

Design and Access / Planning Statement

**Proposed rear ground floor extension, second floor rear roof terrace,
alterations to second floor rear fenestration, rear roof terrace, side extension,
raised front boundary wall and electric gate**

At: 78 Castelnau, Barnes

On behalf of: Mr Alex Dolman

July 2024

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1.0 Introduction

- 1.1 This planning statement has been prepared on behalf Mr Alex Dolman to accompany a planning application for a proposed rear ground floor extension, second floor rear roof terrace, alterations to second floor rear fenestration, rear roof terrace, side extension, raised front boundary wall and electric gate at 78 Castelnau, Barnes, SW13 9EX ("the Site").
- 1.2 This statement describes the site and the surrounding area. It then goes on to set out the planning policies relevant to the proposed development. The proposed works are described in detail and followed by a planning assessment.
- 1.3 It is concluded that planning permission should be granted for the proposed works.

2.0 The Site and Surrounding Area

- 2.1 The site comprises a semi-detached dwelling located on Castelnau, Barnes,
- 2.2 The site is not Listed but does lie in the Castelnau Conservation Area. The property is designated as a Building of Townscape Merit ("BTM"). The site lies in Flood Zone 3.
- 2.3 The Conservation Area Statement identifies that:

"At the southern end of Castelnau the houses are well set back from the road and are often hidden by planting with only the strong repeated outline of the steep pitched gable fronted slate roofs being visible through foliage."



Figure 1: Aerial view of the Site (Google Earth) Site boundary show in red (approx.)

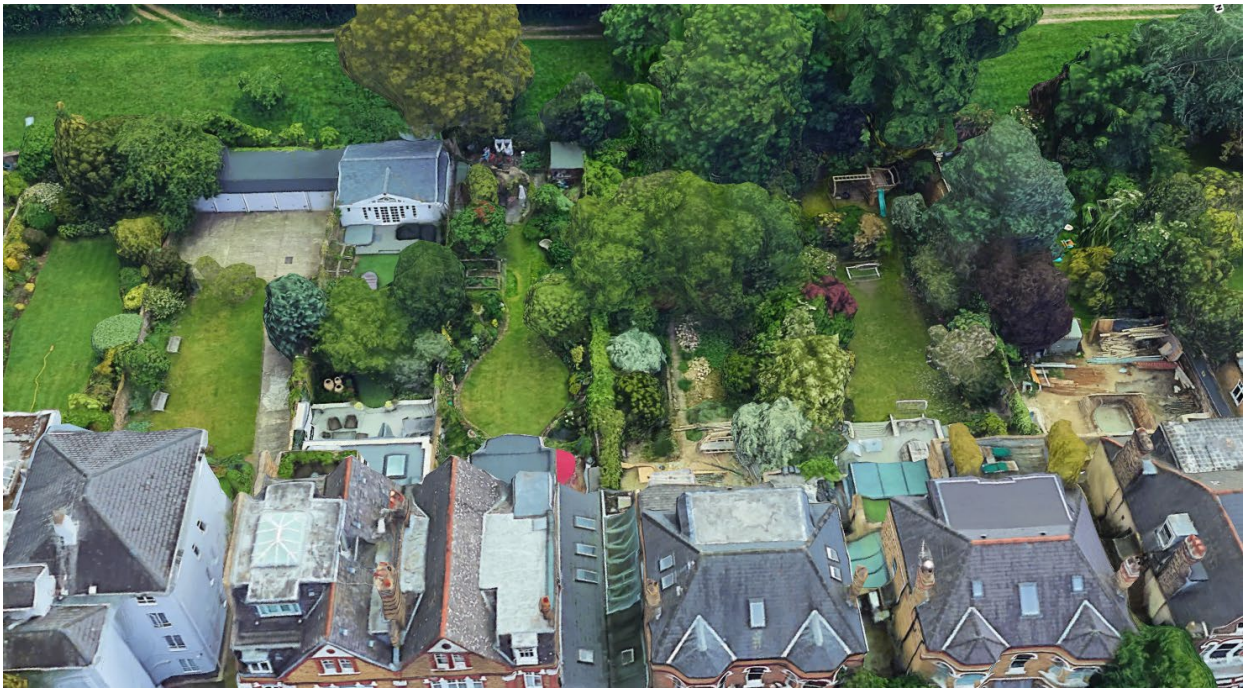


Figure 2: Aerial view of the Site (Google Earth) Note Garden building at 80 Castelnau adjacent to the site

