

**Application reference: 22/1442/DD18**  
HAM, PETERSHAM, RICHMOND RIVERSIDE WARD

Date application received	Date made valid	Target report date	8 Week date
24.06.2024	24.06.2024	19.08.2024	19.08.2024

**Site:**

Ham Close, Ham Village Green, Car Park To East Of Ham Village Green, And Part Of Woodville Day Centre Site And St Richards Church Of England Primary School Site,, Ham, ,

**Proposal:**

Details pursuant to condition NS20 Sample Panels of Brickwork (Phase 1) of Planning Permission 22/1442/FUL.

Status: Pending Consideration (If status = HOLD please check that all is OK before you proceed any further with this application)

**APPLICANT NAME**

Ann Fan  
The Power House  
Gunpowder Mill  
Powdermill Lane  
Waltham Abbey  
EN9 1BN  
UK

**AGENT NAME**

**DC Site Notice:** printed on and posted on and due to expire on

**Consultations:****Internal/External:**

**Consultee**  
14D Urban D

**Expiry Date**  
12.07.2024

**Neighbours:**

-

**History: Development Management, Appeals, Building Control, Enforcements:**Development Management

Status: GTD  
Date:22/03/2023

Application:22/1442/FUL  
Demolition of existing buildings on-site and change of use of land within Ham Close, the Woodville Day Centre and St Richards Church of England Primary School and the existing recycling and parking area to the east of Ham Village Green for a phased mixed-use redevelopment comprising: a. 452 residential homes (Class C3) up to 6 storeys (with plant above) b. Community/Leisure Facility (Class F2) of up to 3 storeys in height (with plant above) c. Maker labs (sui generis) of up to 2 storeys d. Basement car park e. Provision of on-site cycle, vehicle and servicing parking f. Provision of amenity

space and playspace g. Site wide landscaping and alterations to Ham Village Green, and h. New pedestrian, vehicle and cycle accesses and internal routes and associated highways works

---

Development Management

Status: GTD  
Date:23/01/2024

Application:22/1442/DD01  
Details pursuant to condition NS02 Phasing of planning permission 22/1442/FUL.

---

Development Management

Status: GTD  
Date:28/11/2023

Application:22/1442/DD03  
Details pursuant to part of condition 0152671 NS11- Written Scheme of Investigation and condition, of planning permission 22/1442/FUL

---

Development Management

Status: PCO  
Date:

Application:22/1442/DD02  
Details pursuant to condition U0152693 - NS33 Car Park Management Plan (Phase 1) and NS23 Residential Building Details (Phase 1) of planning permission 22/1442/FUL.

---

Development Management

Status: GTD  
Date:05/02/2024

Application:22/1442/DD04  
Details pursuant to conditions U0152663 - NS03 Demolition and Construction Management (phase 1), U0152664 - NS04 Environmental Construction Management (phase 1), U0152665 - NS05 Construction Waste Management Plan (phase 1) and U0152666 - NS06 Dust and Air Quality Management Plan (phase 1) of planning permission 22/1442/FUL.

---

Development Management

Status: GTD  
Date:26/02/2024

Application:22/1442/DD06  
Details pursuant to part of condition U0152669 - NS09 Drainage (Phase 1), part of condition U0152687 - NS27 Detailed Drainage Design (Phase 1) and part of condition U0152672 NS12 -Scheme of Public Engagement (Phase 1) of planning permission 22/1442/FUL

---

Development Management

Status: GTD  
Date:02/02/2024

Application:22/1442/DD05  
Details pursuant to condition U0152670 - NS10 Contaminated Land Remediation Statement (Phase 1), U0152678 - NS18 Boundary Treatment (Phase 1) and U0152692 - NS32 Residential Refuse & Waste Management (Phase 1) of planning permission 22/1442/FUL.

---

Development Management

Status: GTD  
Date:16/02/2024

Application:22/1442/DD07  
Details pursuant to condition U0152668 - NS08 Piling (IN PART) ( Blocks A, B, D & W of Phase 1), of planning permission 22/1442/FUL.

---

Development Management

Status: GTD  
Date:26/01/2024

Application:22/1442/DD08  
Details pursuant to condition U0152674 - NS14 AMS & Tree Protection (Phase 1) (Parts 1 & 2) and U0152675 - NS15 Play provision (Part 1)(Phase 1), of planning permission 22/1442/FUL.

---

Development Management

Status: GTD  
Date:21/06/2024

Application:22/1442/DD09  
Details pursuant to condition NS08 Piling (Community Centre) (Phase 1) Details of planning permission 22/1442/FUL.

