



**Application reference: 24/1576/HOT**  
 SOUTH RICHMOND WARD

Date application received	Date made valid	Target report date	8 Week date
21.06.2024	21.06.2024	16.08.2024	16.08.2024

**Site:**

10 Sheen Common Drive, Richmond, TW10 5BN,

**Proposal:**

Minor alterations to front elevation and landscaping, a rear and side extension, roof reconfiguration, external and internal insulation

**APPLICANT NAME**

C/o Agent  
 10 Sheen Common Drive  
 Richmond  
 Richmond Upon Thames  
 TW10 5BN

**AGENT NAME**

Miss Laura Tutty  
 129 Kew Road  
 Richmond  
 TW9 2PN  
 United Kingdom

**DC Site Notice:** printed on 24.06.2024 and posted on 05.07.2024 and due to expire on 26.07.2024

**Consultations:**

**Internal/External:**

**Consultee**

LBRuT Trees Preservation Officer (South)  
 14D Urban D  
 Cadent Gas Plant Protection  
 LBRuT Non-Commercial Environmental Health Noise Issues

**Expiry Date**

08.07.2024  
 08.07.2024  
 15.07.2024  
 08.07.2024

**Neighbours:**

- 11 Sheen Common Drive, Richmond, TW10 5BW, - 24.06.2024
- 9 Sheen Common Drive, Richmond, TW10 5BW, - 24.06.2024
- 12 Sheen Common Drive, Richmond, TW10 5BN, - 24.06.2024
- 8 Sheen Common Drive, Richmond, TW10 5BN, - 24.06.2024

**History: Development Management, Appeals, Building Control, Enforcements:**

Development Management

Status: RNO Application: 22/T0910/TCA

Date: 07/12/2022 Silver birch - fell because of proximity to outbuilding which is resulting in damage. The surveyor has identified that this damage will intensify resulting in increasing damage to the outbuilding but also to the perimeter boundary walls. A replacement tree of the same species and a similar size will be planted in another area of the plot.

Development Management

Status: RNO Application: 23/T0621/TCA

Date: 18/09/2023 T4, Apple - Fell T6, Apple - Fell T7, Pear - Fell T8, Holly - Fell T9, Apple - Fell T11, Pear - Fell Please also note that it is intended to replace these trees with an equal number of similar garden/orchard trees.

Development Management

Status: REF Application: 23/3067/PS192

Date: 14/12/2023 Construction of a timber clad outbuilding.

Development Management

Status: REF Application:23/3322/HOT

Date:28/02/2024 Single storey side and rear extension. First floor rear extension. Proposed porch, AC unit, external insulation, replacement roof with front dormer, rear gable, rooflights and PV, boundary alterations.

Development Management

Status: GTD Application:23/3395/PS192

Date:05/02/2024 Construction of a timber clad outbuilding

Development Management

Status: PCO Application:24/1576/HOT

Date: Minor alterations to front elevation and landscaping, a rear and side extension, roof reconfiguration, external and internal insulation

Development Management

Status: PCO Application:24/1686/PS192

Date: Construction of a timber clad outbuilding, founded on a piled raft to avoid affecting tree roots.

Appeal

Validation Date: 18.03.2024 Construction of a timber clad outbuilding.

Reference: 24/0037/AP/REF **Appeal In Progress**

Appeal

Validation Date: 18.03.2024 Construction of a timber clad outbuilding.

Reference: 24/0038/AP/REF

Appeal

Validation Date: 05.06.2024 Single storey side and rear extension. First floor rear extension.

Proposed porch, AC unit, external insulation, replacement roof with front dormer, rear gable, rooflights and PV, boundary alterations.

Reference: 24/0071/AP/REF **Appeal In Progress**

Building Control

Deposit Date: 19.10.2006 Installed a Gas Boiler

Reference: 06/93053/CORGI

Building Control

Deposit Date: 25.05.2012 2 Windows

Reference: 12/FEN01571/FENSA

<b>Application Number</b>	<b>24/1576/HOT</b>
<b>Address</b>	<b>10 Sheen Common Drive Richmond TW10 5BN</b>
<b>Proposal</b>	<b>Minor alterations to front elevation and landscaping, a rear and side extension, roof reconfiguration, external and internal insulation</b>
<b>Contact Officer</b>	<b>Jeremy Maclsaac</b>
<b>Target Determination Date</b>	<b>16/08/2024</b>

## 1. INTRODUCTION

This application is of a nature where the Council's Constitution delegates the authority to make the decision to Officers rather than it being determined by the Planning Committee.

Before preparing this summary report the planning officer considered any relevant previous planning applications in relation to the development and considered any comments made by those interested in the application such as consultees with specialist knowledge and nearby residents.

