

3 — PHOTOGRAPHS

3.1 PHOTOGRAPHS OF THE CURRENT CONDITION



Front facade



Patio doors to rear garden



Southwestern elevation along Kilmington Road



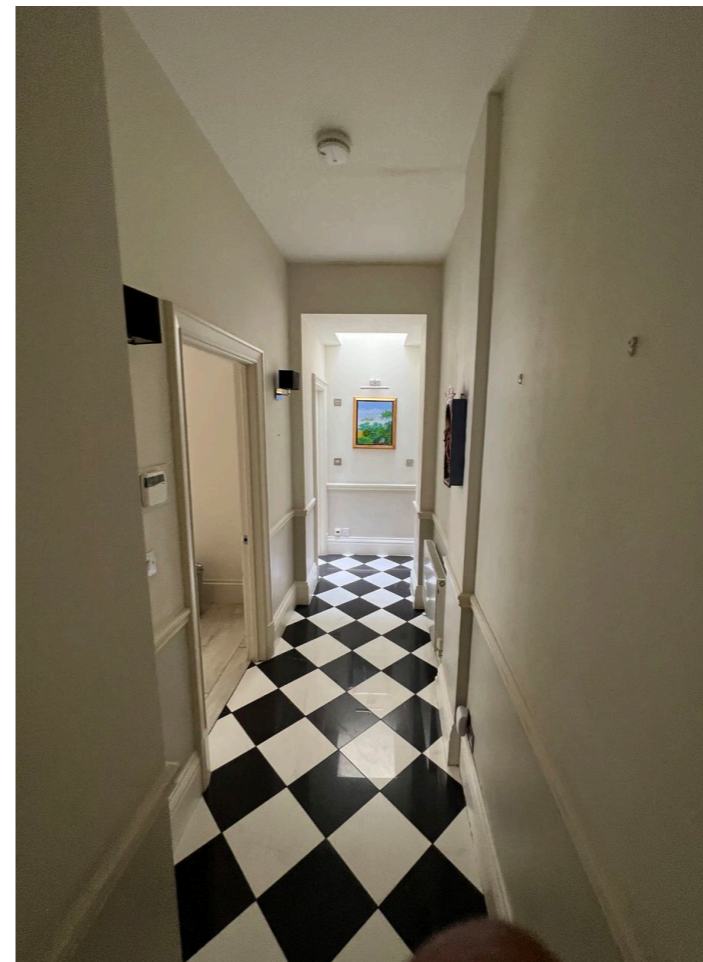
Google Earth view



Existing Ground Floor Bedroom



View into windowless lounge



Interior corridor



Current side elevation oblique

4 — DESIGN PROPOSAL

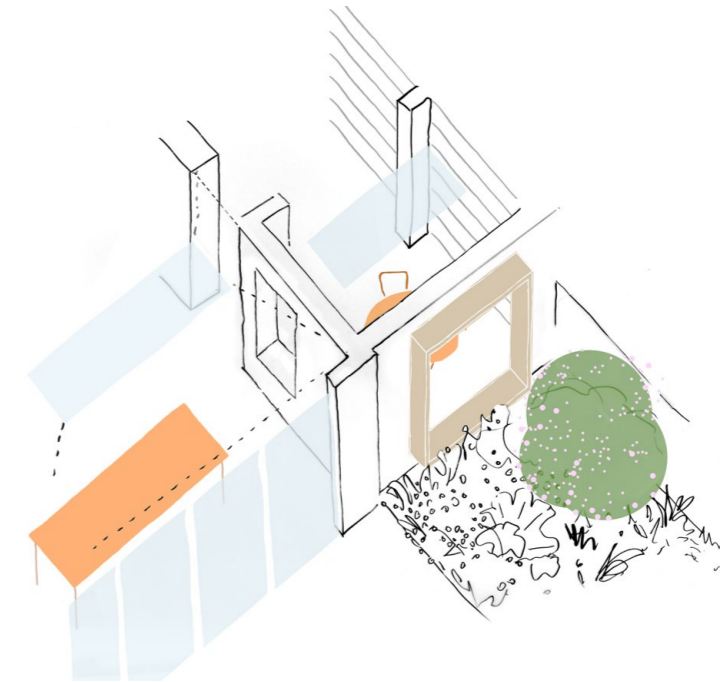
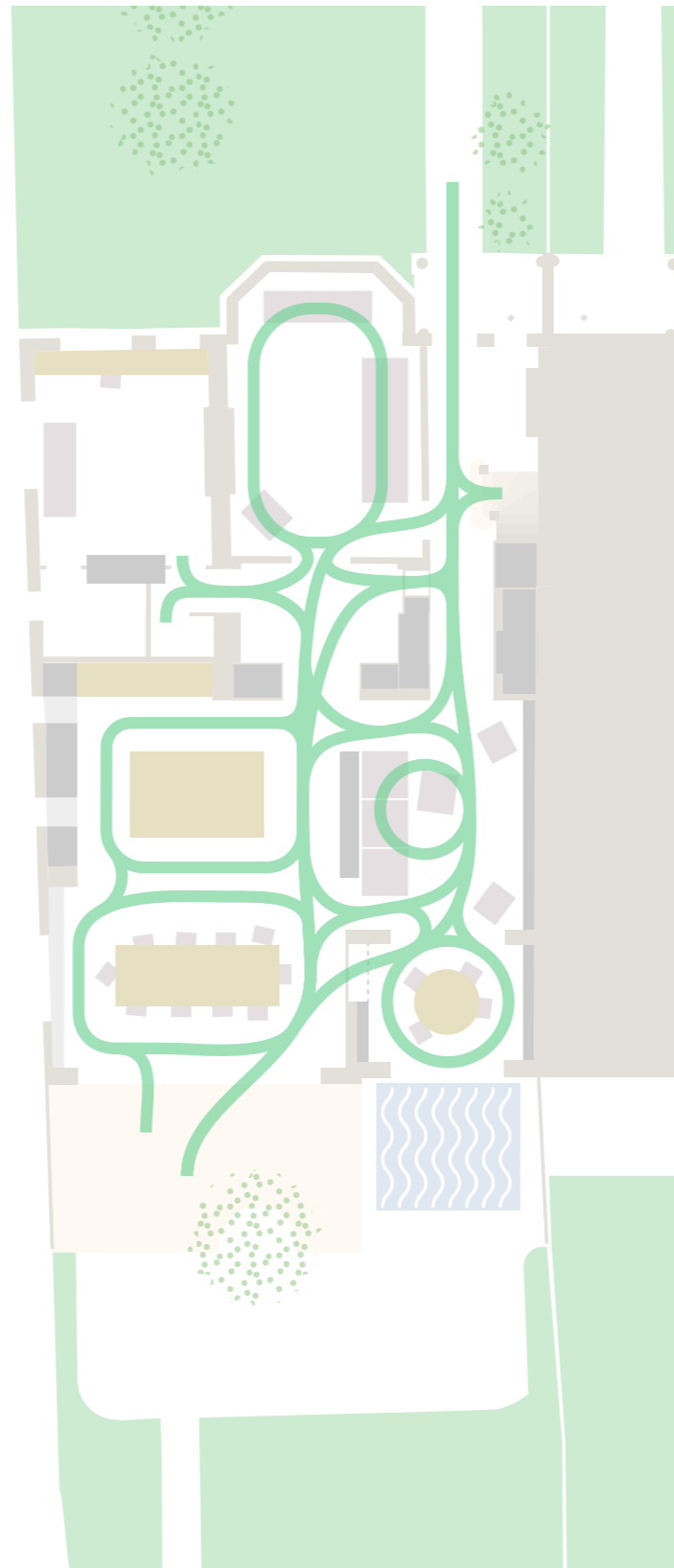
4.1 DESIGN INTENTION

The design proposal is a comprehensive rebalancing of the property's amenities following a 2002 ground floor extension which left the bedroom arrangement over-served by the provision of family spaces.

The proposed side extension importantly enables all bedrooms to occupy the quieter first and second floors. This arrangement allows the current ground floor bedroom to be defined as a much needed work-from-home room.

