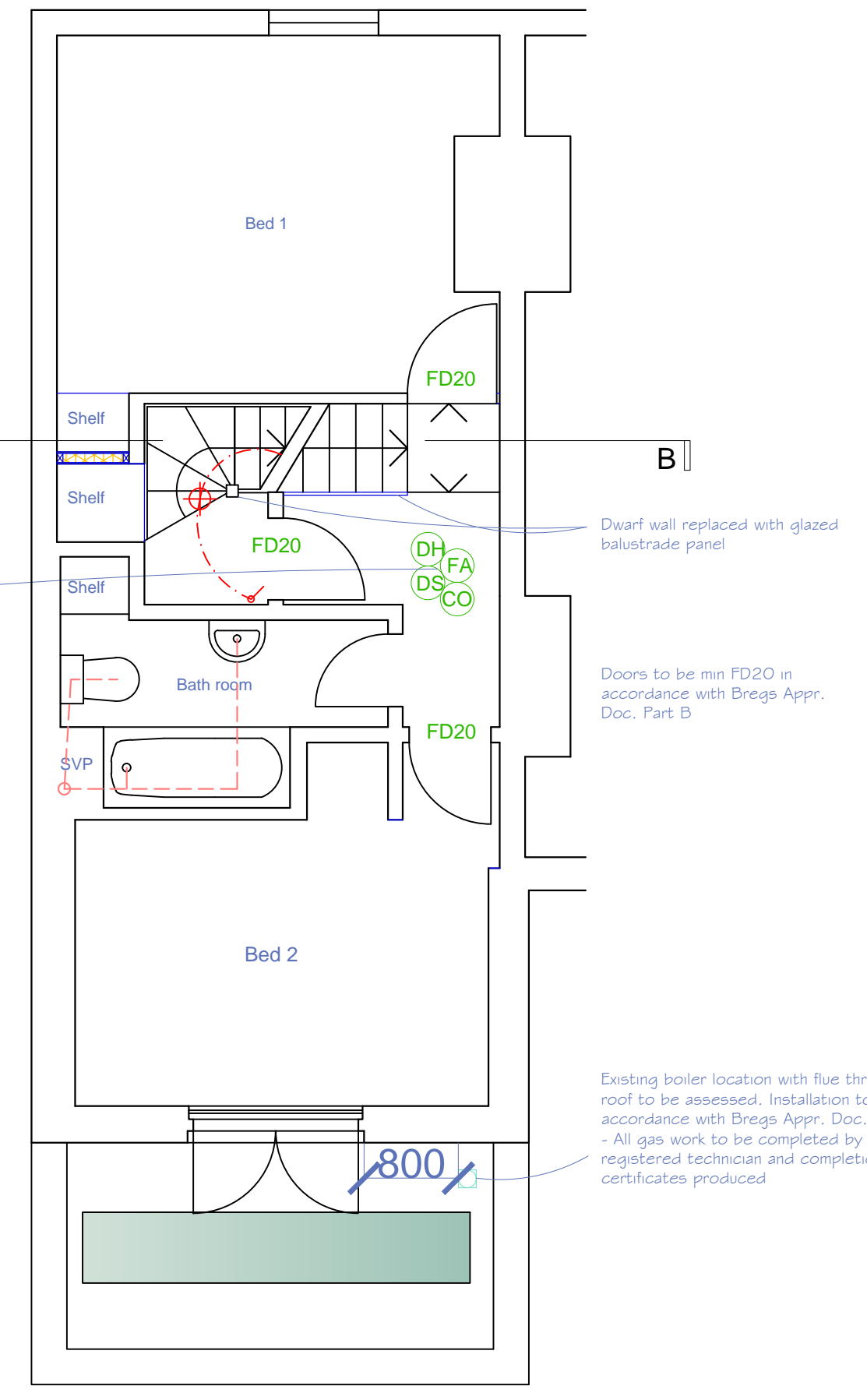
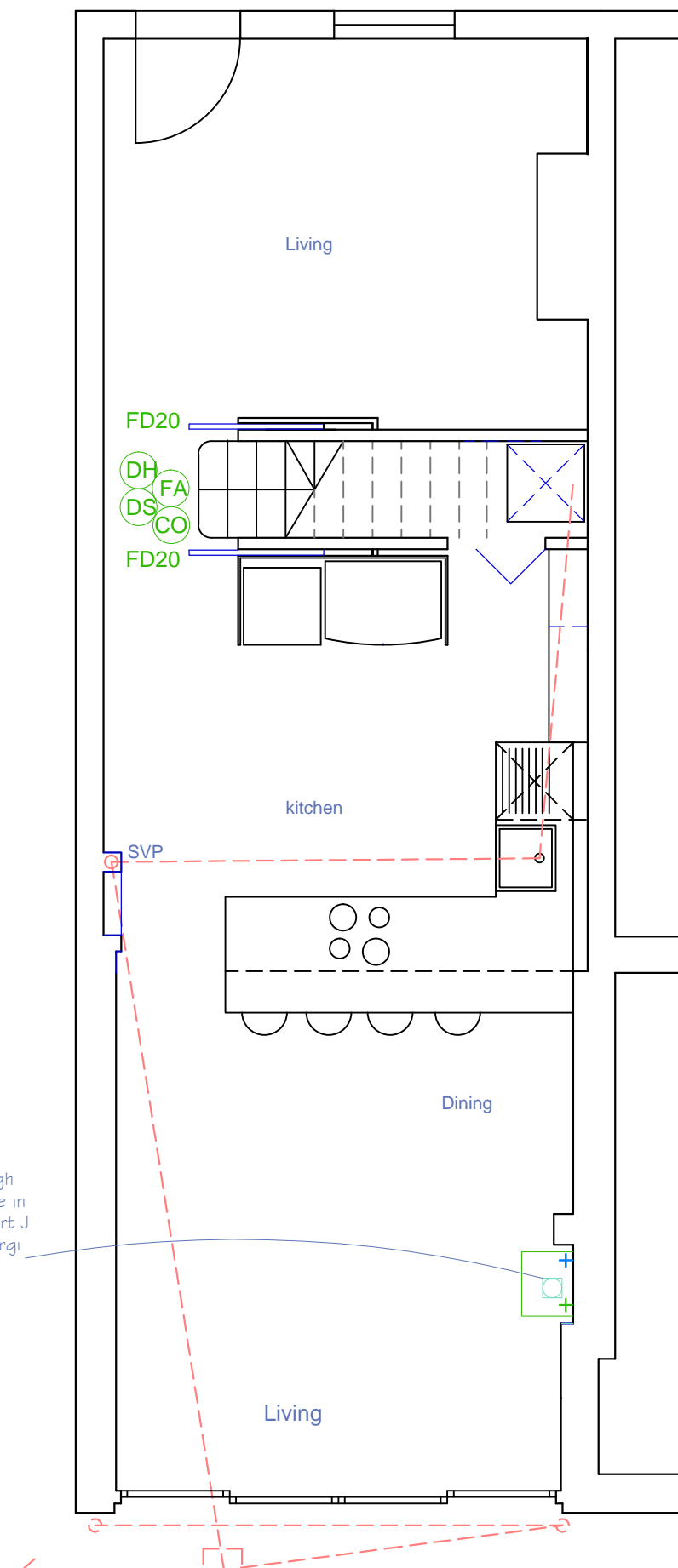


