



Land to the Rear of 185 Waldegrave Road
Landscape Details

June 2024

Land to the Rear of 185 Waldegrave Road

Contents

Executive Summary

Design Summary

Constraints and Opportunities

Landscape Strategy

Planning Condition 8

Planning Condition 14

Planning Condition 15

Summary

Executive Summary

Create Design Ltd have been commissioned by Mr A Breslin to prepare a landscape design details for the St Clements House site in accordance with the planning application no 22/3810/FUL

This document should be read in conjunction with the planning application documents and the Landscape Installation and Maintenance Plan.

This document provides the response to planning condition U0171659 hard and soft landscaping.

'Full details of both hard and soft landscaping works must be submitted to and approved in writing by the local planning authority thereafter implemented in accordance with these details.

These details shall include:

(A) Hard landscape works shall include:

- 1. Proposed finished levels or contours*
- 2. Other vehicle and pedestrian access and circulation areas.*
- 3. Hard surfacing materials; hard surface construction and drainage.*
- 4. Proposed and existing utility services above and below ground (e.g. drainage, power, communications cables, pipelines etc, indicating lines, manholes, supports etc).*
- 5. A program or timetable of the proposed works*

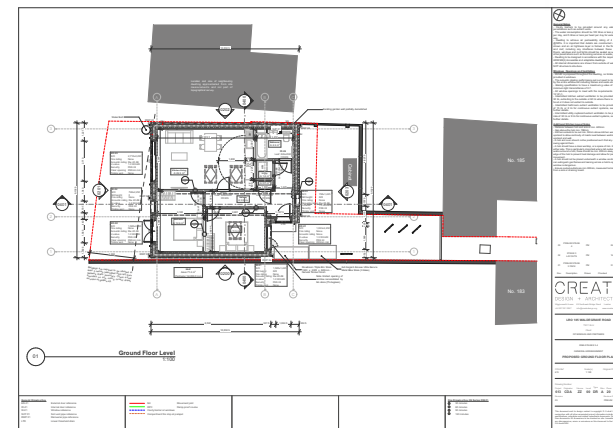
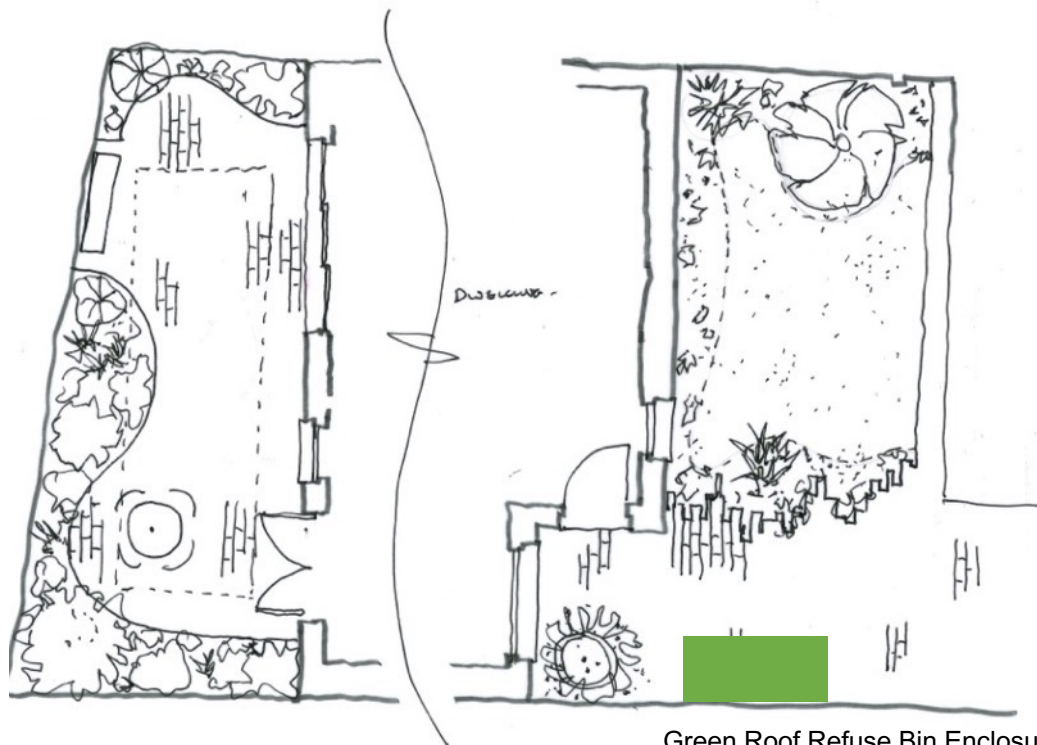
(B) Soft landscape works shall include:

- 1. Full Planting Plans in context with the development.*
- 2. Written specifications (including cultivation and other operations associated with plant and grass establishment).*
- 3. Plans and written specifications shall detail the quantity, density, size, species, position and the proposed time or programme of planting of all shrubs, hedges, grasses etc, together with an indication of how they integrate with the proposal in the long term with regard to their mature size and anticipated routine maintenance, especially over the first 2 years.*
- 4. All tree, shrub and hedge planting included within that specification shall be carried out in accordance with BS 3936:1986 (parts 1, 1992, Nursery Stock, Specification for trees and shrubs, and 4, 1984, Specification for forest trees); BS 4043: 1989, Transplanting root-balled trees; and BS 4428:1989, Code of practice for general landscape operations (excluding hard surfaces).*

The implementation will need to be coordinated with the installation of the new building. Approximately, it is anticipated that the landscape installation will occur in late (Autumn) 2024 or early 2025 before end of April.

