

PLANNING STATEMENT

Including:

- Design and Access Statement
- Heritage Statement
- Flood Risk Assessment
- Fire Strategy

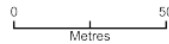
Erection of detached building in rear garden

Ground Floor Flat
24 Defoe Avenue
Richmond
TW9 4DT

August 2024

1.0 INTRODUCTION

1.01 This application seeks planning permission for the erection of a detached garden building in the rear garden of 24 Defoe Avenue.



Plan Produced for: 24 Defoe Avenue TW9 2DS
Date Produced: 05 Aug 2024
Plan Reference Number: TQRQM24218104509358
Scale: 1:1250 @ A4

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1.02 The proposed building would be positioned at the end of the rear garden and would form a garden room.

1.03 The proposed building would have the following dimensions;

- ◇ Depth – 2.8 metres
- ◇ Width – 3.7 metres
- ◇ Height – 2.5 metres

1.04 The site is located within the urban area and the Defoe and Ruskin Avenue Conservation Area.

1.05 The site is also located with Flood Zone 3.

2.0 DOCUMENTS AND PLANS

2.01 The following plans and documents are submitted in support of the planning application;

- ◇ Location Plan
- ◇ Proposed Block Plan
- ◇ Proposed drawings – elevations and floor plans
- ◇ Application forms
- ◇ CIL Form 1
- ◇ This Planning Statement including Design and Access Statement, Heritage Statement and Fire Strategy

3.0 THE SITE AND ITS SURROUNDINGS

- 3.01 The application property is the garden flat within a two storey end terrace building located on the eastern side of Defoe Avenue, near the junction with Ruskin Avenue.
- 3.02 The rear garden of the property is predominantly laid to lawn and the boundaries are characterised by timber fencing and planting.



Google Earth image of the application site

- 3.03 Due to its position and the screening described above, the rear garden is not readily visible from public viewpoints.
- 3.04 The site is located within the urban area and a Conservation Area. The main building is not listed.
- 3.05 The site is also located within Flood Zone 3.

4.0 PLANNING HISTORY

4.01 The Council's records show the following planning applications;

- ◇ 24/1509 – Changes to doors and windows – Submitted June 2024 (Pending decision)

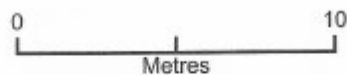
5.0 THE PLANNING APPLICATION

Use

- 5.01 The proposal involves the erection of a detached garden building which would be used for ancillary residential purposes. The use of the site would remain as residential.

Amount and Layout

- 5.02 The proposed building would be positioned adjacent to the rear boundary of the site.



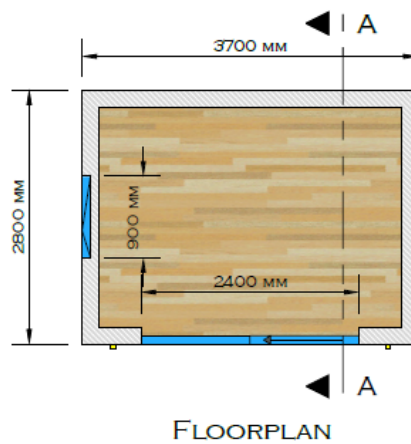
Plan Produced for: 24 Defoe Avenue TW9 2DS
Date Produced: 05 Aug 2024
Plan Reference Number: TQRQM24218104737009
Scale: 1:200 @ A4