By indicating that the development proposal complies with relevant Local Plan Policies, the planning officer has considered the information submitted with the application, any previous relevant applications, any comments received in connection with the application and any other case specific considerations which are material to the decision.

## 2. DESCRIPTION OF THE SITE AND ITS SURROUNDINGS

The application property is a two-storey, detached dwelling, located on the western side of Sheen Common Drive.

The application site is subject to the following planning constraints:

Archaeological Priority	Site: Richmond APA 2.7 East Sheen Common - Archaeological Priority Area - Tier II
Area Susceptible to Groundwater Flood - Environment Agency	Superficial Deposits Flooding - $\geq$ 75% - SSA Pool ID: 1491
Article 4 Direction Basements	Article 4 Direction - Basements / Ref: ART4/BASEMENTS / Effective from: 18/04/2018
Conservation Area	CA69 Sheen Common Drive
Critical Drainage Area - Environment Agency	Richmond Town Centre and Mortlake [Richmond] / Ref: Group8_004 /
Gas High Pressure Pipe Cadent PLC (aka National Grid PLC) Safeguard Zone	Outer Safeguarding Zone High Pressure 30 inch Gas Pipeline - Cadent Gas Ltd (former National Grid PLC) 130 metre zone + 10 metre Consult a) Cadent Gas Ltd plantprotection@cadentgas.com 0800 688 588 beforeyoudig.nationalgrid.com, b) HSE <a href="http://www.hse.gov.uk/landuseplanning/">http://www.hse.gov.uk/landuseplanning/</a>
Increased Potential Elevated Groundwater	GLA Drain London
Other Open Land of Townscape Importance	Site: Private gardens 2-48 Sheen Common Drive, 103/107/109 Ch - N_OOL_SR_077 - 2-48 Sheen Common Drive, 103/7/9 Christchurch Rd - OOLTI
Risk of Flooding from Surface Water 1 in 100 chance - Environment Agency	RoFSW Extent 1 In 100 year chance - SSA Pool ID: 19496
Risk of Flooding from Surface Water 1 in 1000 chance - Environment Agency	RoFSW Extent 1 In 1000 year chance - SSA Pool ID: 47973
Risk of Flooding from Surface	RoFSW Extent 1 In 1000 year chance - SSA Pool ID: 99093

Water 1 in 1000 chance - Environment Agency	
Risk of Flooding from Surface Water 1 in 30 chance - Environment Agency	RoFSW Extent 1 In 30 year chance - SSA Pool ID: 9964
Surface Water Flooding (Area Less Susceptible to) - Environment Agency	
Surface Water Flooding (Area Susceptible to) - Environment Agency	
Village	Richmond and Richmond Hill Village
Village Character Area	Sheen Common Drive - Character Area 15 & Conservation Area 69 East Sheen Village Planning Guidance Page 49 CHARAREA05/15/01
Ward	South Richmond Ward

### 3. DESCRIPTION OF THE PROPOSAL AND ANY RELEVANT PLANNING HISTORY

The proposed development comprises minor alterations to front elevation and landscaping, a rear and side extension, roof reconfiguration, external and internal insulation

The comprehensive list of planning history can be found above however the most relevant planning history is as follows:

23/3322/HOT – Refused Permission

Single storey side and rear extension. First floor rear extension. Proposed porch, AC unit, external insulation, replacement roof with front dormer, rear gable, rooflights and PV, boundary alterations.

The application was refused for the following reasons:

#### *Amenity*

*The proposed second floor balcony, by reason of its size, siting and relationship to neighbouring properties would result in an unacceptable loss of privacy to the detriment of the amenities enjoyed by the occupants of neighbouring properties. The proposal is therefore contrary to, in particular, Policy LP 8 of the Local Plan (2018) and policy 46 of the Publication Local Plan.*

#### *Design and Heritage*

*The proposed front porch, external insulation, and rear first floor and roof extensions including balcony and fenestration, by reason of their siting, design, bulk, mass and loss of traditional architectural details, would result in a dominant, unsympathetic and incongruous form of development that would cause harm to the appearance of the host dwelling and less than substantial harm to the character and appearance of the Sheen Common Drive Conservation Area. This is contrary to policies, in particular, LP1 and LP3 of the Local Plan, Publication Local Plan policies 28 and 29, the House Extensions and External Alterations SPD and the Richmond and Richmond Hill Village Plan as supported by the Sheen Common Drive Conservation Area Statement and Study. The proposals do not satisfy the statutory duty of Section 72 (1) of the Planning (Listed Buildings and Conservation Areas) Act 1990 and do not meet Policy HC1 (C) of the London Plan (2021) or relevant paragraphs of the NPPF (2023).*

### 4. CONSULTATIONS CARRIED OUT

The list of neighbours notified of this application are listed above.