This document includes the details for the landscape design including plantings species and densities, locations and materials.

Land Rear of 185 Waldegrave Road- Part A 1 Proposed Finished Levels and Part A 2 Other Vehicle and Pedestrian Access and Circulation



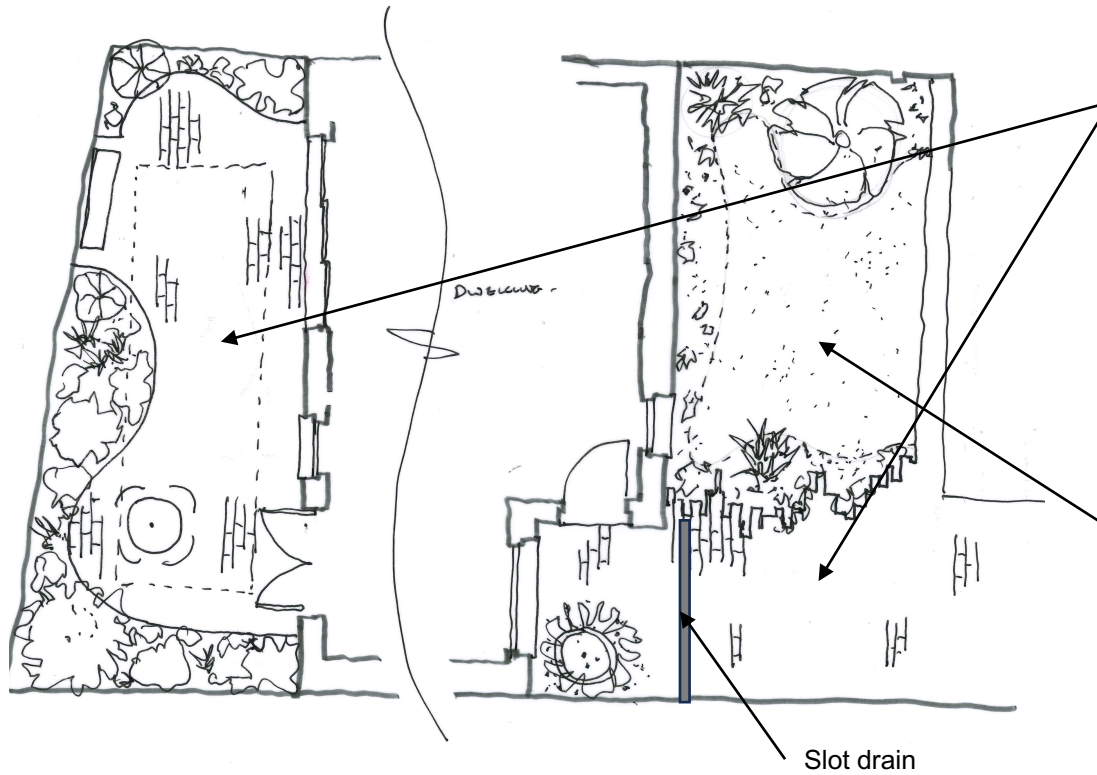
Existing Sheffield Bike Stands Removed and refixed in this location to serve the host dwelling and new dwelling.

Green Roof Refuse Bin Enclosure

Part 1 A - The garden levels front and back are 150mm below the FFL inside the dwelling. The only exception is that the front and rear doors have surfaced raised to within 20mm of the FFL to facilitate access.

Part 1 B – There is a slight level change from the street which is at 11.47 AOD To the dwelling which is at 14.46 AOD this level change is within acceptable limits for access. There is no vehicle access, refused and cycle provision and access are provided see details below.

Land Rear of 185 Waldegrave Road- Part A 3 Hard Surfaces Materials and Construction and Drainage.



