



Design and Access Statement

Evergreen Studios
Lower Ground Floor
Little Green
Richmond
TW9 1NZ

Chartered Building
Surveying, Architectural
and Project Management



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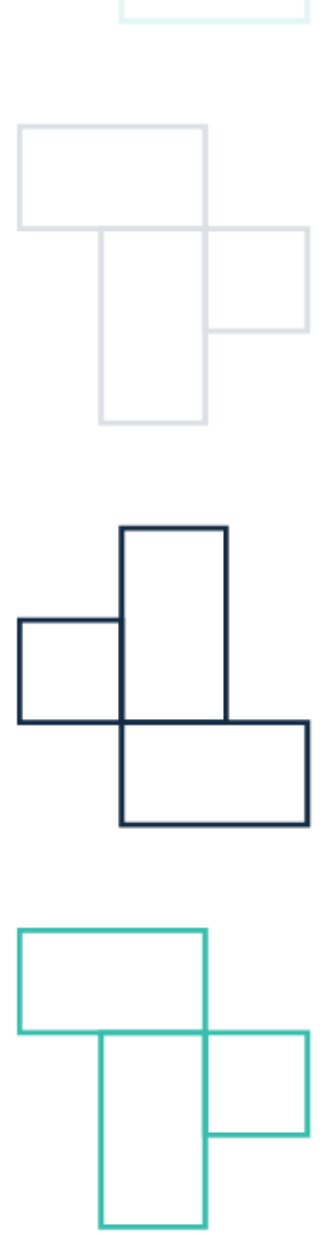
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Issue Date: 16/08/2024



1.0 SITE CONTEXT

This document has been compiled to support a full Planning Application for the external adaptations to the rear elevation to the Low Ground Floor at Evergreen Studios, Little Green, Richmond, TW9 1NZ.

The proposed works include the removal of an existing aluminium framed window and replace with new aluminium framed double door, to match existing double doors.

This Design & Access Statement should be read in consultation with the following:

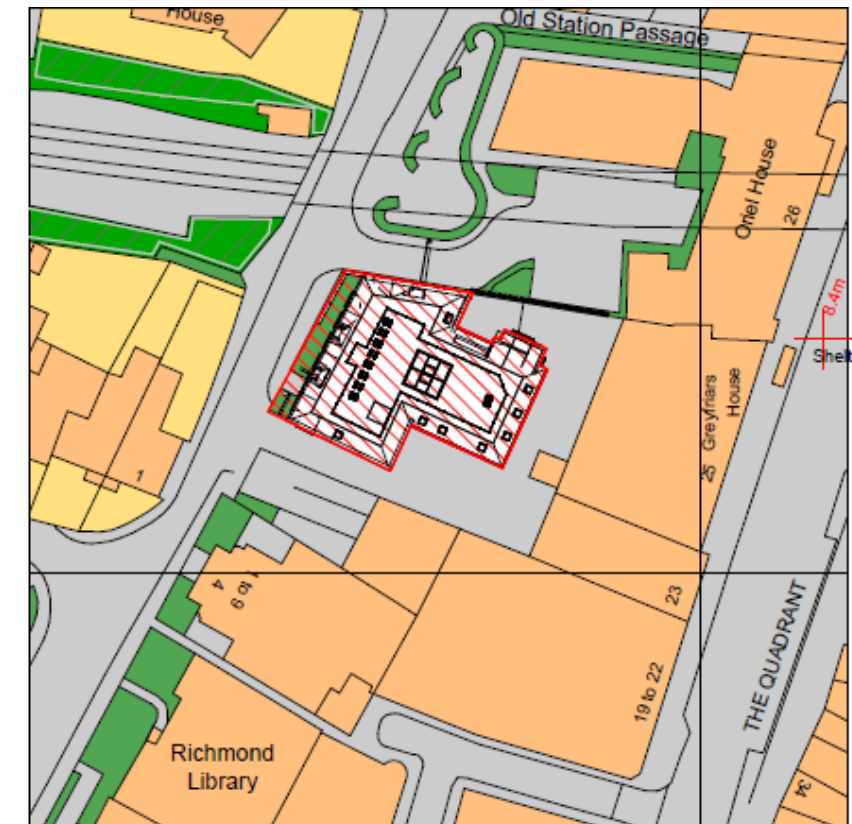
- Architects drawings by TMD Building Consultancy

Evergreen Studios is within the Borough of Richmond, London, ~~running~~ located on Little Green- Road to the west of The Quadrant (A307).