No letters of representation were received.

### 5. MAIN POLICIES RELEVANT TO THE DECISION

**NPPF (2023)**

The key chapters applying to the site are:

- 4. Decision-making
- 12. Achieving well-designed places
- 16. Conserving and enhancing the historic environment

These policies can be found at:

<https://www.gov.uk/guidance/national-planning-policy-framework>

**London Plan (2021)**

The main policies applying to the site are:

- D4 Delivering good design
- D12 Fire Safety
- HC1 Heritage conservation and growth

These policies can be found at: <https://www.london.gov.uk/what-we-do/planning/london-plan>

**Richmond Local Plan (2018)**

The main planning considerations applying to the site and the associated Local Plan policies are:

Issue	Local Plan Policy	Compliance	
Local Character and Design Quality	LP1	<del>Yes</del>	No
Impact on Designated Heritage Assets	LP3	<del>Yes</del>	No
Impact on Non-Designated Heritage Assets	LP4	<del>Yes</del>	No
Impact on Amenity and Living Conditions	LP8	Yes	<del>No</del>
Impact on Trees, Woodland and Landscape	LP16	Yes	<del>No</del>

These policies can be found at

[https://www.richmond.gov.uk/media/15935/adopted\\_local\\_plan\\_interim.pdf](https://www.richmond.gov.uk/media/15935/adopted_local_plan_interim.pdf)

**Richmond Publication Local Plan (Regulation 19 version)**

The Richmond Publication Version Local Plan (Regulation 19 version) was published on 9 June 2023 for public consultation which ended on 24 July 2023.

The Publication Version Local Plan, together with all the representations received during the representation period, the plan and its supporting documents were submitted to the Secretary of State for examination on 19 January 2024. The submission documents do not form part of the statutory development plan for the Borough, however, by publishing and submitting the Borough Local Plan for independent examination the Council has formally confirmed its intention to adopt the Publication Plan.

The Publication Version Local Plan, including its evidence base, are material considerations for decision-making. The weight to be given to each of the emerging policies and allocations will depend on an assessment against the criteria set out in paragraph 48 of the NPPF. As the Council considers the emerging Borough Local Plan to be sound and legally compliant, officers and Councillors should accord relevant policies and allocations significant weight in the determination of applications taking account of the extent to which there are unresolved objections to relevant policies. Therefore, the weight afforded to each policy at this stage will differ depending on the level and type of representation to that policy. This is addressed in more detail in the assessment below where it is relevant to the application.

Note that it was agreed by Full Council on 27 April, when the Publication Plan was approved, that no weight will be given to Policy 4 in relation to the increased carbon offset rate, and therefore the existing rate of £95 will continue to be used; in addition, no weight will be given to Policy 39 in relation to the 20% biodiversity net gain requirement; all other aspects and requirements of these policies will

apply.

Issue	Publication Local Plan Policy	Compliance	
		Yes	No
Local character and design quality	28	Yes	No
Designated heritage assets	29	Yes	No
Non-designated heritage assets	30	Yes	No
Trees, Woodland and Landscape	42	Yes	No
Amenity and living conditions	46	Yes	No

### Supplementary Planning Documents

House Extension and External Alterations

Village Plan – East Sheen

These policies can be found at:

[https://www.richmond.gov.uk/services/planning/planning\\_policy/local\\_plan/supplementary\\_planning\\_documents\\_and\\_guidance](https://www.richmond.gov.uk/services/planning/planning_policy/local_plan/supplementary_planning_documents_and_guidance)

### Other Local Strategies or Publications

Other strategies or publications material to the proposal are:

Sheen Common Drive Conservation Area Statement

Sheen Common Drive Conservation Area Study

### Determining applications in a Conservation Area

In considering whether to grant planning permission with respect to any buildings or other land in a conservation area, Section 72 of the Planning (Listed buildings and Conservation Areas) Act 1990 requires that special attention shall be paid to the desirability of preserving or enhancing the character or appearance of the Conservation Area. In this context, "preserving", means doing no harm.

To give effect to that duty, decisions of the court have confirmed that for development proposed to be carried out in a conservation area, a decision-maker should accord "considerable importance and weight" to the desirability of preserving or enhancing the character or appearance of the conservation area, when weighing this factor in the balance with other material considerations which have not been given this special statutory status. This creates a strong presumption against granting planning permission where harm to the character or appearance of a conservation area is identified. The presumption can be rebutted by material considerations powerful enough to do so.

In applications where the decision-maker is satisfied that there will be no harm to the character or appearance of a conservation area, the statutory presumption against granting planning permission described above falls away. In such cases the development should be permitted or refused in accordance with the policies of the development plan and other material considerations.