Marshalls Drivesett Tegula
Piora Permeable Paving



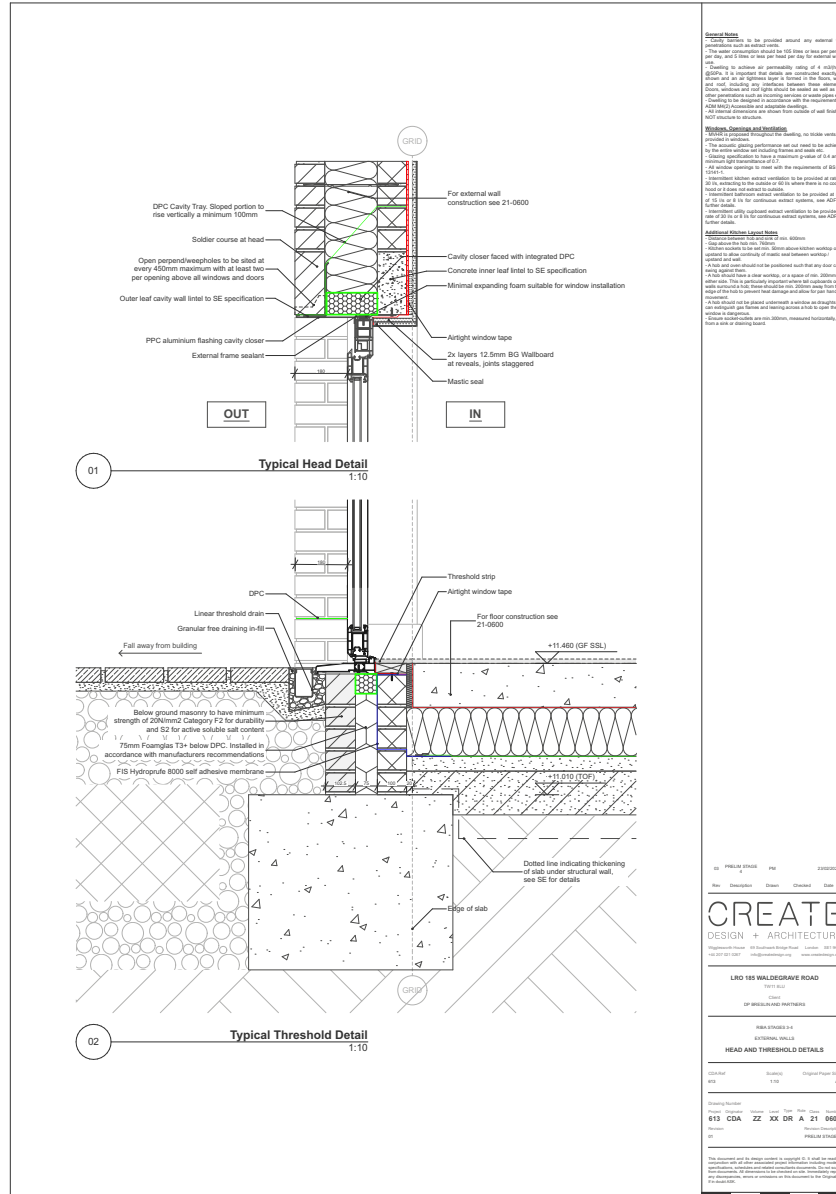
10mm Golden Gravel on
Permeable Base

Part 1 A - The garden levels front and back 20-50mm below the FFL inside the dwelling falling away from the dwelling.

Part 1 B – Drainage; all the proposed landscape surfaces are porous and self draining. As a precaution a drainage channel is proposed across the front of the property. This is indicated on the landscape plan and the utilities plan illustrated in this document on subsequent pages.

Land Rear of 185 Waldegrave Road- Part A 3 Hard Surfaces Materials and Construction and Drainage.

