

**42 St Marks Road**  
Design and Access Statement  
August 2024





Existing front elevation



Existing rear elevation



View towards Fairfax Road



Neighbouring trees screening view to Fairfax Road properties

## 1. Introduction

42 St Marks Road is a 3 bedroom semi-detached house, with a rear garden and side access. The house is not listed and is not located in a Conservation Area.

The proposal is for a new first floor half width extension.

## 2. Use

The use of the property will remain as existing, a domestic house.

## 3. Planning history

### Relevant Planing History

- 09/0803/PS192 Hip to gable roof conversion with rear dormer - GRANTED

- 06/2810/HOT Demolition of the existing single storey garage and the erection of a two-storey side extension and loft conversion and the provision of new landscaping - REFUSED

- 03/0387/PS192 Demolition Of Garage And Erection Of Single Storey Rear Extension- GRANTED

### Relevant Local Planning History

- 13/4475/HOT Part width first storey rear extension- GRANTED

- 12/3507/HOT Two storey side extension incorporating single storey front extensions. Part two storey, part single storey rear extension - GRANTED

- 08/0100/HOT First floor and single storey rear extension- GRANTED

## 4. Amount

The proposed first floor extension would add 8m<sup>2</sup>.

## 5. Layout

The house has a living room and kitchen/dining room at ground floor, with an existing full width single storey extension. At first floor there are two good sized bedrooms, a box room and a family bathroom.

The proposal is to add an additional bedroom in the new extension, to accommodate the growing spatial needs of the occupants. The extension has been positioned on the opposite side of the house to the party wall line, to reduce the impact of the extension on the adjacent property.

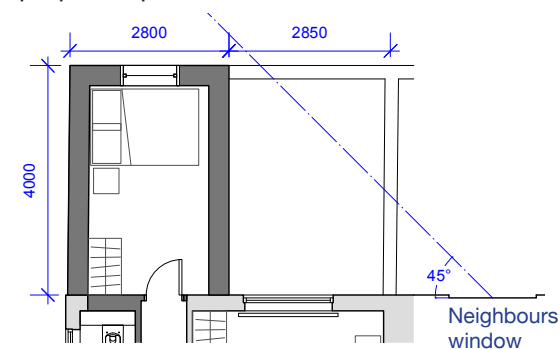
## 6. Scale

The size of the proposed extension is an appropriate scale for the existing building.

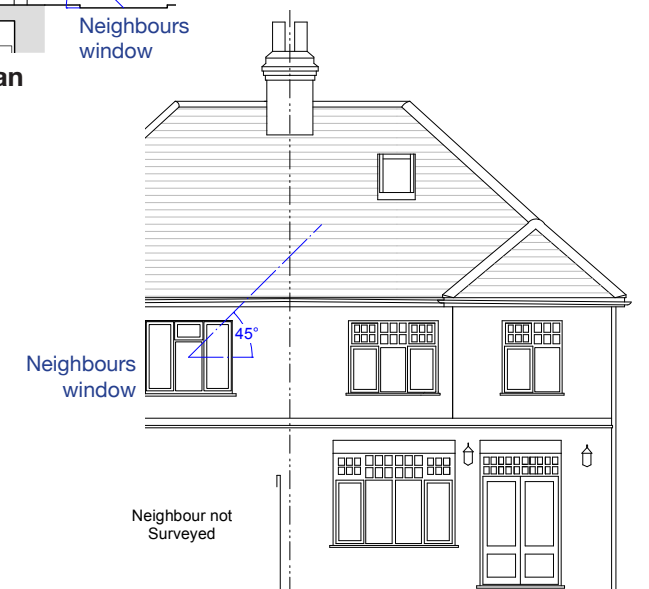
The proposed extension is less than half the width of the existing house, with a width of 2.8m, in line with the SPD on House Extensions and External Alterations.

The extension is 4m long, to match the length of the existing single storey extension. The scale of the extension complies with the BRE 45 degree rule in both length and height, and will therefore have minimal impact on the amenity of the neighbouring property at 40 St Marks Road. This complies with policy LP8 of the Local Plan.

The eaves of the extension sit at the same level as the main roof, and with the proposed pitched roof, the extension is visually subordinate to the original house.