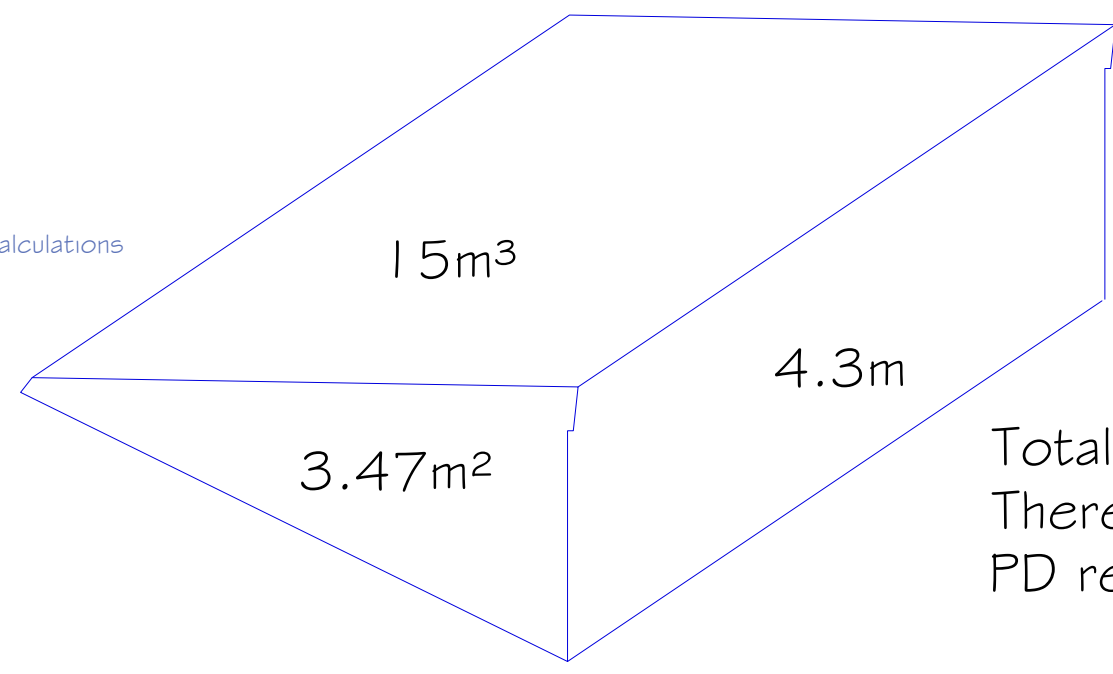
Proposed Second Floor Plan at 1:50 scale @ A1