The site is located within the Richmond Green Conservation Area 3 and is situated adjacent to Central Richmond and to the south of the A316 and the Old Deer Park. It is enclosed by a number of surrounding conservation areas.



Aerial View



Site Location Plan

2.0 EXISTING BUILDING

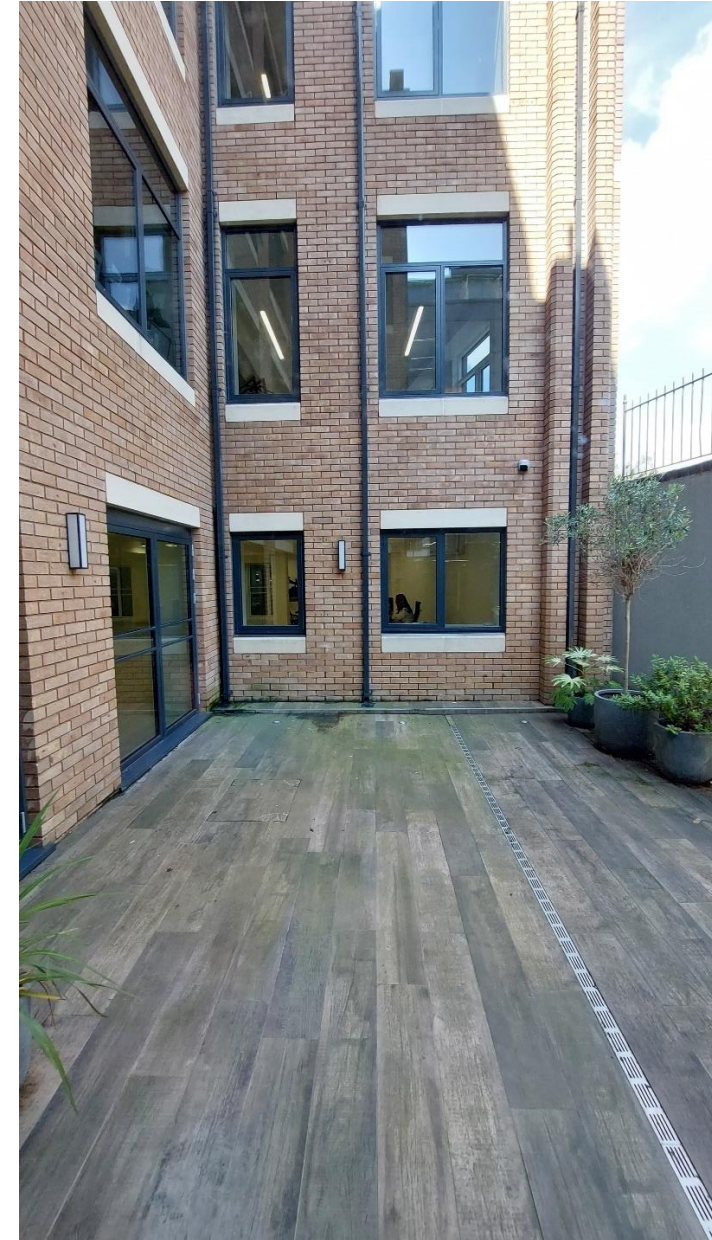
Evergreen Studios is a self-contained four storey modern commercial building. The building comprises of a brick elevations, with stone banding and lintels. To the top of the elevations consist of pointed brick dormers to a mansard roof.

Internally the building is a purpose commercial office space fit out. Specifically, the lower ground floor consists of a large vacant office unit with two external timber decking are to the left-hand side and right hand side. These areas are accessed via a number of pre finished aluminium framed double doors, in which our proposals intends to replicate ~~using the same manufacturer.~~

The elevation in which the proposal is being undertaken faces to the rear car park and other similar office buildings.



View of Elevation



View of Existing Elevation of Proposed Works

3.0 PROPOSALS

The proposal consists of replacing the existing aluminium framed double glazed window, create the opening for a new double door. The double door is to match the existing prefinished colour and to be aluminium framed.

The images below show the proposed area and door we are proposing to install. The rendered drawings shows what the proposal will look like. This can be found in '11056-EVERGREEN STUDIOS-EX-19-New emergency exit from basement'.