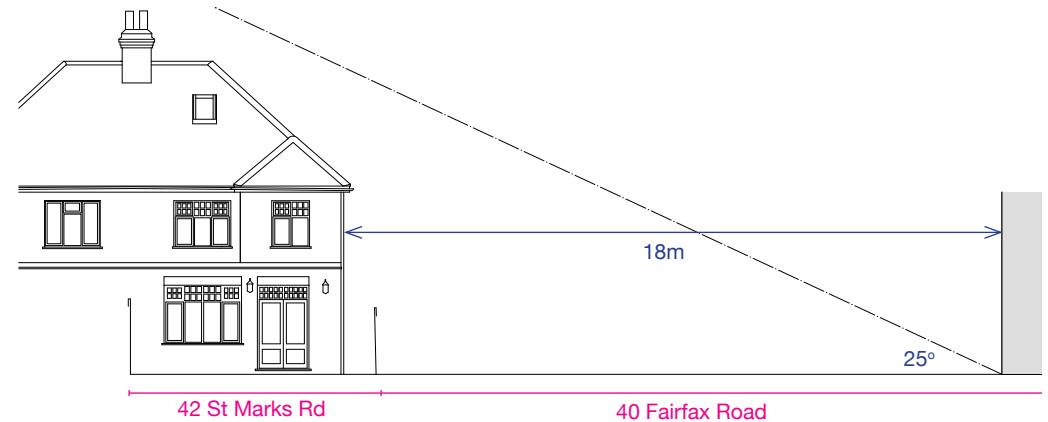
Proposed rear extension plan



Proposed rear extension elevation

## 6. Scale cont.

The side elevation of the application property sits over 18m from the rear of the Fairfax Road houses. This is beyond the 13.5m separation distance stated in policy LP8 of the local plan, for maintaining privacy between properties. The new extension also falls under the 25 degree line of BRE guidance for mitigating overshadowing or loss of daylight.



Proposed Rear Elevation and Section through 40 Fairfax Road

## 7. Appearance

The proposed extension has been designed to match the character of the existing house and surroundings, in line with policy LP 1 of the Local Plan and the SPD on House Extensions and External Alterations.

The extension will be rendered, with a pitched roof of red clay tiles to match the existing.

The style of the new windows at first floor will match the existing windows. The side facing window will have obscured glazing to protect the privacy of the neighbours gardens along Fairfax Road.

The rooflight to the new extension will be a low profile Velux style rooflight.

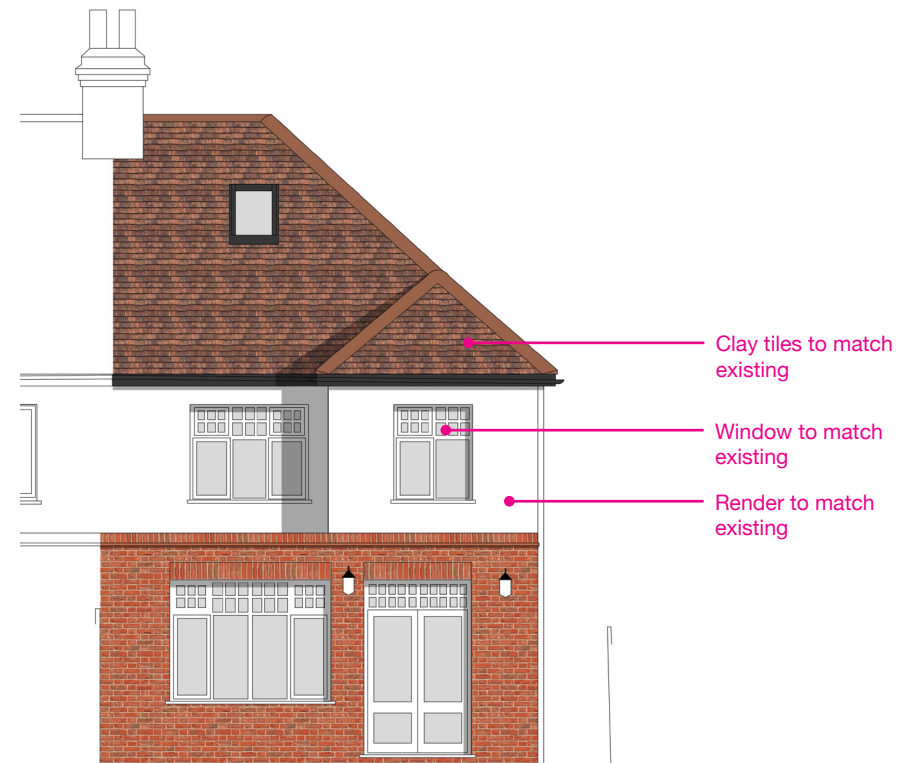
## 8. Access

The access to the house will remain as existing.

## 9. Conclusion

We feel that the proposed extension will compliment the existing house, be in character with the surroundings and have minimal effect on any neighbouring properties.

The proposals would greatly enhance the house and allow it to accommodate the growing spatial needs of the owners.



Proposed Rear Elevation