Proposed First Floor Plan at 1:50 scale @ A1



Proposed Ground Floor Plan at 1:50 scale @ A1



Total new volume = 15m³
Therefore under 40m³
PD requirement

General notes:

This drawing is to be used for layout and general guidance use only, and viewed in conjunction with the Structural Engineer's drawings and calculations, Specialist Manufacturer's detailing and Lead Contractor's and Building Inspector's experience.

If there is any case of conflict, the detailing provided by the Structural Engineer, Lead Contractor, Specialist Manufacturers and Building Inspector should take precedent over the details within this drawing and it is imperative that dimensions must be checked and clarified on site and not taken from this drawing.

Qualified electrical, gas and plumbing contractors to recommend exact positions and layout of services on site in line with current health and safety regulations.

Electrical installations should be designed and installed in accordance with BS 7671:2018. Please note that upon completion of the work, sufficient information should be provided to ensure that people can operate, maintain or alter an electrical installation with reasonable safety.

All wall sockets and light fitting plates to match existing, and to British Standards. Internal and external light fittings to be low energy type with a luminous efficacy greater than 45 lumens per circuit-Watt and a total output greater than 400 lamp lumens.

Please note that upon completion of the work completion certificates and sufficient information should be provided to ensure that the end users can operate and maintain the systems installed.

