

Application reference: 24/1620/HOT
HAMPTON NORTH WARD

Date application received	Date made valid	Target report date	8 Week date
26.06.2024	01.07.2024	26.08.2024	26.08.2024

Site:

9 Kingswood Avenue, Hampton, TW12 3AU,

Proposal:

Proposed single-storey flat roof rear extension with aluminium hinged doors and window alterations to side elevations.

Status: Pending Consideration (If status = HOLD please check that all is OK before you proceed any further with this application)

APPLICANT NAME

Mr & Mrs Gilmartin
9 Kingswood Avenue
Hampton
Richmond Upon Thames
TW12 3AU

AGENT NAME

Mr Oliver Han
Dryad House
Dryad Street
London
SW15 1BF
United Kingdom

DC Site Notice: printed on and posted on and due to expire on

Consultations:

Internal/External:

Consultee

Expiry Date

Neighbours:

7 Kingswood Avenue, Hampton, TW12 3AU, - 01.07.2024
6 Kingswood Avenue, Hampton, TW12 3AU, - 01.07.2024
24 Springfield Avenue, Hampton, TW12 3DT, - 01.07.2024
10 Kingswood Avenue, Hampton, TW12 3AU, - 01.07.2024
8 Kingswood Avenue, Hampton, TW12 3AU, - 01.07.2024

History: Development Management, Appeals, Building Control, Enforcements:

Development Management

Status: PCO

Date:

Application: 24/1620/HOT

Proposed single-storey flat roof rear extension with aluminium hinged doors and window alterations to side elevations.

Building Control

Deposit Date: 18.12.2012 4 Windows

Reference: 13/FEN02233/FENSA

Building Control

Deposit Date: 21.10.2015 Circuit alteration or addition in a special location Install a replacement

consumer unit Partial rewire

Reference: 15/NIC02581/NICEIC

Building Control

Deposit Date: 31.05.2022 Install a photovoltaic system

Reference: 22/NIC01395/NICEIC

Building Control

Deposit Date: 30.01.2024 Install a gas-fired boiler

Reference: 24/FEN00515/GASAFE

Application Number	24/1620/HOT
Address	9 Kingswood Avenue Hampton TW12 3AU
Proposal	Proposed single-storey flat roof rear extension with aluminium hinged doors and window alterations to side elevations.
Contact Officer	Fariba Ismat
Target Determination Date	26/08/2024

1. INTRODUCTION

This application is of a nature where the Council's Constitution delegates the authority to make the decision to Officers rather than it being determined by the Planning Committee.

Before preparing this summary report the planning officer considered any relevant previous planning applications in relation to the development and considered any comments made by those interested in the application such as consultees with specialist knowledge and nearby residents.

By indicating that the development proposal complies with relevant Local Plan Policies, the planning officer has considered the information submitted with the application, any previous relevant applications, any comments received in connection with the application and any other case specific considerations which are material to the decision.

2. DESCRIPTION OF THE SITE AND ITS SURROUNDINGS

The application site is occupied by a detached bungalow located on the western side of Kingswood Avenue in Hampton. The application site is situated within Hampton Ward and is designated as follow:

Number of constraints: 10

Item Found	More Information
Area Susceptible To Groundwater Flood - Environment Agency	Superficial Deposits Flooding - >= 25% <50% - SSA Pool ID: 396
Article 4 Direction Basements	Article 4 Direction - Basements / Ref: ART4/BASEMENTS / Effective from: 18/04/2018
Community Infrastructure Levy Band	Low
Risk of Flooding from Surface Water 1 in 100 chance - Environment Agency	RoFSW Extent 1 In 100 year chance - SSA Pool ID: 25310
Risk of Flooding from Surface Water 1 in 1000 chance - Environment Agency	RoFSW Extent 1 In 1000 year chance - SSA Pool ID: 42488
Risk of Flooding from Surface Water 1 in 1000 chance - Environment Agency	RoFSW Extent 1 In 1000 year chance - SSA Pool ID: 42551
Take Away Management Zone	Take Away Management Zone
Village	Hampton Village

Village Character Area	Queenswood Avenue Estate and west of Hanworth Road - Area 2 Hampton Village Planning Guidance Page 19 CHA-RAREA09/02/01
Ward	Hampton North Ward

3. DESCRIPTION OF THE PROPOSAL AND ANY RELEVANT PLANNING HISTORY

The proposal is for garage extension and conversion to habitable room.

RECENT PLANNING HISTORY

Reference	Description	Decision
24/1620/HOT	Proposed single-storey flat roof rear extension with aluminium hinged doors and window alterations to side elevations.	Under Consideration

4. CONSULTATIONS CARRIED OUT

The list of neighbours notified of this application are listed above.
No letters of representation were received.