## 6. EXPLANATION OF OFFICER RECOMMENDATION

The key issues for consideration are:

- i Design and impact on heritage assets
- ii Impact on neighbour amenity
- iii Trees
- iv Fire Safety

### i Design and impact on heritage assets

*Policy LP1 of the Local Plan 2018 seeks to maintain and, where possible, enhance the high architectural and urban design quality which contributes to the character and heritage of the area. Proposals should demonstrate an understanding of the site and its context when considering the design including layout, siting and access and the compatibility of the works to the neighbouring uses.*

*The Councils SPD relating to House Extensions and External Alterations states that the overall shape, size and position of side and rear extensions should not dominate the existing house or its neighbours. It should harmonise with the original appearance, either by integrating with the house or being made to appear as an obvious addition.*

*Policy LP3 of the Local Plan 2018 covers Designated Heritage Asset and states that proposals should conserve and take opportunity to make positive contribution to the historic environment such as retaining and preserving the original structure, layout, architectural features and materials or reinstatement of heritage assets. Appropriate materials and techniques should be used. There is a requirement to seek to avoid harm or justify for loss and demolition will be resisted. The significance of the asset is taken into consideration when assessing works proposed to a designated heritage asset.*

*The Councils SPD relating to House Extensions and External Alterations states that the overall shape, size and position of side and rear extensions should not dominate the existing house or its neighbours. It should harmonise with the original appearance, either by integrating with the house or being made to appear as an obvious addition.*

This property comprises a large detached house to the western side of Sheen Common Drive, to the south of the junction with Kings Ride Gate. It rises two storeys in height, with an asymmetric frontage including entrance to the left and a full height bay window stepped forward to the right, surmounted by a gable. The main roof is hipped to the front, with the ridge running back from the street. The building has painted brick masonry to the ground floor and render to the first floor, with a moulded band running beneath the sills of the first floor windows.

The building is unlisted but is located within the Sheen Common Drive Conservation Area (CA69). The conservation area is largely distinguished by 1920s estate housing, but the site and its close neighbours on this side of the road (Nos. 6-14) are first shown on the 1913 OS map, as some of the earlier buildings developed in the area. In this way the site makes a positive contribution to the character and appearance of the conservation area, representing one of the earliest phases of residential development as part of a small pocket of early twentieth century properties at the western end of Sheen Common Drive. Within this group three of the properties (Nos. 8-12) have particular similarities in terms of their form and palette of materials. Each property has undergone various alterations but they still maintain group value and have a character distinct from the surrounding 1920s housing this should be preserved when considering proposals for alterations. More widely the street is highly verdant, with front gardens and mature garden planting making a positive contribution to the character and appearance of the conservation area.

The Sheen Road Conservation Area Statement makes the following comments about character:

*It is not only the unity of date, architectural style and materials that distinguishes this area from the surrounding developments, but also the existence of well maintained landscaped verges between the footways and Berwyn Road and Sheen Common Drive...*

*The design of these houses has some merit, but more importantly the palette of material used is equally restrained and uniform. These include red plain roof tiles, red / brown bricks, pebbledash, render, tile hanging, casement windows and half timbered first floors. There are remarkably few instances of unsightly roof extensions, poorly designed side extensions or unsympathetic replacement windows.*

The proposals have not been informed by pre-application advice. The DAS refers to the property as being 1920s, when it is an earlier addition to the conservation area with a distinctive character reflective of that period that needs to be preserved. The scheme follows the aforementioned refused application, and this current application attempts to address the reasons for refusal.

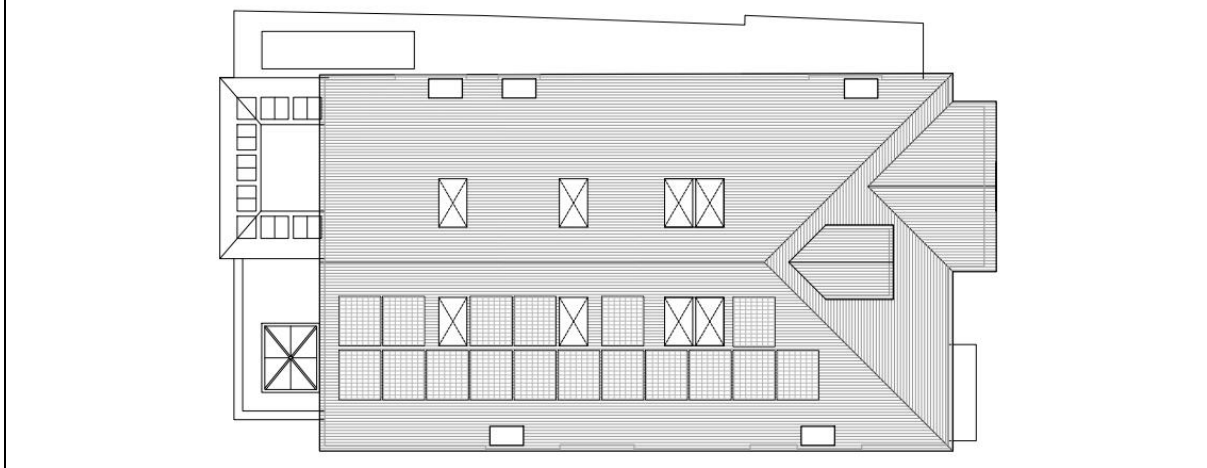
The courts have been absolutely clear about the importance of consistent decision making in the planning context. A decision that is inconsistent with a previous material decision must be justified by a "clear explanation" as to why the previous decision has been departed from. The failure to give a clear explanation when it is required amounts to an error of law.