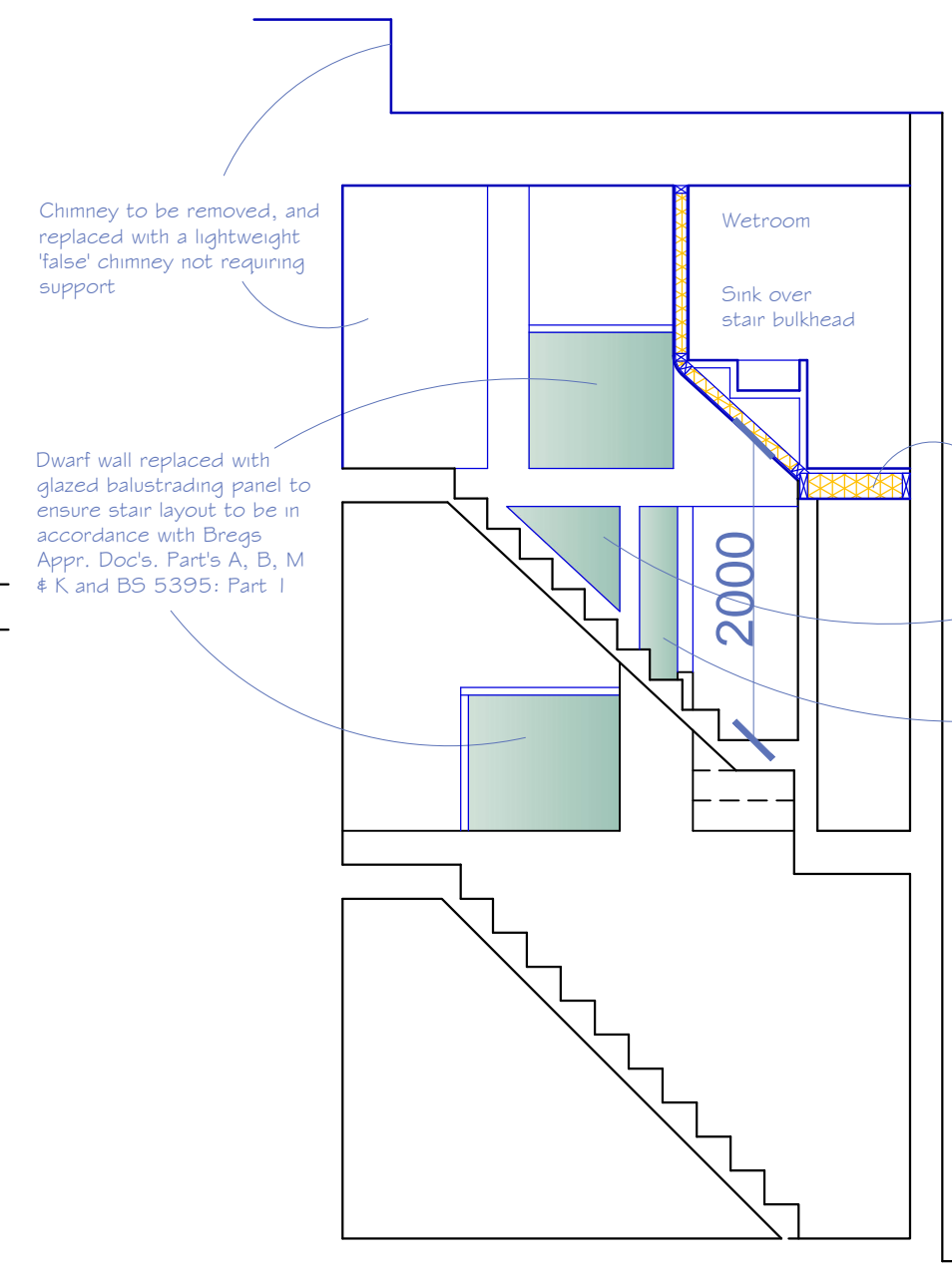
All work to be Building Regulation's compliant, to be agreed and signed off by Building Control; be they a private Approved Inspector or the Local Authority.