5. MAIN POLICIES RELEVANT TO THE DECISION NPPF (2021)

The key chapters applying to the site are:

- 4. Decision-making
- 12. Achieving well-designed places

These policies can be found at:

https://assets.publishing.service.gov.uk/government/uploads/system/uploads/attachment_data/file/1005759/NPPF_July_2021.pdf

London Plan (2021)

The main policies applying to the site are:

- D4 Delivering good design
- D5 Inclusive Design
- D6 Housing quality and standards
- D12 Fire Safety

These policies can be found at: <https://www.london.gov.uk/what-we-do/planning/london-plan>

Richmond Local Plan (2018)

The main planning considerations applying to the site and the associated Local Plan policies are:

Local Character and Design Quality	LP1	Yes	No
Impact on Amenity and Living Conditions	LP8	Yes	No

These policies can be found at

https://www.richmond.gov.uk/media/15935/adopted_local_plan_interim.pdf

Supplementary Planning Documents

Design Quality

House Extension and External Alterations Hampton Wick Village Plan

These policies can be found at:

https://www.richmond.gov.uk/services/planning/planning_policy/local_plan/supplementary_planning_documents_and_guidance

6. EXPLANATION OF OFFICER RECOMMENDATION

The key issues for consideration are:

- i Design and Appearance
- ii Impact on Neighbour Amenity
- iii Fire Safety Strategy

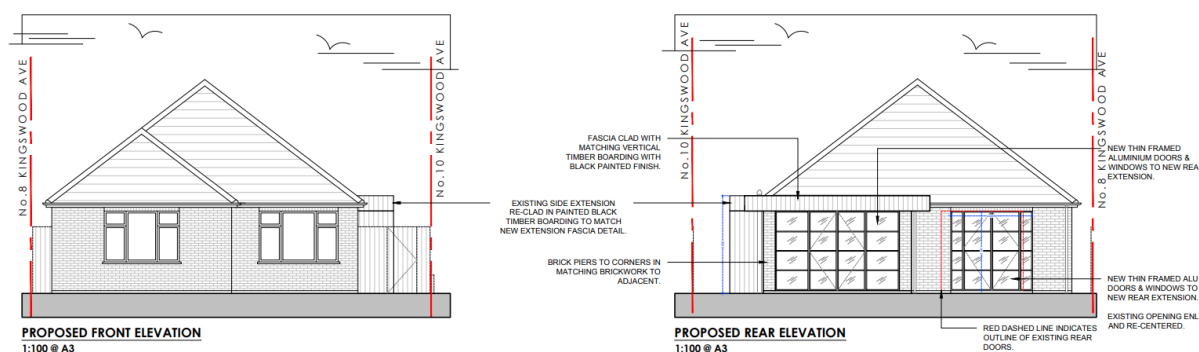
i Design and impact on heritage assets

Policy LP1 of the Local Plan 2018 seeks to maintain and, where possible, enhance the high architectural and urban design quality which contributes to the character and heritage of the area. Proposals should demonstrate an understanding of the site and its context when considering the design including layout, siting and access and the compatibility of the works to the neighbouring uses.

The Council's SPD relating to House Extensions and External Alterations states that the overall shape, size and position of side and rear extensions should not dominate the existing house or its neighbours. It should harmonise with the original appearance, either by integrating with the house or being made to appear as an obvious addition.

The proposal is for construction of a single-storey flat roof rear extension with aluminium hinged doors and window alterations to side elevations.

The proposed rear extension would be built across half of the width of the original house, would measure 3m in depth and will incorporate the existing side projection as seen in the drawing below.



The proposed elevations for the most part would be of glasswork with aluminium hinged doors and windows. The design and appearance of the proposed rear extension/conservatory along with the changed to rear elevation of the bungalow is considered to comply with design criteria set out in policy LP1 of the Local Plan and therefore is considered acceptable. The proposed changes to side elevation facing the side fence with neighbouring no. 8 would encompass removal of a larger window and installation of small round window and a casement window.

The changes to side elevation are considered in keeping with the original design of the house and is considered acceptable.

The proposal therefore in the context of this site is considered to be compliant with policy LP1 of Local Plan and design SPD and is supported.

ii Impact on neighbour amenity

Policy LP8 states that development must protect the amenity and living conditions of existing, adjoining and neighbouring occupants. Design must allow for good daylight standards, avoid overlooking or noise disturbance, avoid visual intrusion, overbearing impacts or harm to the reasonable enjoyment of the uses of buildings and gardens. Harm may arise from various impacts such as noise, air pollution, odours or vibration.