Changes to the proposed rear elevation and roof plan are shown below for ease of reference:

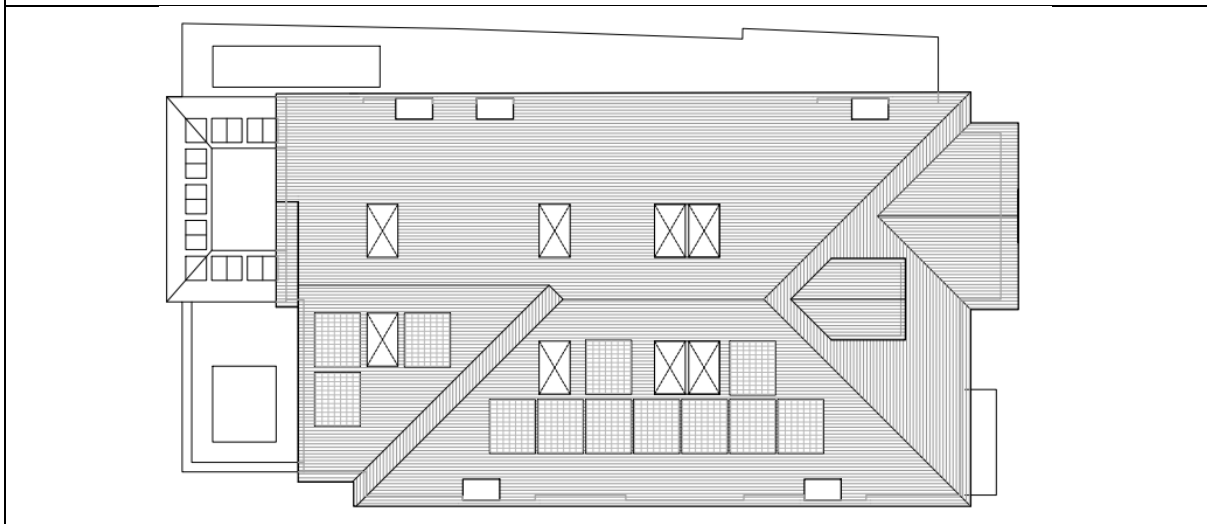


Rear elevation as refused under 23/3322/HOT

Rear elevation as currently proposed



Roof plan as refused under 23/3322/HOT



Roof plan as currently proposed

*Front Porch*

The porch was included in the previous reason for refusal, and the officer report notes concerns surrounded the impact of the gable element of the porch. This has been addressed in the current submission by removing the gable element from the revised drawings. The proposed red brick porch would match a similar structure to No.12 and would not look out of keeping within the small group of



properties. As such, the applicant has successfully overcome this reason for refusal and no objections are raised to this element of the proposals.

*Front facing gable*

The officer report for the previous application noted:

*No objection to reinstatement of mock timbering to the gable, but we note that the pattern does not reflect the timbering of the gables to neighbouring properties, which would increase variety between them. The applicant is advised that in any resubmission it would be preferable that the design match the timber patterns of No. 8 and No. 14, to restore a degree of the historic group value.*

Current proposals also seek reinstatement of mock timbering to the gable, the pattern of which would match that of No.12 and preserve consistency across the small group. The front gable was not objected to previously, and as such officers are supportive of this element of the proposals, which preserve the character and appearance of the host building and area. .

*New front dormer window:*

The officer report for the previous application noted no objection to the introduction of a front dormer window, and whilst officers would not usually be supportive of a front facing dormer, particularly of this size, it is traditionally detailed and would reflect dormers to the neighbouring properties, preserving some consistency to the group.

*Single storey rear and side extensions*

These are modestly scaled in footprint and height. Whilst the side extension would infill the gap to the boundary the height and modest set back from the front elevation ensure that this presents as a subservient extension with views between the dwellings still apparent at first floor level. This is consistent with the previous application.