Part L Calculation

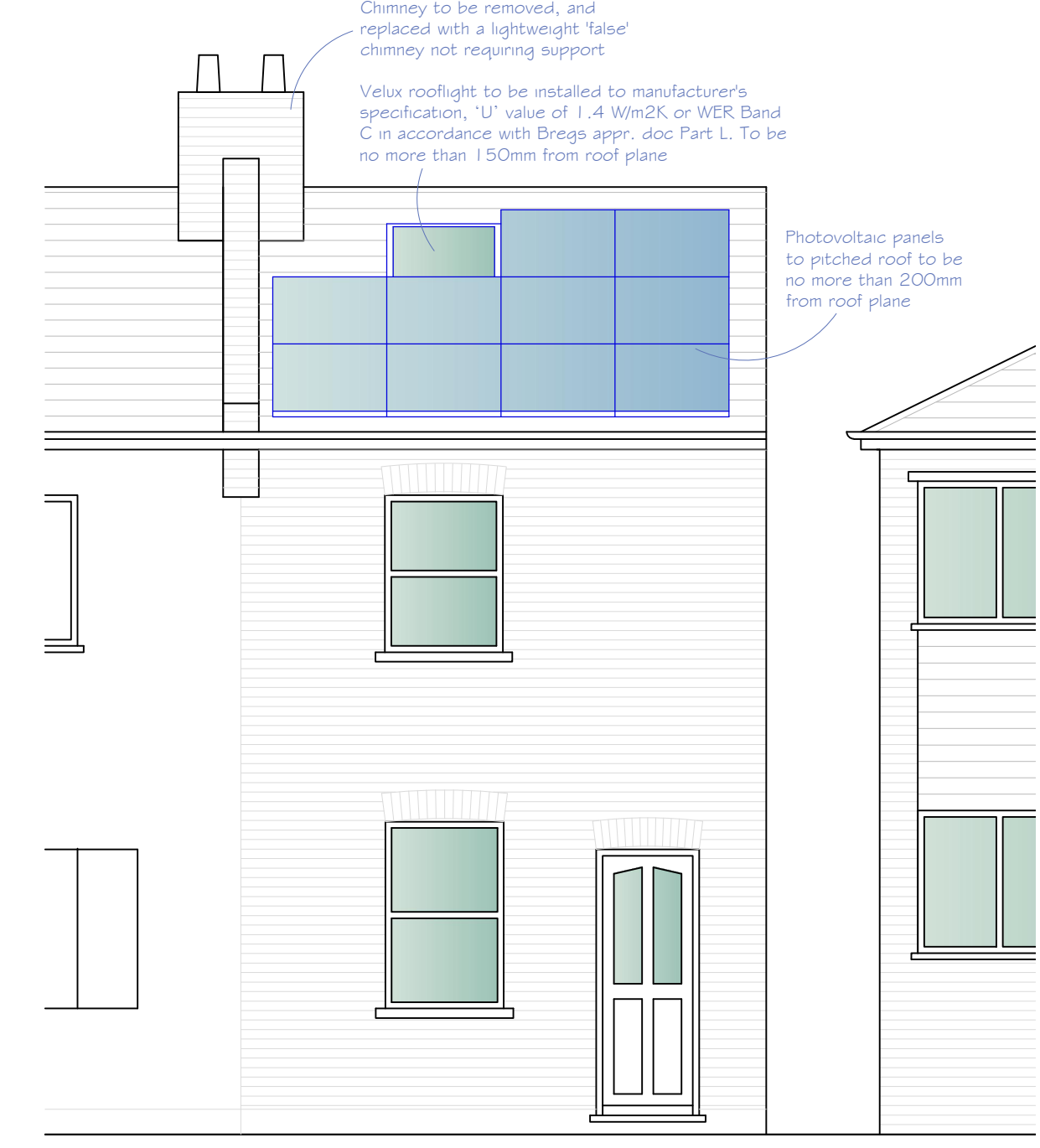
Floor areas - Ground floor - 40.8 sqm + First floor - 33.2 sqm + Second floor - 15.6 sqm = Total - 89.6 sqm

Glazing area - Ground floor - Existing doors, windows and rooflights = 12.17 sqm
First floor - Existing window and doors = 4.15 sqm
Second floor - Proposed Juliet balcony (2sqm) + Rooflights (0.8sqm) = 2.8 sqm
Total - 19.2 sqm

25% of 89.6sqm (floor area) = 22.4 sqm
Glazing is therefore compliant with Part L1B