Landscape / Interior Threshold Details

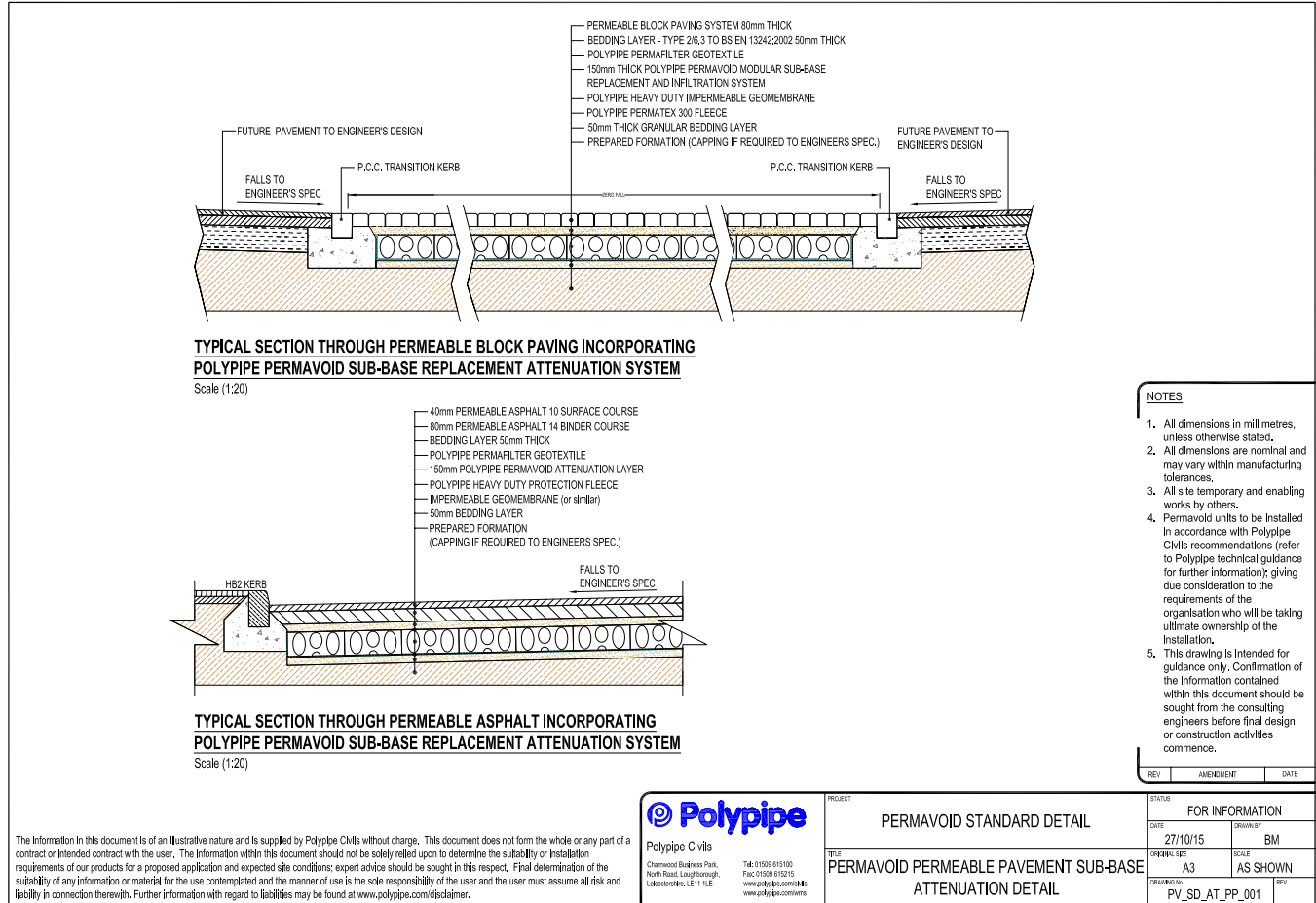


Land Rear of 185 Waldegrave Road- Part A 3 Hard Surfaces Materials and Construction and Drainage.

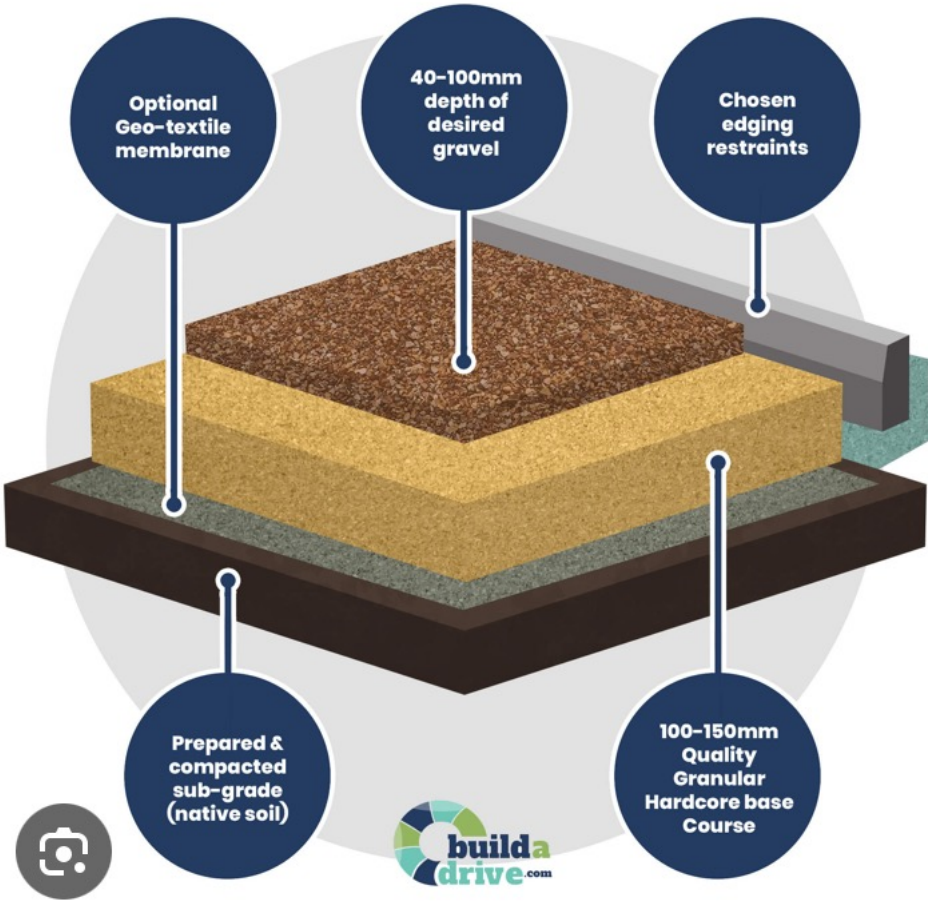


Marshalls Drivesett
Tegula Priora
Permeable Paving

Below construction
detail



Land Rear of 185 Waldegrave Road- Part A 3 Hard Surfaces Materials and Construction and Drainage.