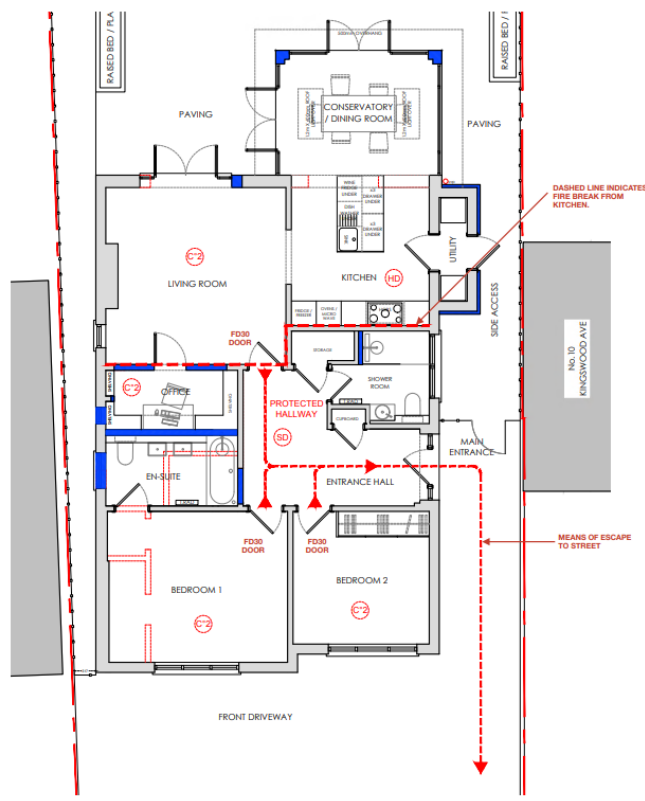
The proposed single storey rear extension in terms of depth, height and scale is within the threshold specified under the House Extensions and External Alteration SPD, keeps adequate distance from neighbouring sites and due to acceptable scale is not considered to impact neighbouring or the surrounding sites in a negative way.

The proposal therefore is considered to be compliant with aims and objectives of policy LP8 of the Local Plan and is supported.

iii Fire Safety Strategy

London Plan policy D12 requires the submission of a Fire Safety Statement on all planning Applications. However, in this case a Reasonable Exception Certificate (RES) has been submitted with the following justification.

The proposed rear extension will only enlarge the existing kitchen area with all appliances in a similar location to existing. The kitchen is separated from the bedrooms by the living room door which will be an FD30 Rated door.



All Habitable rooms will receive new 30 minute doors (FD30) with all new internal partitions to be construction with lightweight blockwork and x 2 12.5mm British Gyproc board to both sides.

The diagram on the left illustrates the fire safety measure including fire escape routes for the proposed works and is considered compliant with policy LP12 of London plan.

The proposal therefore is not considered to increase the risk of fire to the host property and therefore is considered compliant with policy D12 of London Plan and supported.

7. LOCAL FINANCE CONSIDERATIONS AND OTHER MATTERS

Section 70(2) of the Town and Country Planning Act 1990 (as amended) provides that a local planning authority must have regard to a local finance consideration as far as it is material. The weight to be attached to a local finance consideration remains a matter for the decision maker. The Mayor of London's CIL and Richmond CIL are therefore material considerations.

On initial assessment this development is not considered liable for the Mayoral or Richmond CIL however this is subject to confirmation by the CIL Administration Team.

8. RECOMMENDATION

This recommendation is made following careful consideration of all the issues raised through the application process.

Paragraph 11 of the Framework explains how the presumption in favour of sustainable development applies. For the reasons set out above, this application falls to be determined in accordance with the test under section 38(6) of the 2004 Act, the proposal is in general conformity with the Development Plan overall and there are no material considerations of sufficient weight to justify refusal.

Grant planning permission with conditions

Approved Drawings:

103-9K-PL050, 103-9K-PL010, 103-9K-PL011, 103-9K-PL200, 103-9K-PL100, 103-9K-PL101
 – Recd. 24/06/2024

Recommendation:

The determination of this application falls within the scope of Officer delegated powers - YES / ~~NO~~

I therefore recommend the following:

- 1. REFUSAL
- 2. PERMISSION
- 3. FORWARD TO COMMITTEE

This application is CIL liable YES* NO
 (*If yes, complete CIL tab in Uniform)

This application requires a Legal Agreement YES* NO
 (*If yes, complete Development Condition Monitoring in Uniform)

This application has representations online (which are not on the file) YES NO

This application has representations on file YES NO

Case Officer (Initials): ...FI.....

Dated: ...20/08/2024.....

I agree the recommendation:

EL Principal Planner
22/08/2024

Senior Planner

Dated:

This application has been subject to representations that are contrary to the officer recommendation. The Head of Development Management has considered those representations and concluded that the application can be determined without reference to the Planning Committee in conjunction with existing delegated authority.

Head of Development Management:

Dated:

REASONS:
CONDITIONS:
INFORMATIVES:
UDP POLICIES:
OTHER POLICIES:

The following table will populate as a quick check by running the template once items have been entered into Uniform

SUMMARY OF CONDITIONS AND INFORMATIVES

CONDITIONS

INFORMATIVES