Block Plan



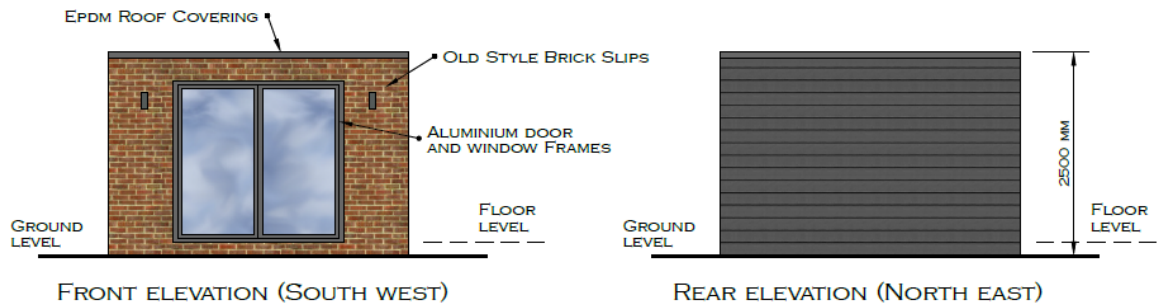
Google Streetview image of application site

5.03 The dimensions of the building would be 2.8 metres by 3.7 metres.



Scale and appearance

- 5.04 The proposed structure would have a flat roof and a contemporary appearance with brick slips on the front and one side elevation and fire rated composite cladding on the rear and other side.



Landscaping and Trees

- 5.05 As can be seen from the image and block plan extract below, there are no significant trees in close proximity to the siting of the proposed building, however the removal of a small fir tree is required.



Photograph of rear garden



Extract from block plan

5.06 No further landscaping would be required apart from making good the ground around the proposal.

6.00 THE DEVELOPMENT PLAN

NPPF and the Planning Guidance Suite

6.01 The National Planning Policy Framework was published in 2023. The following sections are relevant to the current proposal;

- ◇ Section 2 – Achieving sustainable development
- ◇ Section 4 – Decision making
- ◇ Section 12 - Achieving well-designed and beautiful places
- ◇ Section 14 - Meeting the challenge of climate change, flooding and coastal change
- ◇ Section 16 – Conserving and enhancing the historic environment

London Plan (2021)

6.02 The main policies applying to the site are:

- ◇ D1 London’s form, character and capacity for growth
- ◇ D3 Optimising site capacity through the design led approach
- ◇ D4 Delivering good design
- ◇ G1 Green infrastructure
- ◇ G5 Urban greening
- ◇ G6 Biodiversity and access to nature
- ◇ S 5 Water infrastructure
- ◇ SI1 Improving air quality
- ◇ SI2 Minimising greenhouse gas emission
- ◇ SI13 Sustainable drainage

Richmond Local Plan (2018)

6.03 The main planning Local Plan policies are:

- ◇ LP1 Local Character and Design Quality
- ◇ LP3 Designated Heritage Assets

- ◇ LP8 Amenity and Living Conditions
- ◇ LP21 Flood Risk and Sustainable Drainage
- ◇ LP39 Infill, Backland and Back garden Development

Richmond Publication Local Plan (Regulation 19 version)

6.05 The Publication Version Local Plan, together with all the representations received during the representation period, the plan and its supporting documents were submitted to the Secretary of State for examination on 19 January 2024. The Publication Version Local Plan, including its evidence base, are material considerations for decision making.

6.06 The following policies are therefore relevant;

- ◇ Policy 8 - Flood risk and sustainable drainage
- ◇ Policy 28 - Local character and design quality
- ◇ Policy 29 - Designated heritage assets
- ◇ Policy 44 - Design process 1
- ◇ Policy 46 – Amenity and living conditions

Supplementary Planning Documents

6.07 The following documents are also relevant;

- ◇ House Extensions and External Alterations (2015)
- ◇ Kew Village Planning Guidance (2014)

7.0 THE PLANNING APPLICATION

7.01 The following issues are considered pertinent to the consideration of this planning application:-

- ◇ Principle of development
- ◇ Impact on the character of the Conservation Area (HERITAGE STATEMENT)
- ◇ Effect on the amenity of nearby residents
- ◇ Flood Risk Assessment
- ◇ Fire Assessment
- ◇ Biodiversity and Sustainability
- ◇ Trees

Principle of development

7.02 The site is located within the urban area where the principle of the development is acceptable. This is subject to all other relevant planning considerations and policies which are set out below.