Gravel Garden Area

Construction detail

Gravel to be 10mm Golden Gravel

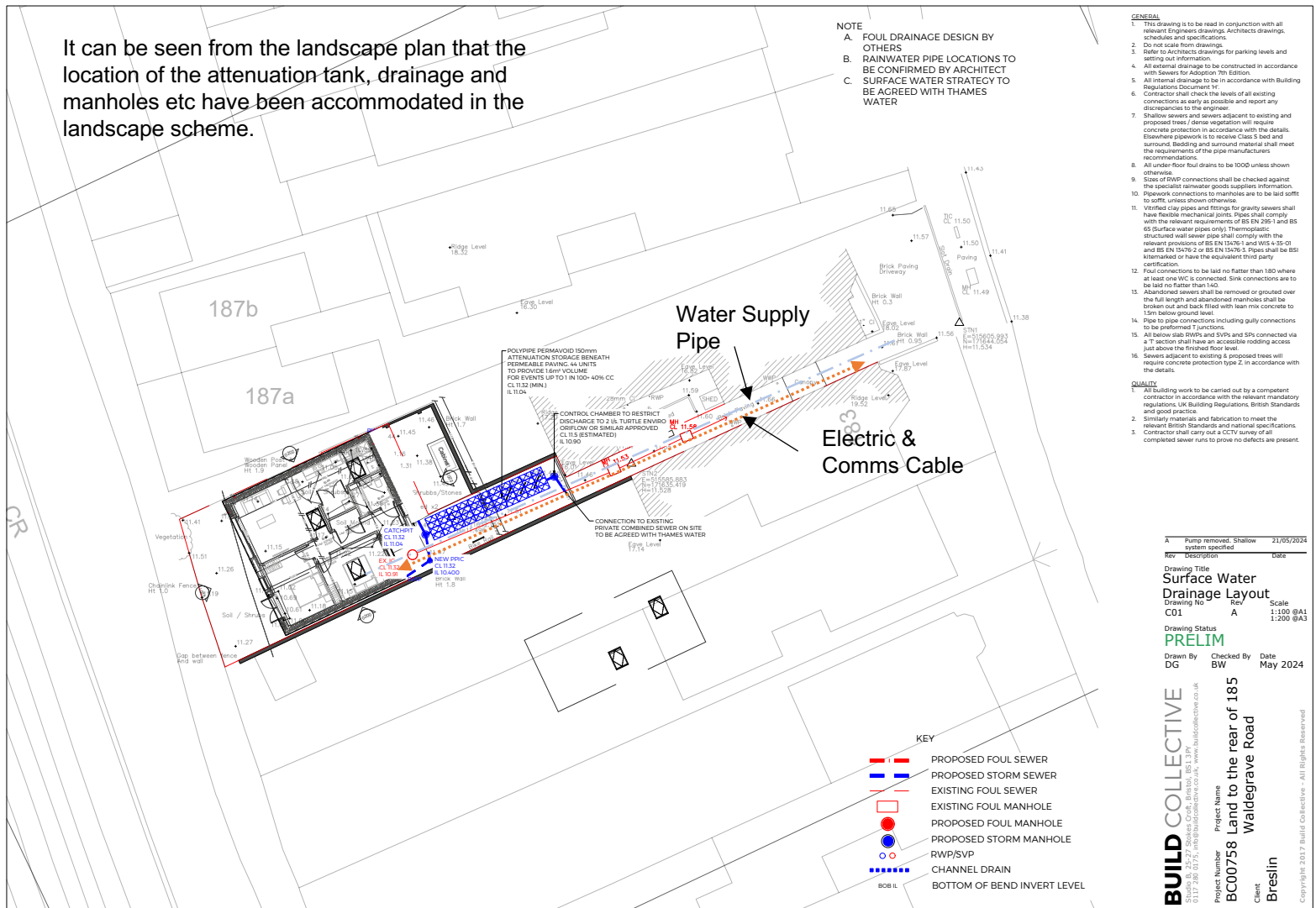
Land Rear of 185 Waldegrave Road- Part A 3 Hard Surfaces Materials and Construction and Drainage.



Sedum Roof Timber Bin Store

Land Rear of 185 Waldegrave Road- Part A 4 Proposed Utility Services Above and Below Ground (e.g. drainage, power, communications cables, pipelines etc, indicating lines manholes and support etc).

It can be seen from the landscape plan that the location of the attenuation tank, drainage and manholes etc have been accommodated in the landscape scheme.



- NOTE
- A. FOUL DRAINAGE DESIGN BY OTHERS
 - B. RAINWATER PIPE LOCATIONS TO BE CONFIRMED BY ARCHITECT
 - C. SURFACE WATER STRATEGY TO BE AGREED WITH THAMES WATER

- GENERAL
1. This drawing is to be read in conjunction with all relevant Engineers drawings, Architects drawings, schedules and specifications.
 2. Do not scale from drawings.
 3. Refer to Architects drawings for parking levels and setting out information.
 4. All external drainage to be constructed in accordance with Sewers for Adoption 7th Edition.
 5. All internal drainage to be in accordance with Building Regulations Document 'F'.
 6. Contractor shall check the levels of all existing connections as early as possible and report any discrepancies to the engineer.
 7. Shallow sewers and sewers adjacent to existing and proposed trees / dense vegetation will require concrete protection in accordance with the details. Elsewhere pipeworks to receive Class 3 soil and surround. Bedding and surround material shall meet the requirements of the pipe manufacturers recommendations.
 8. All under-floor foul drains to be 100B unless shown otherwise.
 9. Size of RWP connections shall be checked against the specialist rainwater goods suppliers information.
 10. Pipework connections to manholes are to be laid soft to soil, unless shown otherwise.
 11. Vitrified clay pipes and fittings for gravity sewers shall have flexible mechanical joints. Pipes shall comply with the relevant requirements of BS EN 295-1 and BS 85 (Surface water pipes only). Thermoplastic structured wall sewer pipe shall comply with the relevant provisions of BS EN 13476-1 and BS EN 13476-2 and BS EN 13476-5. Pipes shall be BSI kitemarked or have the equivalent third party certification.
 12. Foul connections to be laid no flatter than 1:80 where at least one WC is connected. Sink connections are to be laid no flatter than 1:40.
 13. Abandoned sewers shall be removed or grouted over the full length and abandoned manholes shall be broken out and back filled with lean mix concrete to 15m below ground level.
 14. Pipe to pipe connections including gully connections to be preformed T junctions.
 15. All below slab RWPs and SVPs and SPS connected via T Junction shall have an accessible rodding access just above the finished floor level.
 16. Sewers adjacent to existing proposed trees will require concrete protection type 2, in accordance with the details.