In order to address these issues in a conclusive manner the proposed expansion is appropriate, and in discovering that the existing foundations are adequate the extension is diligent. The material changes are strategic in pursuit of an environmentally conscious approach, with the existing fabric retained and brought to full potential and new materials carefully sourced. A full description of the sustainable design is outlined in the Sustainability Statement provided.

The following pages outline the external expressions of the proposed design, these amendments are the subject of consideration in our application for planning approval.



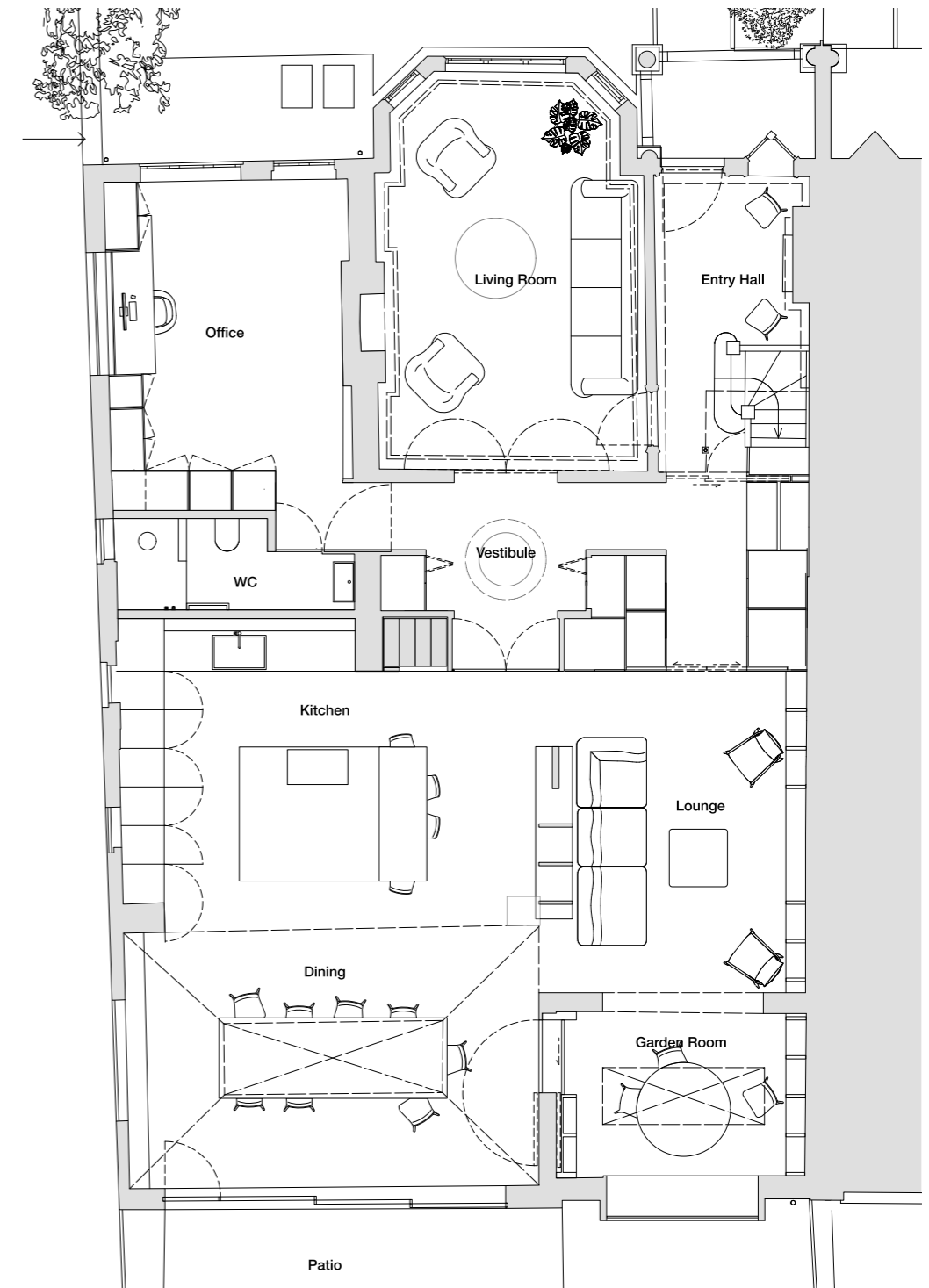
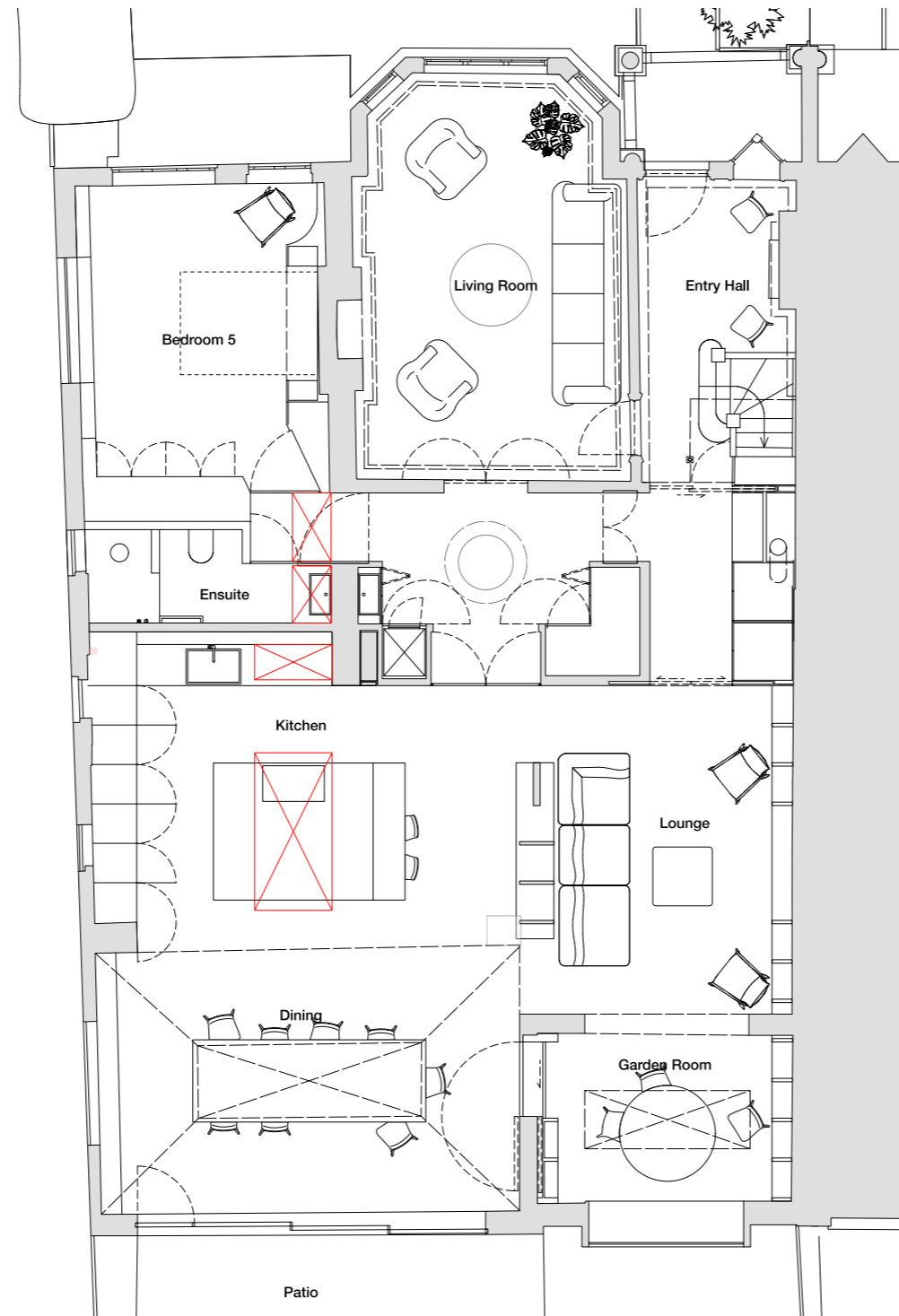
4 — DESIGN PROPOSAL

4.2 GROUND FLOOR

At Ground floor level there are no amendments to the exterior of the property from what has already been approved in the June 2024 Planning approval (ref. 24/1043/HOT).