---

Development Management

Status: GTD  
Date:18/01/2024

Application:22/1442/DD10  
Details relating to Phase 1 of the development, pursuant to condition U0152667 - NS07 Noise and Vibration Construction Method (Parts A-F) statement, of planning permission 22/1442/FUL.

---

Development Management

Status: GTD  
Date:27/11/2023

Application:22/1442/DD11  
Details pursuant to condition U0152684 - NS24 Community Centre Details, and U0152685 - NS25 Makers Lab Details, of planning permission 22/1442/FUL.

---

<u>Development Management</u> Status: GTD Date:12/02/2024	Application:22/1442/DD12 Details pursuant to conditions NS17 - Ecological Enhancement (Phase 1), NS40 - Tree Planting Scheme (Part A) (Phase 1) and NS41 - Hard and Soft Landscaping Scheme (Hard Landscaping Part A) (Soft Landscaping Part A) (Phase 1) of development 22/1442/FUL.
<u>Development Management</u> Status: GTD Date:27/11/2023	Application:22/1442/DD13 Details pursuant to condition U0152705 - NS45 Vehicle Parking
<u>Development Management</u> Status: GTD Date:08/01/2024	Application:22/1442/DD14 Details pursuant to Phase 1 only of condition U0152676 - NS16 Digital Connectivity, of planning permission 22/1442/FUL.
<u>Development Management</u> Status: GTD Date:16/11/2023	Application:22/1442/DD15 Details pursuant to condition U0152688 - NS28 Sound Insulation, Acoustic Requirements for the Community Centre
<u>Development Management</u> Status: GTD Date:27/11/2023	Application:22/1442/DD16 Partial discharge only - Phase 1 only - Details pursuant to condition NS19 Biodiverse Green Roof
<u>Development Management</u> Status: GTD Date:16/02/2024	Application:22/1442/S106 Pre-commencement legal agreement obligations - refer to informatives 2, 4, 5, 6 and 7 for the details that have been approved.
<u>Development Management</u> Status: INV Date:	Application:22/1442/DD17 Details pursuant to condition NS85 Obscure Glazing (Phase 1) of planning permission 22/1442/FUL.
<u>Development Management</u> Status: PCO Date:	Application:22/1442/DD18 Details pursuant to condition NS20 Sample Panels of Brickwork (Phase 1) of Planning Permission 22/1442/FUL.
<u>Building Control</u> Deposit Date: 16.10.2023 Reference: 23/1546/FP	Construction of 4 No apartment buildings containing 70 units.
<u>Building Control</u> Deposit Date: 16.10.2023 Reference: 23/1547/FP	Erection of a three storey community Building
<u>Building Control</u> Deposit Date: 16.10.2023 Reference: 23/1548/FP	Erection of a two storey community workshop building

**Recommendation:**

The determination of this application falls within the scope of Officer delegated powers - YES

**I therefore recommend the following:**

- 1. REFUSAL
- 2. PERMISSION
- 3. FORWARD TO COMMITTEE

This application is CIL liable  YES\*  NO  
 (\*If yes, complete CIL tab in Uniform)

This application requires a Legal Agreement  YES\*  NO  
 (\*If yes, complete Development Condition Monitoring in Uniform)

This application has representations online (which are not on the file)  YES  NO

This application has representations on file  YES  NO

Case Officer (Initials): EMC

Dated: 27.08.24

**I agree the recommendation:**

Team Leader Lucy Thatcher

Dated: 27 August 2024

This application has been subject to representations that are contrary to the officer recommendation. The Head of Development Management has considered those representations and concluded that the application can be determined without reference to the Planning Committee in conjunction with existing delegated authority.

Head of Development Management: .....

Dated: .....

<b>REASONS:</b>
<b>CONDITIONS:</b>
<b>INFORMATIVES:</b>
<b>UDP POLICIES:</b>
<b>OTHER POLICIES:</b>

The following table will populate as a quick check by running the template once items have been entered into Uniform

## SUMMARY OF CONDITIONS AND INFORMATIVES

### CONDITIONS

### INFORMATIVES

U0093469	DD Informative
U0093470	Applicant Informative

<b>22/1442/DD18</b>	
<b>Address</b>	Ham Close, Ham Village Green, Car Park To East Of Ham Village Green, And Part Of Woodville Day Centre Site And St Richards Church Of England Primary School Site, Ham, TW10 7PG
<b>Proposal</b>	Details pursuant to condition NS20 Sample Panels of Brickwork (Phase 1) of Planning Permission 22/1442/FUL.
<b>Contact Officer</b>	Emer Costello
<b>Target Determination Date</b>	EOT 30.08.24