- QUALITY
1. All building work to be carried out by a competent contractor in accordance with the relevant mandatory regulations, UK Building Regulations, British Standards and good practice.
 2. Similarity materials and fabrication to meet the relevant British Standards and national specifications.
 3. Contractor shall carry out a CCTV survey of all completed sewer runs to prove no defects are present.

Rev	Description	Date
A	Pump removed, Shallow system specified	21/05/2024

Drawing Title
Surface Water Drainage Layout

Drawing No. C01 Rev. A Scale 1:100 @A1
1:200 @A3

Drawing Status
PRELIM

Drawn By DG Checked By BW Date May 2024

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Project Name
BC00758 Land to the rear of 185 Waldegrave Road

Client
Breslin

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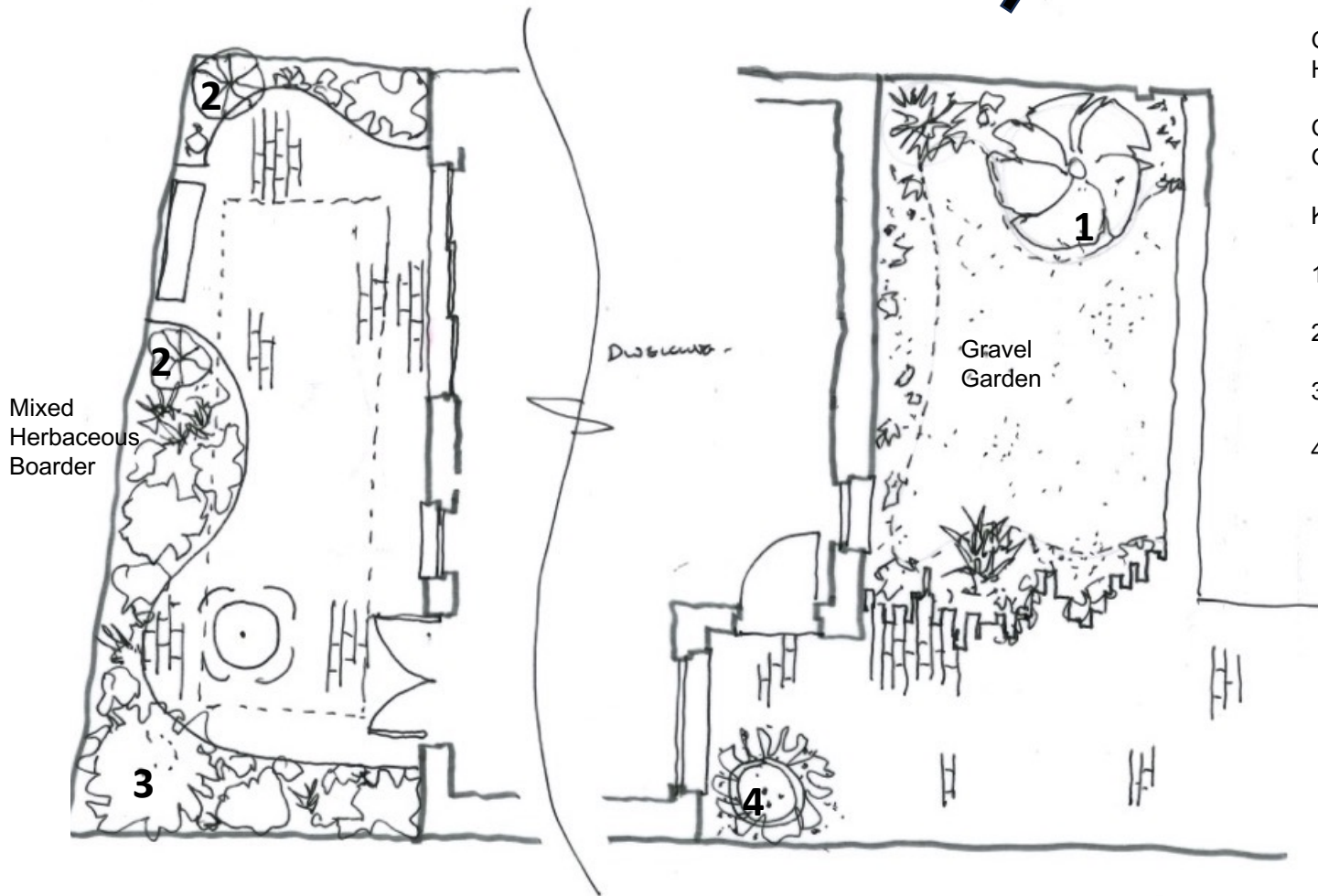
Land Rear of 185 Waldegrave Road- Part A 5 and B 3 Program and Planting and Maintenance Summary

185 Waldegrave Road Planting & Maintenance Summary Sheet

Activity	Jan-24	January	February	March	April	May	June	July	August	Sept	Oct	Nov	Dec
Period Checks													
Annual Inspection and Adjust Maintenance Plan										█			
Quarterly Inspections, checking for maintenance issues, areas of damage, debris to be cleaned.				█			█			█			█
Litter Pick				█			█			█			█
Mixed Shrub and Herbaceous Boarder													
New / Replacement Plantings (Trees / shrubs see below)				█	█								
Periodic Weed and Tidy Up				█	█				█	█			
Mulch				█									
Trees & Large Shrubs													
New / replacement planting			█	█							█	█	█
Annual Inspection for health and disease and pruning, check staking etc									█				
Prune											█	█	
Weed at base				█					█				
Mulch at base and fertiliser				█									
Gravel Garden													
Establishment and re-seeding										█	█		
Autumn winter and spring cut - as required			█	█								█	
Late summer cut, 2 week leave and remove material											█		
Paths													
Generally clean and keep free from weeds and debris													Periodically through the year
Spray for weeds							█		█				