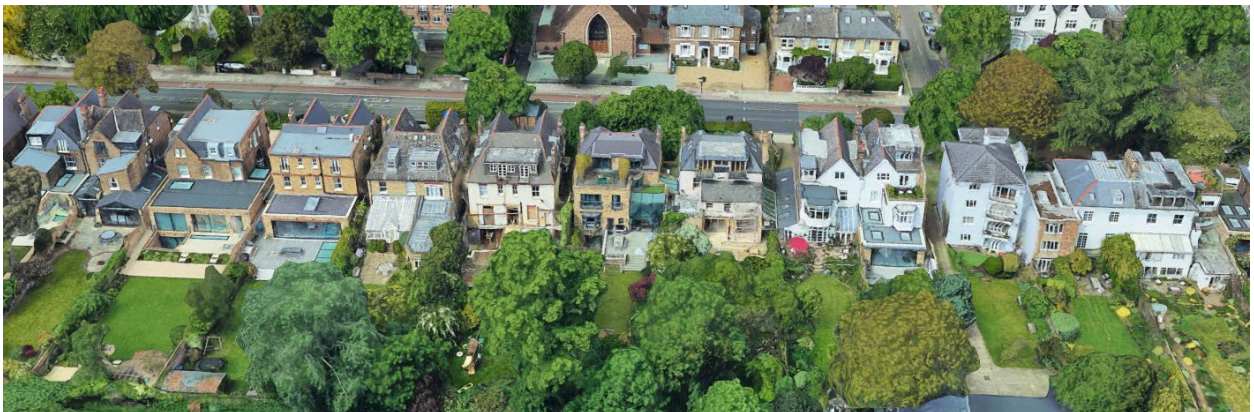


Figure 3: Aerial view of the rear Site (Google Earth) Note number and variety of rear extensions to properties in vicinity to the Site



Figure 4: Aerial view of the rear Site (Google Earth) note extension at 80 Castelnau

3.0 Planning History

3.1 The following section sets out the planning history for the Site and some of the properties in proximity to the Site.

The Site

3.2 There has been a series of applications at the Site, as set out below:

Ref	Description	Decision
24/0978/HOT	Proposed rear ground floor extension and garden building. Second floor rear juliet balcony, alterations to second floor rear fenestration and associated rear roof extension. Side extension.	Granted Permission 10/06/2024
14/3431/HOT	Replacement of rear bedroom window.	Refused Permission 20/10/2014
11/3474/HOT	Installation of on-roof photovoltaic solar panels at the property	Withdrawn by the Applicant 06/01/2012
09/T0052/TCA	T1 - Tree of Heaven - Lift Crown only by removing lower branches and dense ivy T2 - Holm Oak – Remove lower branches over driveway	Granted Permission 24/02/2009

09/T0021/TCA	T1 - Tree Of Heaven - Lift crown by removing lower branches and dense ivy T2 - Holm Oak - Remove lo. lower branches.	Granted Permission 24/02/2009
98/T0809	Silver Birch - Remove	Granted Permission 03/08/1998
98/T0810	Box Elder - Remove	Granted Permission 03/08/1998
83/0202	Conversion of the property to form three self-contained flats, erection of a first floor extension and provision of covered external stairs from first to second floors. Rearrangement of forecourt area to provide three parking spaces. (Revised drawings; 1258D and 1259D received 28/9/83, additional drawing to show forecourt received 28/9/83).	Granted Permission 15/11/1983
82/1302	Erection of a first floor side extension above existing garage and provision of a covered external staircase to the second floor. (Revised plans 1264 and 1263 received 28th September, 1983 and 14th October, 1983).	Granted Permission 15/11/1983
82/0964	Alterations to premises including the erection of a three storey side extension with water tanks over and the erection of a single storey conservatory extension.	Refused Permission 08/10/1982

