recommendation is made following careful consideration of all the issues raised through the application process.

### Grant planning permission

Paragraph 11 of the Framework explains how the presumption in favour of sustainable development applies. For the reasons set out above, this application falls to be determined in accordance with the test under section 38(6) of the 2004 Act, the proposal is in general conformity with the Development Plan overall and there are no material considerations of sufficient weight to justify refusal.

#### Recommendation:

The determination of this application falls within the scope of Officer delegated powers - YES / ~~NO~~

#### I therefore recommend the following:

- |    |                      |                                     |
|----|----------------------|-------------------------------------|
| 1. | REFUSAL              | <input type="checkbox"/>            |
| 2. | PERMISSION           | <input checked="" type="checkbox"/> |
| 3. | FORWARD TO COMMITTEE | <input type="checkbox"/>            |

This application is CIL liable  YES\*  NO  
(\*If yes, complete CIL tab in Uniform)

This application requires a Legal Agreement  YES\*  NO  
(\*If yes, complete Development Condition Monitoring in Uniform)

This application has representations online (which are not on the file)  YES  NO

This application has representations on file  YES  NO

Case Officer (Initials): SJH

Dated: ...24.07.2024

#### I agree the recommendation:

Senior Planner

VAA

Dated: 24.07.27