NOTE:-
New tree and shrubs can be planted as bare root November to April. Outside of this time pot grown specimens should be planted. All plants need watering in dry periods through their first year after

Land Rear of 185 Waldegrave Road- Part B 1 -5 Proposed Soft
Landscaping and Written Specification



Garden Type A – Mixed
Herbaceous Border

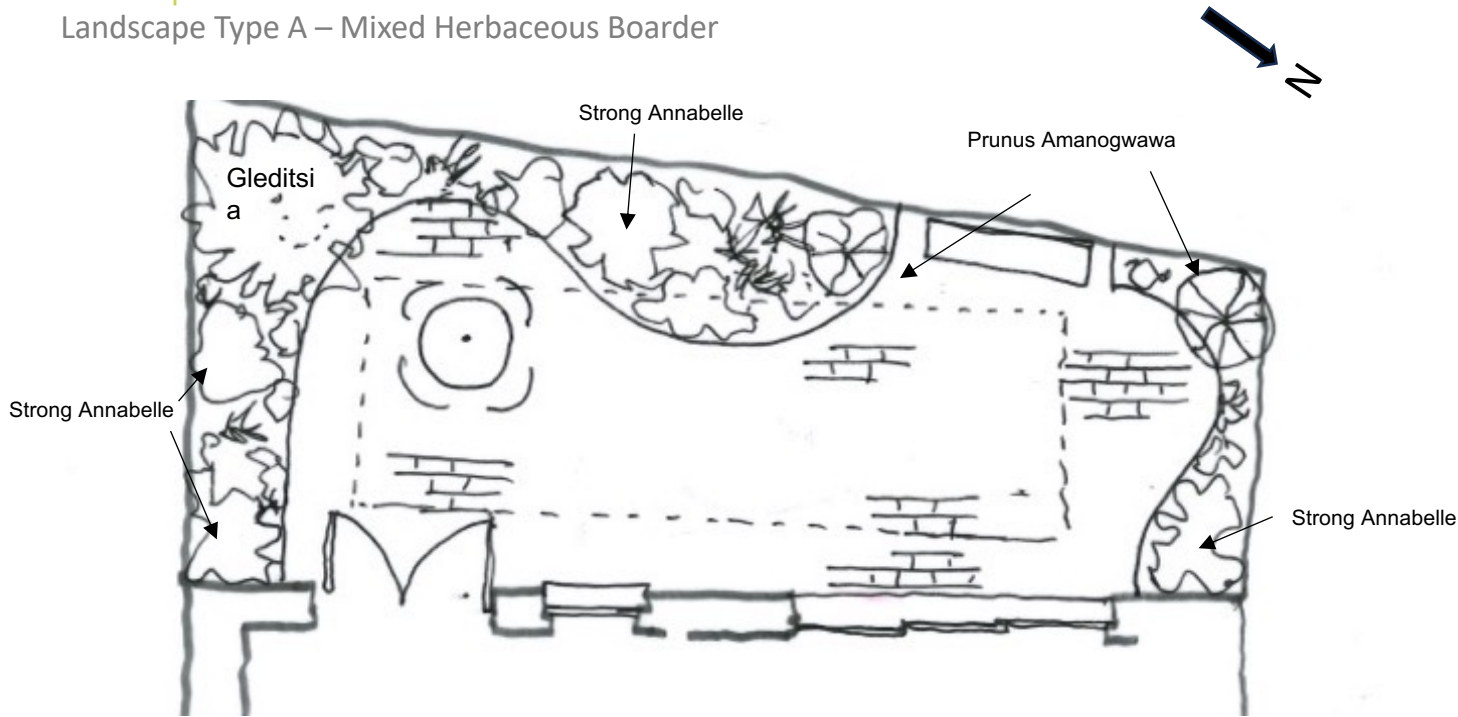
Garden Type B
Gravel Garden

Key Trees and Shrubs

- 1) Trachycarpus Fortunei
- 2) Prunus Amanogwawa
- 3) Gleditsia Triacanthos.
- 4) Pot Planted Olive

Landscape Details -

Landscape Type A – Mixed Herbaceous Border



10% 4No Pittosporum Tenuifolium – Tom Thumb Hedge



10% Stipa Gigantea and Verbena Bonariensis Approximately 3 plants each, in each case planted adjacent

The rear garden benefits from a southerly orientation but also has the railway embankment rising up from behind. The proposal uses small trees to create height and privacy from the railway edge. Trees have been selected with a light canopy to provide dapple shade. The garden is low maintenance and simple. There are just two components the mixed herbaceous border and the permeable block paving. The environment should create a private and attractive garden.