## 1. DESCRIPTION OF THE PROPOSAL AND ANY RELEVANT PLANNING HISTORY

Details pursuant to condition NS20 Sample Panels (Phase 1) of planning permission:

*22/1442/FUL Demolition of existing buildings on-site and change of use of land within Ham Close, the Woodville Day Centre and St Richards Church of England Primary School and the existing recycling and parking area to the east of Ham Village Green for a phased mixed-use redevelopment comprising:*

- a) 452 residential homes (Class C3) up to 6 storeys (with plant above)*
- b) Community/Leisure Facility (Class F2) of up to 3 storeys in height (with plant above)*
- c) Maker labs (sui generis) of up to 2 storeys*
- d) Basement car park*
- e) Provision of on-site cycle, vehicle and servicing parking*
- f) Provision of amenity space and playspace*
- g) Site wide landscaping and alterations to Ham Village Green, and*
- h) New pedestrian, vehicle and cycle accesses and internal routes and associated highways works*

Granted permission 22/03/2023.

### Key Planning History

22/1442/DD16 Partial discharge only - Phase 1 only - Details pursuant to condition NS19 Biodiverse Green Roof      Granted Permission    27/11/2023

22/1442/DD15 Details pursuant to condition U0152688 - NS28 Sound Insulation, Acoustic Requirements for the Community Centre      Granted Permission    16/11/2023

22/1442/DD14 Details pursuant to Phase 1 only of condition U0152676 - NS16 Digital Connectivity, of planning permission 22/1442/FUL. Granted Permission 08/01/2024

22/1442/DD13 Details pursuant to condition U0152705 - NS45 Vehicle Parking Granted Permission 27/11/2023

22/1442/DD12 Details pursuant to conditions NS17 - Ecological Enhancement (Phase 1), NS40 - Tree Planting Scheme (Part A) (Phase 1) and NS41 - Hard and Soft Landscaping Scheme (Hard Landscaping Part A) (Soft Landscaping Part A) (Phase 1) of development 22/1442/FUL. Granted Permission 12/02/2024

22/1442/DD11 Details pursuant to condition U0152684 - NS24 Community Centre Details, and U0152685 - NS25 Makers Lab Details, of planning permission 22/1442/FUL. Granted Permission 27/11/2023

22/1442/DD10 Details relating to Phase 1 of the development, pursuant to condition U0152667 - NS07 Noise and Vibration Construction Method (Parts A-F) statement, of planning permission 22/1442/FUL. Granted Permission 18/01/2024

22/1442/DD09 Details pursuant to condition NS23 Residential Building Details of planning permission 22/1442/FUL Pending

22/1442/DD08 Details pursuant to condition U0152674 - NS14 AMS & Tree Protection (Phase 1) (Parts 1 & 2) and U0152675 - NS15 Play provision (Part 1) (Phase 1), of planning permission 22/1442/FUL. Granted Permission 26/01/2024

22/1442/DD05 Details pursuant to condition U0152670 - NS10 Contaminated Land Remediation Statement (Phase 1), U0152678 - NS18 Boundary Treatment (Phase 1) and U0152692 - NS32 Residential Refuse & Waste Management (Phase 1) of planning permission 22/1442/FUL. Granted Permission 02/02/2024

22/1442/DD06 Details pursuant to condition U0152669 - NS09 Drainage, U0152687 - NS27 Detailed Drainage Design (Phase 1) and U0152672 NS12 - Scheme of Public Engagement of planning permission 22/1442/FUL Pending

22/1442/DD04 Details pursuant to conditions U0152663 - NS03 Demolition and Construction Management (phase 1), U0152664 - NS04 Environmental Construction Management (phase 1), U0152665 - NS05 Construction Waste Management Plan (phase 1) and U0152666 - NS06 Dust and Air Quality Management Plan (phase 1) of planning permission 22/1442/FUL. Granted Permission 05/02/2024

22/1442/DD03 Details pursuant to part of condition 0152671 NS11- Written Scheme of Investigation and condition, of planning permission 22/1442/FUL Granted Permission 27/11/2023

22/1442/DD01 Details pursuant to condition NS02 Phasing of planning permission 22/1442/FUL. Granted Permission 23/01/2024

## 2. CONSULTATION

Consultees	
Urban Design	No Objection. The NS20 Sample Panels of Brickwork REV A 31 Jul 2024 were updated to replace 'Mirato Mixture' Light buff brick type with light buff brick 'Lindfield Yellow Multi' to better align with the facing brickwork as originally approved

	under 22/1442/FUL. Note the 'Mirato White Handmade' is however acceptable. There is no objection to the revised
--	---

### 3. AMENDMENT

- NS20 Sample Panels of Brickwork REV B were provided to the Council on 27.08.24. This updated a Buff brick type to better align with the character and appearance of the proposal as originally consented under 22/1442/FUL.