One of the driving factors of the renovation is ground floor bedroom accommodation. The ground floor bedroom was originally conceived as an independent granny annex with separate access from the front garden. The noises from both outside at street level and the adjacent living areas make this bedroom uncomfortable, this is compounded by the relative isolation of the bedroom from other sleeping quarters. This proposal suitably positions all bedrooms on the first and second floors. The proposal ensures that the room could be returned to bedroom use should it be required for accessibility reasons.

Already approved in the June 2024 Planning approval are; the windows along Kilmington street, upgraded to slimmer frames without vertical subdivision and improved glass offering better thermal and acoustic insulation, and the closing in to a window of the second front door.



Ground floor plan demolition and proposed (not to scale), for scale drawing and annotation see application drawing number: 337.200 and 377.300 respectively

4 — DESIGN PROPOSAL

4.3 FIRST FLOOR

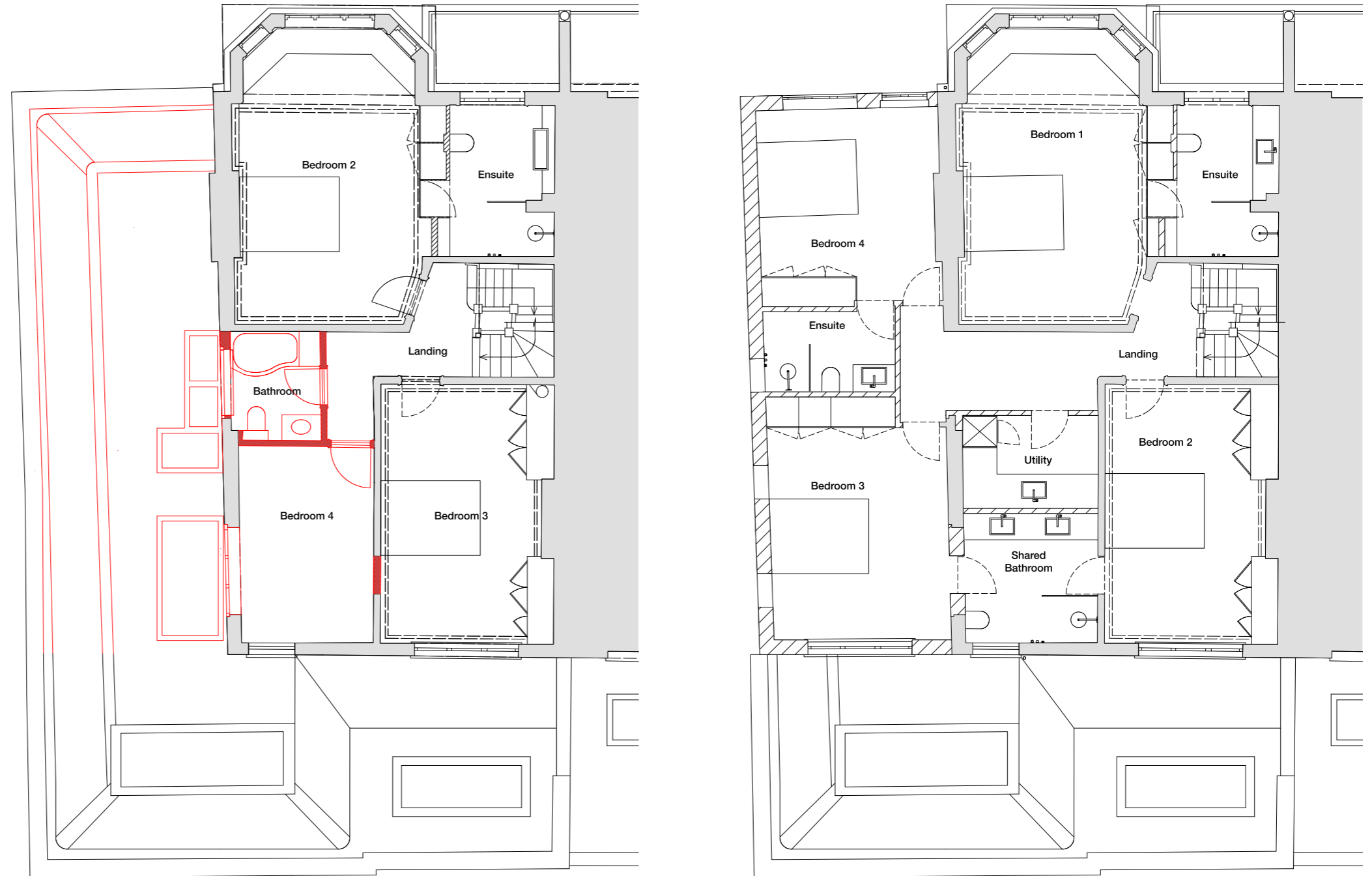
The first floor extension follows the perimeter wall of the existing ground floor extension.