*Rear first floor and roof extension*

The proposed rear extension would almost entirely infill the rear elevation of the main house, to the side of the rear outrigger, altering the roof structure from the existing hip to create a rear facing gable, leaving only an awkward stump to indicate the original secondary gable over the outrigger. The overall effect is a flattening to the rear elevation. This would be out of keeping for this property and associated group, all of which retain hipped roof forms to the rear. The proposed rear extension fails to show a suitable degree of subservience to the host dwelling, as recommended in the House Extensions and External Alterations SPD. There would be a small step down from the existing roof to the extension roof on the south eastern side, but on the north-western side the new roof would run continuously with the original roof slope, blurring an appreciation of the original house and the later building phases. This would add considerable massing to the overall building in a way that again fails to show subservience to the host dwelling and would be visible from the wider conservation area in glimpses from the street and Kings Ride Gate. Proposals for a two and a half storey rear extension are not supported owing to their adverse impact on the host property and surrounding area.

*Roof alterations*

In addition to the issues raised above with respect to the rear extension and its roof and how that relates to the host dwelling, the proposed roof alterations would interrupt the consistency of the group of properties in the immediate area. Nos. 8, 10, 12 and 14 all have the same front to back ridge orientation, with the hips to the rear allowing glimpses through to woodland beyond (East Sheen Common, sitting beyond the strip of land designated as OOLTI). Proposals for a large gable would remove the hip of No.10 and reduce the existing views from the street that place the conservation area within its wider landscape context, resulting in harm to its character and appearance. Proposals to alter the original roof form to the degree proposed are not supported.

*Render front elevation:*

External insulation was included within the reason for refusal of the previous application. The officer report expands on this, and notes that it is the external insulation to the principal and side elevations in particular that were of concern. The associated loss of moulded string course was also described as harmful. The applicant has provided information to show that the existing roughcast render to the front elevation at first floor is in a poor condition; as such there is scope for replacement in principle. However, the applicant has not clarified the finish to the replacement render. If the application were

considered acceptable in other respects, further details on the finish could have been sought by way of condition, which, it is recommended, is roughcast to match the existing. Roughcast render is a characteristic material of the conservation area, and this is highlighted in the conservation area appraisal and in the applicant's DAS. (The smooth rendering to No.12 indicates the loss of character that arises from an entirely smooth finish).

#### *External insulation, side elevations*

No objection is raised to external insulation as proposed to the south-eastern elevation, which would be well set back from the road with limited visibility. Proposals to encase the entire north western elevation with external insulation, which is currently exposed brick, is not supported and internal insulation should be considered instead to these elevations. Exposed stock brick side elevations are particularly characteristic of this earlier group of properties and is absent from the later 1920s housing of the conservation area. Concealing it would erode this distinctiveness and introduce inconsistency to the group. In the Design and Access statement the applicant notes that this wall is not visible from the street; photos from officer site visits and Google street views do however show that the exposed brick wall does have visibility in the surrounding street.

External insulation to the rear elevation would replace existing, and no objection is raised to this, subject to same condition requests regarding depth and detailing around windows and roughcast finish.

#### *Window alterations*

The DAS describes that throughout the house the existing windows would be replaced with high performance double and triple glazed timber frame windows, but no further details are provided on the drawings. The principle of replacement windows in timber is acceptable.

The principle of replacement windows in timber is acceptable and the use of permitted development rights for replacement of existing windows is noted as a fallback position.

The DAS also refers specifically to the decorative window to the stairwell, which is visible from the street and public areas of the conservation area the DAS notes this will be retained and carefully refurbished, restoring the existing leaded glass and encapsulating it within double glazed units to improve the air tightness and thermal performance. This is a welcomed amendment to the previous proposals.

#### *Landscaping*

There is no objection to reconfiguration of the front boundary wall in yellow stock brick (the existing boundary material). Sample of brick to be provided via condition. Pointing should match appearance and style of existing. No objection to removal of crazy paving driveway and replacement with resin bound gravel. A magnolia tree is proposed for removal to allow for car parking, but proposals include a replacement tree.

#### *Air source heat pump*

To be housed in enclosure to the rear with no wider visibility in the conservation area; no objection is raised to this in design terms.

#### *Solar panels*

The solar panels would be visible from public areas of the conservation area. Officers note that these are not illustrated as protruding on the front and rear elevations. Sensitive designed solar panels on the side roof slopes are considered acceptable, and further details would have been sought by condition.

In summary, whilst most of the proposals are broadly acceptable in principle, the two and a half storey rear extension, alterations to the original roof form and external insulation to the side elevations are not supported, failing to respect to the character and appearance of the host property as a positive contributor to the conservation area and failing to show appropriate subservience to the host dwelling.