### 4. EXPLANATION OF OFFICER RECOMMENDATION

The relevant conditions state:

#### **U0152680 NS20 Sample Panels of Brickwork (Phase 1)**

**Sample panels of facing brickwork showing the proposed colour, texture, face-bond and pointing shall be provided on site and approved in writing by the Local Planning Authority before the relevant parts of the works are commenced and the sample panels shall be retained on site until they are approved, and work is completed. The development shall not be implemented other than in accordance with the approved details and shall be maintained as such for the lifetime of the development.**

**REASON: To ensure that the proposed development is in keeping with the existing building(s) and does not prejudice the appearance of the locality.**

#### Information Supplied:

- Application Form received on 24 June 2024
- NS20 Sample Panels of Brickwork REV B received on 27.08.24

#### Committee Report (Extracts Brick Types)

Block A:

Paragraph 8.157 Some detailing is also provided including horizontal banding, with the white brick at ground floor being differentiated from the three storey upper floors of buff stock brick in terms of materiality.

Block B:

Paragraph 8.167 This block is proposed as 4 storey with plant at roof level. It is of red brick construction of 10 bays across with recessed balconies at the end of the first and second floors and open balconies above. The central entrance at ground floor is defined by a different materiality in the form of white stock brick.

Block D:

Paragraph 8.160 These blocks consist of smaller apartment blocks, although it is acknowledged that T is connected to U and therefore does not have the same proportions as D. The fenestration of these blocks is symmetrical, with a vertical emphasis, ordered round a central entrance. Again, brick detailing around the windows and horizontal banding has been used to add interest to the façade.

Block W:

Paragraph 8.162 Block W: This block would be located on the western strip of the site and represents a 4 storey composition with 3 storey end pieces. The materiality of the three upper floors of buff brick is different to the ground floor of white brick, again breaking up the massing and adding interest.

Community Centre:

Paragraph 8.173 The community centre would be predominantly white architectural masonry

at the upper floors, green brick on the loggia and timber panelling at ground floor on the recessed elevations.

Paragraph 8.174 The southern elevation of the community centre, fronting Back Lane, is broken down horizontally, by including the brick arch loggia, as well as the parking at ground floor level.

Paragraph 8.175 The western elevation, fronting the Green, is similarly broken down at ground floor level with green brick and the arched loggia.

**Boundary Wall:**

Para 8.124 The site is open to the northeast and south, whereas the western boundary is defined by a red brick wall of approx. 1.6m in height against St Richards CofE school and the Woodville Centre with mature trees straddling the boundary

Para 8.374 Boundary treatments are proposed to comprise brick walls, low key estate railings, high railings and timber fences. The strategy is appropriate along with the proposed boundary treatments. Details would be secured by condition.

Design and Access Statement (Approved Document)

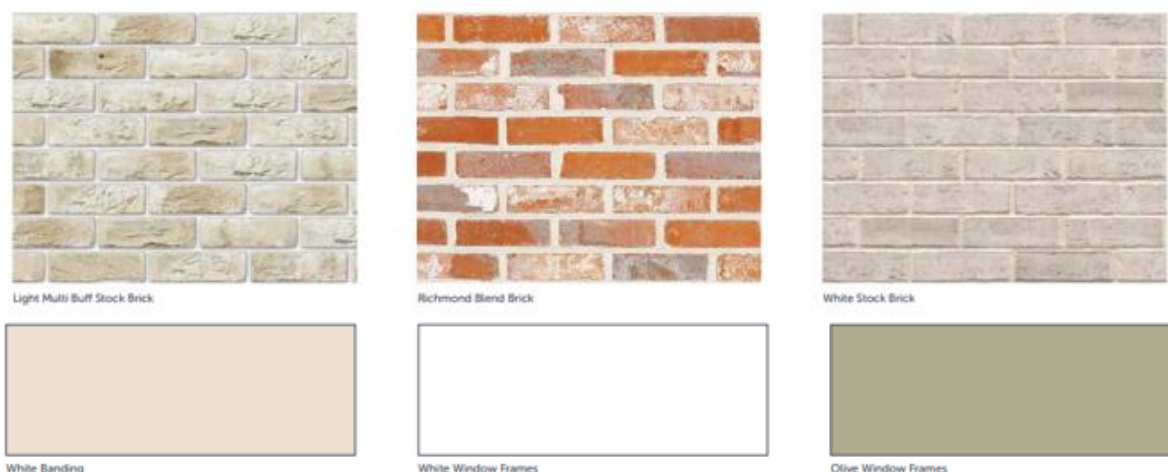


Figure 1. Extract Section 4.5.5 Unifying Elements of Design – Materials

Committee Addendum

None.