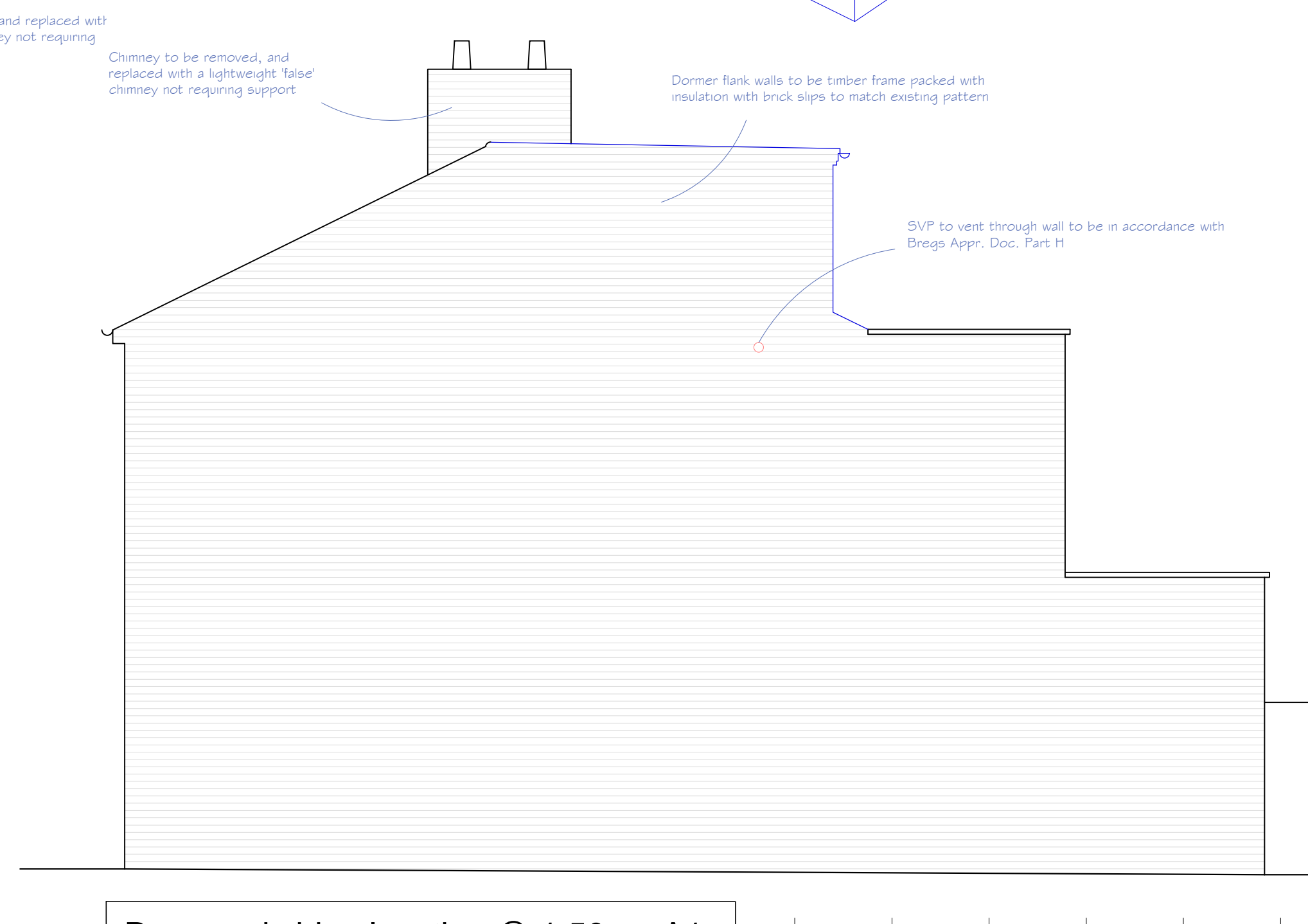
Proposed section BB at 1:50 scale @ A1



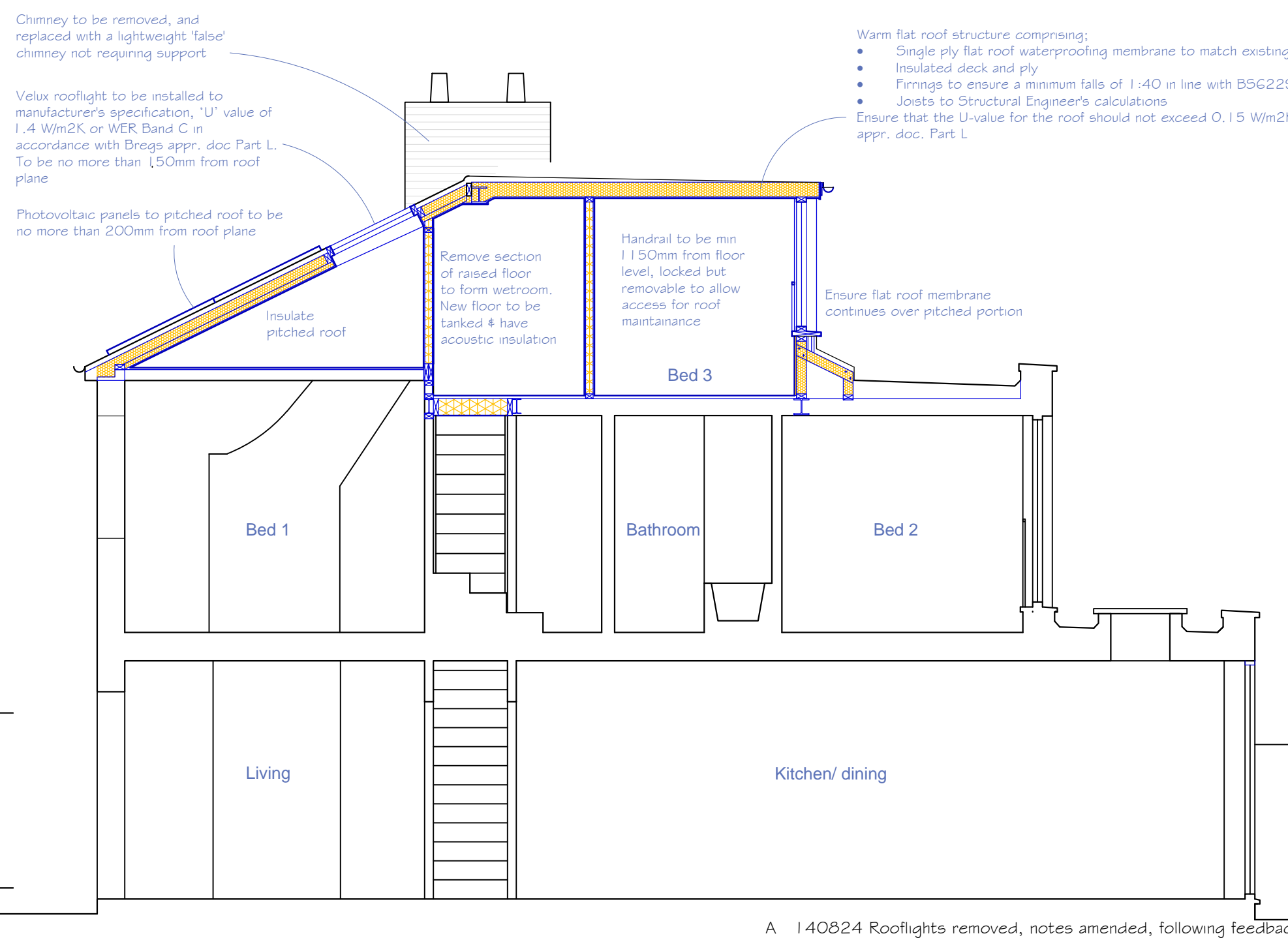
Proposed front elevation at 1:50 scale @ A1



Proposed rear elevation at 1:50 scale @ A1



Proposed side elevation @ 1:50 on A1



Proposed section AA at 1:50 scale @ A1

Warm flat roof structure comprising:

- Single ply flat roof waterproofing membrane to match existing
- Insulated deck and ply
- Finnings to ensure a minimum falls of 1:40 in line with BS6229 & BS5217.
- Joints to Structural Engineer's calculations

Ensure that the U-value for the roof should not exceed 0.15 W/m²K, in accordance with Bregs appr. doc. Part L

A 140824 Rooflights removed, notes amended, following feedback from planning

rev.	date

Client: Mr & Mrs Lawton Drawing: Proposed plans and sections
Project: 21 St Margarets Grove Scale: 1:50 @A1 Date: June 2024

CoL/ BREGS 140824

No dimensions to be scaled from this drawing. All dimensions to be checked on site, and works completed by competent and qualified personnel. This drawing is copyright and should not be reproduced without the permission of the Draftsman.

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