Overall, it is considered that the works would not be in accordance with the Statutory Duties of the 1990 Act as the proposals would fail to preserve the character or appearance of the conservation area. The proposals would also fail to be in accordance with para 205 of the NPPF and would engage

para 208 due to the less than substantial harm to a designated heritage asset; there are no heritage benefits to be considered alongside the identified harm and any wider public benefits. Proposals would fail to be in accordance with local policies LP1 and LP3 of the Local Plan, policies 28 and 29 of the Publication Local Plan (Regulation 19 Version) and the House Extensions and External Alterations SPD.

## ii Impact on neighbour amenity

*Policy LP8 states that development must protect the amenity and living conditions of existing, adjoining and neighbouring occupants. Design must allow for good daylight standards, avoid overlooking or noise disturbance, avoid visual intrusion, overbearing impacts or harm to the reasonable enjoyment of the uses of buildings and gardens. Harm may arise from various impacts such as noise, air pollution, odours or vibration.*

*The SPD on House Extensions and External Alterations notes that generally an extension of 3m in depth for a terrace property will be acceptable. Where the proposed extension seeks a larger depth, the eaves should be reduced to 2.2m at the shared boundary to mitigate detrimental impact on neighbours such as sense of enclosure or overbearing. However, the final test of acceptability is dependent on the specific circumstances of the site which may justify greater rear projection.*

The properties that will be affected most by the proposal are nos. 8 and 12 Sheen Common Drive.

The works to the front elevation, front landscaping and boundary treatments, given their minor nature will not be harmful to either neighbour.

Given the separation distance between the host property and no. 12 and the limited depth of the extensions, the scheme would not be visually intrusive, overbearing or cause loss of light to this neighbour.

With respect to no. 8, similarly the rear extensions and roof extension, by reason of their limited depth, siting and relationship to neighbouring windows would not be visually intrusive, overbearing or cause loss of light to this neighbour. The side extension would infill the gap between to the boundary but given its single storey nature and seen in context with the larger flank elevation, it is not considered that this element would be materially harmful to amenity.

The extension would be accompanied by an enlarged elevated terrace to the rear. There is an existing elevated terrace adjacent no 12 and views towards no 12 from the extended patio would be safeguarded by the existing garage, so not worsening the present situation. The proposed terrace would be on the boundary with no 8. The submitted plans illustrate the height of the boundary treatment at 1.7m adjacent the terrace which would be adequate to safeguard against greater and extended views towards no 8.

The proposal will include a new ground floor window which faces no. 12, which, given siting will not result in harmful overlooking. The side of the roof facing no. 12 will have 4 rooflights and a large amount of solar panels. The rooflights would have been conditioned to be obscure glazed and non openable to 1.7m above ffl in the event of any approval.

With regards to no. 8, there will be less windows facing this site and the new first and second floor windows would be obscured by condition had the application been favourable.

With regard to noise, the submitted detail has been reviewed by councils Environmental Health officer who raises no objection, subject to condition ensuring the unit will be installed and operated only in strict accordance with the acoustic report submitted by 24 acoustics and received by the council on 29 April 2024.

In summary, the proposal would be in keeping with policy LP8 of the Local Plan (2018), policy 46 of the Publication Local Plan (Regulation 19 Version) and relevant Supplementary Planning Documents/Guidance.

### **iii Trees**

The location of this proposal is sited within the "CA69 Sheen Common Drive" Conservation Area, which affords trees both within and adjacent to the site of the proposal, statutory protection. In addition, 3x Oak trees adjacent to the rear garden boundary of No. 12 are subject to statutory protection via Tree Preservation Order (TPO) Ref: T1169, affording them singular protected status.

The rear garden abuts Sheen Common where there are numerous large trees along the boundary which are managed and maintained by the London Borough of Richmond upon Thames (LBRuT).

The application has been accompanied by a tree report, "BS 5837 Arboricultural Report, Impact Assessment Ref: 11468, dated 17/01/2024". A BS5837:2012 survey is included within this report. Unless otherwise specified, all tree numbers and species identification will refer to those used in the tree survey schedule in this document.

While the council would not be opposed to the proposal on principle, it is likely that this could be adversely impacted by indirect construction activity such as delivery vehicles. Consequently, details of how trees would both be protected and how potential damage to the crown by positioning of delivery vehicles and routes of ingress and egress to the site of construction, is mitigated, should be addressed through an Arboricultural Method Statement as a necessary condition of consent.

The loss of 4x trees (T2, T7, T9 & T11) in the front & rear gardens is regrettable, and while there are no objections to the removal of trees T7, T9 & T11 given their U categorisation, Tree T2 is a prominent Magnolia tree in the front garden and visible to the public and so its loss will constitute a loss of amenity tree cover in the area. This is a demonstrable loss of soft landscaping. There are no detailed plans for mitigation by way of replacement tree planting which is a requirement for tree removal in a Conservation Area. A replacement magnolia is indicated in the front garden but details are not provided.