4.0 Proposed Development

- 4.1 The proposed development is for a proposed rear ground floor extension, second floor rear roof terrace, alterations to second floor rear fenestration, rear roof terrace, side extension, raised front boundary wall and electric gate at 78 Castelnau.
- 4.2 The proposed works are generally similar to the application approved in June 2024. As part of the detailed design a series of changes are required. The current application differs from the approved scheme as follows:
- Introduction of roof terrace to mirror that at 80 Castelnau (see figure 4)
 - Changes to rear fenestration
 - Changes to front elevation – Garage
 - Introduction of electric gate and raised boundary wall
 - Changes to rear garden terrace

- 4.3 The electric gate has been designed to reflect other gates on Castelnau. In particular the gate at 76 Castelnau.

5.0 Planning Policy

- 5.1 Section 72 of the Planning (Listed Buildings and Conservation Areas) Act 1990 states that special attention shall be paid by Local Planning Authorities to the desirability of preserving or enhancing the character or appearance of that area.
- 5.2 National Policy Guidance is produced by Central Government in the form of the National Planning Policy Framework (2023).

- 5.3 At the heart of the NPPF is the presumption in favour of sustainable development (para 11). It identifies development proposals, that accord with an up-to-date development plan, should be approved without delay.
- 5.4 Section 16 of the NPPF is concerned with conserving and enhancing the historic environment.
- 5.5 Paragraph 200 of the NPPF states:

"In determining applications, local planning authorities should require an applicant to describe the significance of any heritage assets affected, including any contribution made by their setting. The level of detail should be proportionate to the assets' importance and no more than is sufficient to understand the potential impact of the proposal on their significance"

- 5.6 The development plan relevant to the proposed development is:
- London Plan (2021)
 - Richmond Local Plan
- 5.7 Also relevant are the following Supplementary Planning Documents ("SPDs"):
- House Extensions and External Alterations (June 2015)
 - Residential Development Standards (March 2010)

The Richmond Local Plan

- 5.8 The Richmond Local Plan was adopted in July 2018. Key policies relevant to the proposals are set out below.
- 5.9 Policy LP1 of the Local Plan seeks to maintain and, where possible, enhance the high architectural and urban design quality which contributes to the character and heritage of the area.
- 5.10 Policy LP3 of the Local Plan 2018 covers Designated Heritage Asset and states that proposals should conserve and take opportunity to make positive contribution to the historic environment such as retaining and preserving the original structure, layout, architectural features and materials or reinstatement of heritage assets. Appropriate materials and techniques should be used.
- 5.11 The significance of the asset is taken into consideration when assessing works proposed to a designated heritage asset.
- 5.12 All proposals in Conservation Areas are required to preserve and, where possible, enhance the character or the appearance of the Conservation Area.
- 5.13 Policy LP4 identifies that the Council will seek to preserve, and where possible enhance, the significance, character and setting of non-designated heritage assets, including Buildings of Townscape Merit.
- 5.14 Policy LP8 requires all development to protect the amenity and living conditions for occupants of new, existing, adjoining and neighbouring properties. This includes

ensuring adequate light is achieved, preserving privacy and ensuring proposals are not visually intrusive.

5.15 Policy LP15 identifies that the Council will protect and enhance the borough's biodiversity. The Policy identifies that where development would impact on a species or a habitat the potential harm should:

1. Firstly, be avoided (the applicant has to demonstrate that there is no alternative site with less harmful impacts)
2. Secondly be adequately mitigated; or
3. As a last resort, appropriately compensated for.

5.16 Policy LP21 of the Local Plan states that all developments should avoid or minimise, contributing to all sources of flooding, including fluvial, tidal, surface water, groundwater and flooding from sewers, taking account of climate change and without increasing flood risk elsewhere.