View of Proposed Elevation & Existing Double Door



Proposed Elevation Plan

4.0 HERITAGE CONSIDERATION

Heritage Context

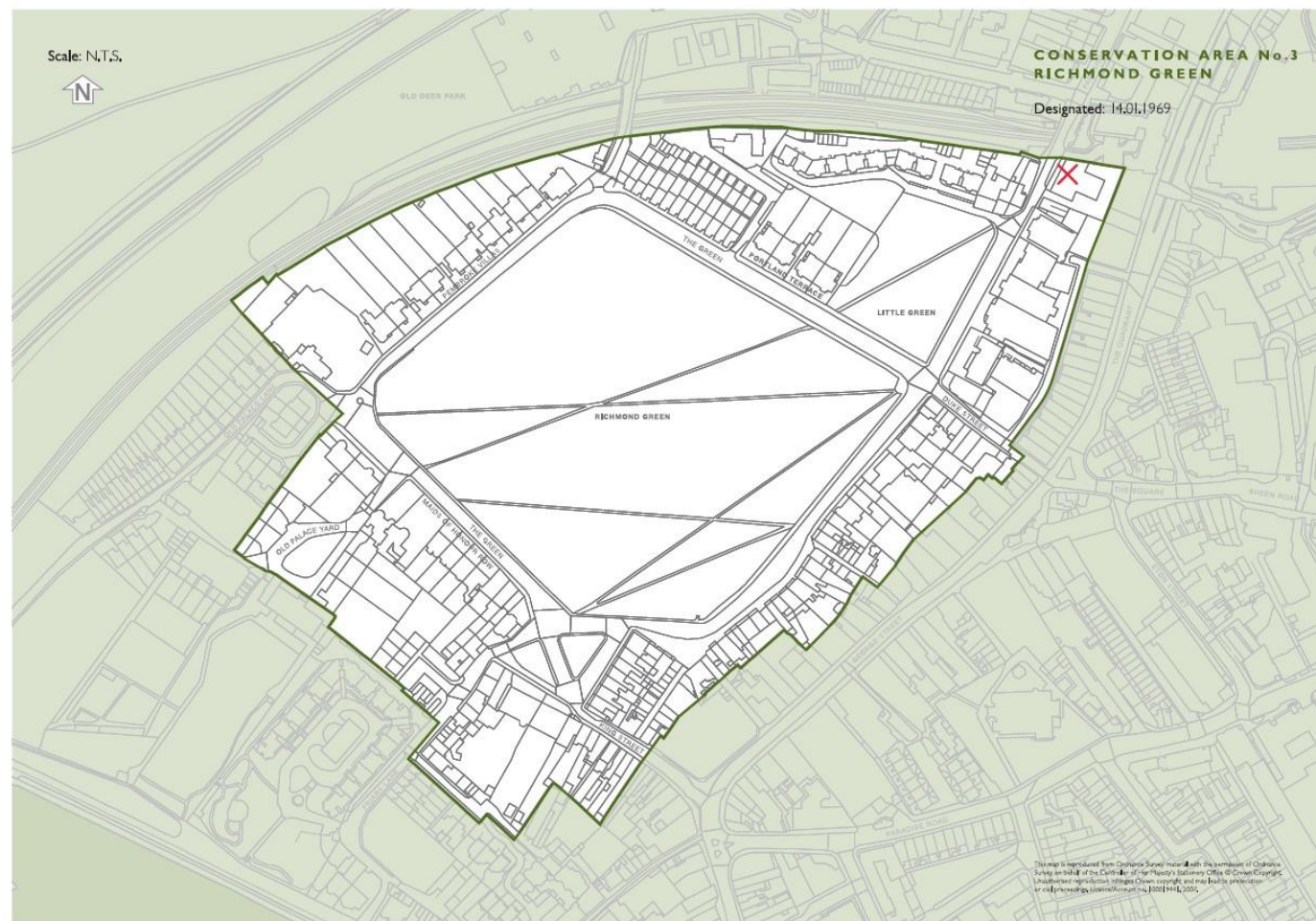
The property sits within the Richmond Green, Conservation Area No.3 within Richmond.

The London Borough of Richmond Upon Thames, describe the heritage area as per the below:

“The south west side of The Green was the site of a royal palace from the Middle Ages until Henry II's Tudor Palace was destroyed in the 17th century. Remnants of Tudor buildings survive in Old Palace Yard at the Gate House and the Wardrobe. The royal connection led to the development of substantial houses on the south east side of The Green and, after it had been demolished, on the site of the palace itself. Development spread to the north in the 18th and 19th century reflecting Richmond's status as a fashionable address and there has been some postwar building.”

The proposed elevation alterations cannot be seen from the main road, and rear facing within the demise of the Lower Ground Floor courtyard.

The below image identifies the location of Evergreen Studios within the conservation area.



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