The Local Plan Policy LP16 Trees, Woodlands and Landscape; requires, where practicable, an appropriate replacement for any tree that is felled; a financial contribution to the provision for off-site trees in line with the monetary value of the existing tree to be felled will be required in line with the 'Capital Asset Value for Amenity Trees' (CAVAT). These valuations would firstly represent the monetary benchmark for on-site replacement trees, where space is available. This is also to ensure that the value of tree planting is commensurate with the value of the tree(s) lost.

Therefore, in accordance with the Local Plan, the council will require a Tree Replacement Scheme by condition in the event of any approval and the applicant is advised that this should be informed by a "Full" CAVAT valuation (Including the calculation methodology) for tree T2 to be undertaken by an Arboriculturist with experience using the method.

Subject to conditions, the proposal may be compliant with the NPPF and, in particular, policies LP3 and LP16 of the Local Plan (2018) and policies 29 and 42 of the Publication Local Plan (Regulation 19 Version).

### **iv Fire Safety**

London Plan policy D12 requires the submission of a Fire Safety Statement on all planning applications.

A Fire Safety Strategy was received by Council on 21 June 2024. The applicant is advised that additions and alterations to existing buildings should comply with the Building Regulations. This permission is not a consent under the Building Regulations for which a separate application should be made.

Overall, the proposal can therefore be considered consistent with Policy D12 of the London Plan

### **iv Biodiversity**

Biodiversity net gain became mandatory for minor developments on applications made from 2<sup>nd</sup> April 2024. This application is exempt from mandatory biodiversity net gain on the grounds that is a

householder application.

**7. LOCAL FINANCE CONSIDERATIONS AND OTHER MATTERS**

Section 70(2) of the Town and Country Planning Act 1990 (as amended) provides that a local planning authority must have regard to a local finance consideration as far as it is material. The weight to be attached to a local finance consideration remains a matter for the decision maker. The Mayor of London's CIL and Richmond CIL are therefore material considerations.

On initial assessment this development is not considered liable for the Mayoral or Richmond CIL however this is subject to confirmation by the CIL Administration Team

**8. RECOMMENDATION**

This recommendation is made following careful consideration of all the issues raised through the application process. In making this recommendation consideration has been had to the statutory duties imposed by the Planning (Listed Buildings and Conservation Areas) Act 1990 and the requirements set out in Chapter 16 of the NPPF.

For the reasons set out above, it is considered that the adverse impacts of allowing this planning application would significantly outweigh the benefits, when assessed against the policies in NPPF (2021) and Development Plan, when taken as a whole.

**Refuse planning permission for the following reasons**

**Reason for Refusal – Design and Heritage**

The two storey rear extension, rear roof extensions including the significant loss of the original roof form, and external insulation, by reason of their design, bulk, mass, siting, and loss of traditional architectural features, would result in a dominant, unsympathetic and incongruous form of development that would cause harm to the appearance of the host dwelling and less than substantial harm to the character and appearance of the Sheen Common Drive Conservation Area. This is contrary to policies, in particular, LP1 and LP3 of the Local Plan, Publication Local Plan policies 28 and 29, the House Extensions and External Alterations SPD and the Richmond and Richmond Hill Village Plan as supported by the Sheen Common Drive Conservation Area Statement and Study. The proposals do not satisfy the statutory duty of Section 72 (1) of the Planning (Listed Buildings and Conservation Areas) Act 1990 and do not meet Policy HC1 (C) of the London Plan (2021) or relevant paragraphs of the NPPF (2023).

**Recommendation:**

The determination of this application falls within the scope of Officer delegated powers - YES ~~NO~~

**I therefore recommend the following:**

- 1. REFUSAL
- 2. PERMISSION
- 3. FORWARD TO COMMITTEE

This application is CIL liable  YES\*  NO  
(\*If yes, complete CIL tab in Uniform)

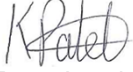
This application requires a Legal Agreement  YES\*  NO  
(\*If yes, complete Development Condition Monitoring in Uniform)

This application has representations online (which are not on the file)  YES  NO

This application has representations on file  YES  NO

Case Officer (Initials): .....JMA..... Dated: .....16/08/2024.....

**I agree the recommendation:**



~~Team Leader/Head of Development Management/Principal Planner~~

Dated: ...16/08/2024.....

This application has been subject to representations that are contrary to the officer recommendation. The Head of Development Management has considered those representations and concluded that the application can be determined without reference to the Planning Committee in conjunction with existing delegated authority.

Head of Development Management: .....

Dated: .....