Building of Townscape Merit Supplementary Planning Document

5.17 The Council's BTM SPD was adopted in May 2015.

5.18 Paragraph 4.1 states that:

"The removal of original or characteristic features, or the introduction of unsympathetic windows, doors or materials can not only destroy the visual quality of one building but erode the entire character and interest of an area. Many Buildings of Townscape Merit play a crucial role in the character of local areas. The sympathetic maintenance and adaptation of these buildings can preserve and indeed increase the attractiveness of an area."

House Extensions and External Alterations SPD ("HEEASPD")

5.19 The Council's House Extensions and External Alterations SPD was adopted in 2015.

5.20 Under the heading "Impact on Residential Amenity" the SPD identifies:

"Extensions that create an unacceptable sense of enclosure or appear overbearing when seen from neighbouring gardens or rooms will not be permitted. This could be due to the height, footprint or proximity of the proposals to the surrounding area."

5.21 The statement goes on to encourage:

"The retention of the original form of the host property and any alterations should enhance the quality of the building. The original appearance should always be the reference point when considering any changes. In terms of extensions, they should not dominate the existing house and should harmonise with the original appearance."

Castelnau Conservation Area Statement

5.22 The Council's Castelnau Conservation Area Statement identifies that the

"The original conservation area, which included the Castelnau villas, the villas of Lonsdale Road and the linked village centre, were designated in recognition of the architectural and historic value of the continuous groups of buildings along Castelnau in a setting of fine trees."

6.0 Assessment

6.1 The key planning issues with the proposed development are:

- Impact on character and appearance of the area
- Neighbour Amenity
- Fire

Impact on Character and Appearance of the Area

6.2 As identified in the Local Plan, development should either preserve or enhance the character of the Conservation Area. Likewise, the Council requires that the character and setting of BTMs should be preserved or enhanced.

6.3 Generally speaking, the application is similar to the approved extension. There are some additional changes proposed.

6.4 The introduction of the roof terrace at the second floor will provide a small amenity area. This has been designed to reflect other roof terraces elsewhere on the application side of Castelnau (see Figures 5 and 6).



Figure 5: Aerial view of the rear of the Site (Google Earth) highlighting a number of properties with roof terraces



Figure 6: Floor plan showing proposed and adjoining roof terraces

- 6.5 The proposed change to the garage elevation includes a change to the brickwork and a change to the garage doors. These are in keeping with other properties on Castelnau.
- 6.6 The Google Earth image does not take into account the approved extension at 76 Castelnau which includes a rear roof terrace.
- 6.7 The proposed electric gate and raised boundary wall have been designed to reflect other gates on Castelnau (see figures 7 and 8).



Figure 7: 76 Castelnau Electric Gates



Figure 8: 68 Castelnau Electric Gates

Neighbour Amenity

- 6.8 There will be no harm created as a result of the introduction of the roof terrace on the second floor, particularly as the properties either side both have roof terraces at this level.
- 6.9 Therefore, there will be no harm to the amenity of neighbouring properties created by the construction of the proposed extension.
- 6.10 The proposed development is therefore in accordance with Policy 21 of the Local Plan.

Flood Risk

- 6.11 The householder FRA concludes that there will be no increase in impermeable area such as could increase the flood risk on site or elsewhere because the part of the site where the works are proposed is already paved hard surface or has existing buildings on it.

Fire

- 6.12 The Reasonable Exemption Statement identifies that there will be no change required to the fire safety measures as a result of the proposed development.

7.0 Conclusions

- 7.1 Planning permission is sought for a proposed rear ground floor extension. Second floor rear roof terrace, alterations to second floor rear fenestration and associated rear roof extension side extension and electric gate.
- 7.2 The assessment has demonstrated that there will be no harm to the street scene or to the Conservation Area. There will be no impact on neighbour amenity. There are no planning reasons why the proposals should be refused. It is therefore requested that planning permission be granted for the proposed development.

Chestnut Planning
July 2024