Windows have been considerably positioned to balance the elevations external appearance.

The additional bathrooms bring the property up to meet conventions for a contemporary family home.

The existing exterior wall is to remain in place with new openings formed from the existing windows, this a part of a sustainable material strategy which has lead the design process. The new exterior wall will be built to meet high levels of thermal performance and acoustic separation.

Where original features are present, such as the staircase and the proportions of bedroom 2, these will be renovated and retained.



First floor plan demolition and proposed (not to scale), for scale drawing and annotation see application drawing number: 337.201 and 377.301 respectively

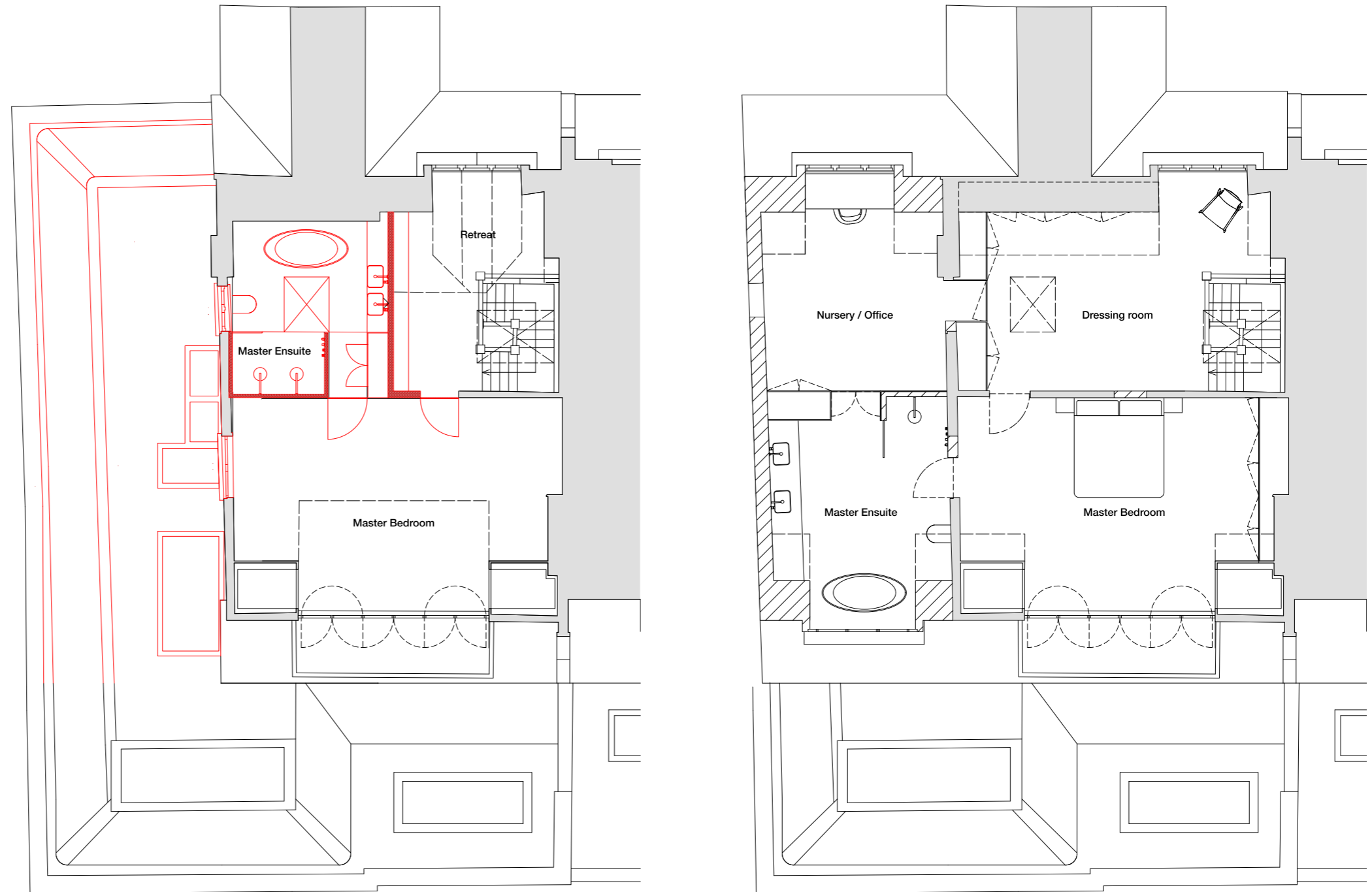
4 — DESIGN PROPOSAL

4.4 SECOND FLOOR

The second floor roof volume will be increased, extending the gable end wall out to stack on that of the existing ground floor extension along Kilmington road.

Again the existing exterior wall remains in place with strategic openings to the extended rooms. The extension is a combined strategy with improvement works to the thermal envelope at roof level, as such the entire roof will be upgraded to high levels of thermal performance - both to prevent heat loss and to prevent over heating, a key element to the holistic improvement of 69 Lonsdale Road.

The additional Nursery/Office at second floor level fulfils the needs of the current occupiers and offers flexibility for those to come. Inbuilt flexibility and ease of adaptation are key strategies for offering a resilient housing stock in preparation for the unpredictable needs of our immediate future.



Second floor plan demolition and proposed (not to scale), for scale drawing and annotation see application drawing number: 337.202 and 377.302 respectively

4 — DESIGN PROPOSAL

4.5 FRONT ELEVATION

As outlined in 2.4 Facade Proportion Study great care has been taken to ensure that the alignment, scale, and proportion of the proposed front elevation is respectful of the local character.

The current single story side extension is an anomaly on the street. The proposal rectifies this, enhancing the character and appearance of the local area.