Impact on the character of the Conservation Area – HERITAGE STATEMENT

7.03 The NPPF states that Local Planning Authorities should identify and assess the particular significance of any heritage asset that may be affected by a proposed development. Great weight should be given to the asset's conservation, the more important the asset, the greater the weight should be. Section 72 of the Planning (Listed Buildings and Conservation Areas) Act 1990 states that in considering applications within a Conservation Area, Local Planning Authorities must pay special attention to the desirability of preserving, or enhancing the character and appearance of the area.

- 7.04 Policy LP3 of the Richmond Local Plan 2018 states that all proposals within Conservation Areas are required to preserve and, where possible, enhance the character of appearance of the Conservation Area.
- 7.05 Policy LP1 of the Local Plan 2018 seeks to maintain and, where possible, enhance the high architectural and urban design quality which contributes to the character and heritage of the area. Proposals should demonstrate an understanding of the site and its context when considering the design including layout, siting and access and the compatibility of the works to the neighbouring uses.
- 7.06 The application site is located towards the north eastern side of the Conservation Area. The application dwelling retains much of its attractive Edwardian character and makes a positive contribution to the street scene.
- 7.08 The proposed building would have maximum dimensions of 3.7 metres by 2.8 metres and would be set back behind the dwelling. It would have a flat roof to a height of 2.5 metres.
- 7.09 By virtue of its scale and contemporary appearance, the building will appear subservient to the main dwelling and the presence of the structure would not be out of keeping with the area since other dwellings within the Conservation Area have similar ancillary structures within the rear gardens.
- 7.10 Given the modest size of the proposed outbuilding and the remaining garden, a sufficient amount of rear amenity space would be retained as a result of this proposal. The separation distance between it and the main building would be sufficient to prevent the proposal being considered overdevelopment or the plot appearing cramped.
- 7.11 Outbuildings are a common form of development in the rear gardens of built up areas such as this and the building will largely be screened by the surrounding development.



Image of rear garden

7.12 We therefore consider that the proposal would have an acceptable impact on the character of the area and would preserve the character and appearance of the Conservation Area in accordance with the relevant national and local policies.

7.13 We consider that the proposed building would be an acceptable form of development within this suburban setting and would preserve the character and appearance of the area in accordance with the relevant national and local policies.

Effect on the amenity of nearby residents

7.14 London Plan Policy D6 sets out that “the design of development should provide sufficient daylight and sunlight to new and surrounding housing that is appropriate for its context, whilst avoiding overheating, minimising overshadowing and maximising the usability of outside amenity space.”

- 7.15 Local Plan Policy LP8 states that development must protect the amenity and living conditions of existing, adjoining and neighbouring occupants. Design must allow for good daylight standards, avoid overlooking or noise disturbance, avoid visual intrusion, overbearing impacts or harm to the reasonable enjoyment of the uses of buildings and gardens. Harm may arise from various impacts such as noise, air pollution, odours or vibration.
- 7.16 The flat roofed design of the building and its location would ensure that the structure would not materially impact the amenities of the adjoining occupiers. Furthermore, the proposal would preserve adequate amenity space in the rear garden.
- 7.17 The use of the building will be ancillary to the host dwelling. The proposed use remains residential and is not considered to cause material increases in the levels of disturbance and noise nuisance.
- 7.18 In terms of neighbour amenity, the proposal is therefore considered acceptable and in accordance with both local and national policy.

Flood Risk Assessment

- 7.19 London Plan Policy SI 12 advises that proposals should ensure that flood risk is minimised and mitigated, and that residual risk is addressed. This should include, where possible, making space for water and aiming for development to be set back from the banks of watercourses.
- 7.20 London Plan Policy SI 13 outlines that development proposals should aim to achieve greenfield run-off rates and ensure that surface water run-off is managed as close to its source as possible.
- 7.21 The host dwelling is located within Flood Zone 3. Please see appendix 1 for the relevant extract from the EA's flood map.