10% Digitalis (Fox Gloves) White, Pink and Pale Yellow forms Approximate 20 plants



20% or 6No Hydrangea Strong Annabelle



17 % Flowering Shade Tolerant Perennials, such as Heuchera, Hellebores and Pulmonaria Planted around the base of the trees



18 % Mixture of Native Ferns ideal for shade with the planting to the left below the trees and shrubs.
Blechnum spicatum
Asplenium scolopendrium
Dryopteris filixmas
30% each



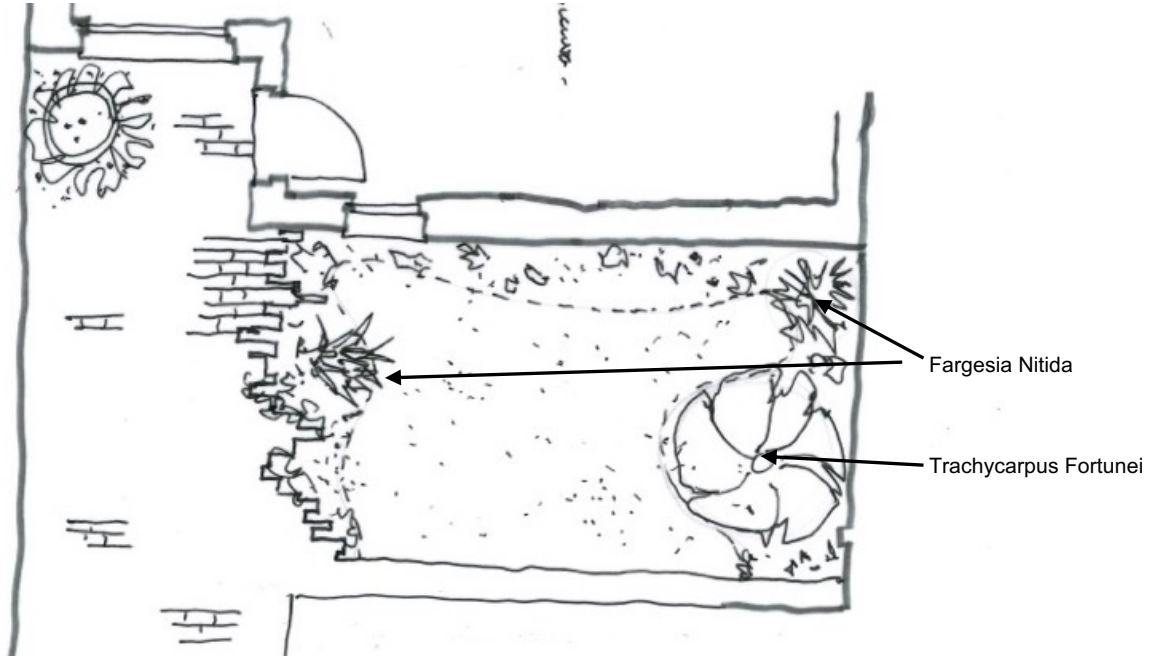
15% Agastache Danish Blue Approximately 15 plants

Landscape Details

Landscape Type B – Gravel Garden



Fargesia Nitida
Chinese Fountain Clump
Forming Bamboo
Planted in two areas as
indicated



These gravel garden will be low maintenance and attractive space. The plants selected can self seed and the garden will develop over time. Maintenance can be kept to a minimum with just a spring and autumn period of attention required.



20% Miscanthus Sinesis Red
Chief Approx 10 plants



15% Eringium Big Blue,
Approx 8 plants



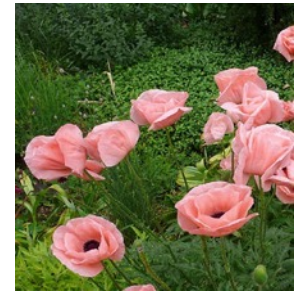
15% Stachys Byzantina
Approx 8 plants.,



10% Allium Pink Sensation
Approx 24 bulbs planted in 6
groups of 4



20% Bronze Fennel
Approx 10 plants



20% Papaver Juliane! Approx
20 plants planted in groups of 2

Land Rear of 185 Waldegrave Road
Condition 4 B – Soft Landscape

It is proposed to plant two of these upright small garden trees to help create visual interest and spring flowers. These trees are ornamental with a beautiful flowing display in the late spring / early summer, followed by berries. We proposed that 1.8m-2m pot grown specimens are planted.



Garden Tree
Prunus Amanogwawa

Land Rear of 185 Waldegrave Road
Condition 5 A – Gleditsia Triacanthos

It is proposed to plant one of these medium sized garden trees to help create visual interest and more natural habitat in the rear garden. We have selected locations where the tree has the space to thrive. This striking light green colour will create real visual impact and cast a light dapple shade allowing for under planting. The tree is a small suitable for gardens that grows to a mature height of 5m with a spread of 3m after 20 years. The tree should be planted in a prepared bed, we would suggest that a specimen at around 1.8-2.5m in height is used.



Garden Tree
Gleditsia Triacanthos

Land Rear of 185 Waldegrave Road
Condition 5 A – Trachycarpus Fortunei

It is proposed to plant one of these drought hardy trees in the front garden which is also between the new dwelling and the host dwelling. They are a vertical tree with a limited canopy that will provide evergreen year round visual interest. The tree is very low maintenance requiring just an annual tidy up in the late autumn. It is proposed to plant a 1.5-2m pot grown specimen.



Garden Tree
Trachycarpus Fortunei

Land Rear of 185 Waldegrave Road
Condition 5 A – Olive Pot Planted

It is proposed to plant one of these in a large 800mm diameter pot to the mark the end of the access passage and house door entrance. As there is an attenuation tank below this area we have show a large terracotta pot. This tree type is evergreen, fragrant and will work visually with the adjacent gravel garden.



Garden Tree
Olea Europea