Committee Minutes

None.

Summary

The Council approved the below brick types and these are reflected in the Committee report 22/1442/FUL.

<i>Phase 1</i>	<i>Broad Brick Style Agreed</i>
Community Centre	White Masonry Green Brick
Block A	White Brick Buff Stock Brick
Block B	Red Brick



	White Brick
Block W	Buff Brick White Brick
Boundary Wall	Red Brick

Officer Assessment

<b>NS20 Sample Panels of Officer Assessment Brickwork (Phase 1)</b>		
<b>Sample panels of facing brickwork showing the proposed colour, texture, face-bond and pointing shall be provided on site and approved in writing by the Local Planning Authority before the relevant parts of the works are commence</b>	Community Centre	<p>Facing Brickwork: MOTTLE GREEN Glazed by EH Smith Clay Products. Colour: Green Texture: Smooth Facing Bond: Buket handle Pointing: Purple light by Cemex</p> <p>Facing Brickwork: SHOT-BLASTED, colour Ivory concrete Colour: Ivory Texture: Smooth Facing Bond: Bucket handle Pointing: Purple light by Cemex</p>
	Block A	<p>Facing Brickwork: Lindfield Yellow Multi Colour: Light Multi Buff Stock Texture: Textured medium Facing Bond: Bucket Handle Pointing: Light Yellow by Cemex</p> <p>Facing Brickwork: MIRATO White handmade by Camtech Colour: White Stock Brick Texture: Medium Smooth Facing Bond:Nucket Handle</p>
	Block B	<p>Facing Brickwork: ASHBURY HANDMADE by Camtech Colour: Red Mixed Stock Texture: Medium textured Facing Bond: Bucket handle Pointing: Light Yellow by Cemex</p> <p>Facing Brickwork: MIRATO White handmade by Camtech Colour: White Stock Brick Texture: Medium Smooth Facing Bond:Nucket Handle</p>
	Block D	<p>Facing Brickwork: Lindfield Yellow Multi Colour: Light Multi Buff Stock Texture: Textured medium Facing Bond: Bucket Handle Pointing: Light Yellow by Cemex</p>

		Facing Brickwork: MIRATO White handmade by Camtech Colour: White Stock Brick Texture: Medium Smooth Facing Bond:Nucket Handle
	Block W	Facing Brickwork: MIRATO White handmade by Camtech Colour: White Stock Brick Texture: Medium Smooth Facing Bond:Nucket Handle Pointing: Light Yellow by Cemex  Facing Brickwork: Lindfield Yellow Multi Colour: Light Multi Buff Stock Texture: Textured medium Facing Bond: Bucket Handle Pointing: Light Yellow by Cemex
	Boundary Wall	Facing Brickwork: Wolds Minister Blend Colour: Red Texture: High Texture Facing Bond: Light Yellow by Cemex Pointing: Buckey handle

<b>NS20 Sample Panels of Brickwork (Phase 1)</b>		<b>Officer Assessment</b>
<b>The sample panels shall be retained on site until they are approved, and work is completed.</b>		Compliance. Remain in full force.
<b>The development shall not be implemented other than in accordance with the approved details and shall be maintained as such for the lifetime of the development.</b>		Compliance. Remain in full force.

The brick details are consistent with the overarching colour and brick type originally approved under 22/1442/FUL. The Council's Urban Design Officer has been consulted and raise no objection to the revised proposals (NS20 Sample Panels of Brickwork Rev B received on 27.08.24) which replaced the light multi buff stock 'Mirato Mixture' with 'Lindfield Yellow Multi'. It is recommended that this condition is DISCHARGED.

## 5. RECOMMENDATION

Following consideration of the supplied material alongside all material considerations, it is considered that the requirements of condition NS20 Sample Panels of Brickwork (Phase 1) have been met. This condition may be **DISCHARGED**.

This discharge of condition is for Phase 1 of 22/1442/FUL ONLY. The applicant is advised that this condition will need to be discharged again for Phases 2 & 3.