- 7.22 The application site lies within a long-established residential area where there are areas of tarmac and soft landscaped front gardens. The rear garden consists of lawn and planting.
- 7.23 The outbuilding is proposed within the existing garden and will have a modest footprint. The building would not contain any overnight accommodation and the surrounding lawned area will be retained.
- 7.24 The elevated finished floor level and positioning all plug sockets a minimum of 300mm above finished internal floor level will ensure adequate protection in the event of a flood.
- 7.25 If they have not already, the occupants will be advised to subscribe to the Environment Agency flood warning service. There will be no change to the existing flood evacuation route from the property
- 7.26 To ensure that there would be no increase in surface water flow being discharged offsite, at least one water butt (with overflow) will also be installed. We consider this to be an appropriate Sustainable Drainage System for the site.
- 7.27 The proposal is not considered to adversely impact the local flood risk and, as such, the proposal would be in accordance with relevant policy advice.

Fire Strategy

- 7.28 London Plan Policy D12 requires the submission of a Fire Safety Statement on all planning applications. The need for a fire statement became a policy requirement with the recent adoption of the new London Plan.
- 7.29 The existing arrangements for fire appliances to be parked within the residential street will remain. The surrounding roads are of sufficient width to accommodate emergency vehicles.

7.30 The proposal would not alter current evacuation assembly points. Occupiers of the site would assemble to the front of the dwelling in the event of a fire.

7.31 Inframe Garden Rooms have confirmed that the following measures will be included in the proposed building:

- ◇ Steel framed construction
- ◇ Fire rated cladding
- ◇ No OSB to be used in construction
- ◇ New electrics installed by NICEIC registered contractor
- ◇ A smoke alarm will be fitted, where required
- ◇ Building Regulations Part P compliant construction

7.32 The proposal is therefore considered to be in compliance with Policy D12 of the London Plan.

Trees

7.33 As can be seen from the image and block plan extract below, there are no significant trees in close proximity to the siting of the proposed building, however the removal of a small fir tree is required.



Photograph of rear garden



Extract from block plan

- 7.34 The removal of this tree would not adversely affect the Conservation Area due to its limited size and quality.
- 7.35 No further landscaping would be required apart from making good the ground around the proposal.

8.0 SUMMARY

- ◇ The application seeks permission for the erection of a detached outbuilding which would be ancillary to the main use of the lower flat at 24 Defoe Avenue.
- ◇ Due to its proposed location and attractive appearance, the building would not have a detrimental impact on the visual amenities of the Conservation Area, the wider locality or the amenities of any neighbouring property, and therefore complies with the relevant local plan policies.
- ◇ Furthermore, the proposal would not lead to an increased flood risk.
- ◇ A fire strategy is submitted in support of the application.
- ◇ The proposed outbuilding therefore accords with Government advice in the National Planning Policy Framework and the policies of the Development Plan.

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Appendix 1

Flood Map for Planning

Flood map for planning

Your reference
<Unspecified>

Location (easting/northing)
519475/177070

Created
7 Aug 2024 9:55

**Your selected location is in flood zone 3
– an area with a high probability of flooding.**

This means:

- you may need to complete a flood risk assessment for development in this area
- you should ask the Environment Agency about the level of flood protection at your location and request a Flood Defence Breach Hazard Map (You can email the Environment Agency at: enquiries@environment-agency.gov.uk)
- you should follow the Environment Agency's standing advice for carrying out a flood risk assessment (find out more at www.gov.uk/guidance/flood-risk-assessment-standing-advice)

Notes

The flood map for planning shows river and sea flooding data only. It doesn't include other sources of flooding. It is for use in development planning and flood risk assessments.

This information relates to the selected location and is not specific to any property within it. The map is updated regularly and is correct at the time of printing.

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