Locally appropriate and hard-wearing materials are adopted to further ensure that the proposal is consciously situated and weathers in to the areas notable quality.

New imperial Victorian wire cut bricks will be used in the first floor front facade extension matching the original property. Reclaimed red clay tiles will be used in the roofing, mixed with those removed from the roof of the current low level extension.

Windows will be casement timber and painted, in every way matching the existing windows. The new dormer will match the original dormers of the street both in form and material.



Front Elevation as Proposed (not to scale), for scale drawing see application drawing number: 337.310

4 — DESIGN PROPOSAL

4.6 REAR ELEVATION

The South facing rear facade conforms in scale and proportion to the varied rear elevations of the neighbouring suburban context.

Existing windows are refurbished to improve energy performance, the previously approved centre window will be installed as approved, and the additional window in the first floor extension is to match the existing triple casement window.

At roof level none of the rear windows are original. A new dormer window is proposed, half the width of the existing double dormer and follow vertical alignment. The new dormer will not extend to floor nor feature a balcony, as the existing double dormer, but follow the sill height of the neighbouring property. Both dormers will feature flat roofs, fitting to the local area as outlined in 2.5, this is primarily to allow solar panels to be installed on the south facing pitched roof. Dormers will be clad with zinc similarly coloured to lead but with improved performance.

The brickwork to the rear facade will be Flemish bond London Stock, as the original property.



Rear Elevation as Proposed (not to scale), for scale drawing see application drawing number: 337.311

4 — DESIGN PROPOSAL

4.7 SIDE ELEVATION

Along Kilmington Road the extension is fully present, as such the materiality and form is carefully composed so as to offer a calm presence whilst conforming to the local context.

The brickwork across this facade is matching to the current first and second floor side elevation, Flemish bond London stock whitewashed to match and add softness and patina.

There are no issues of overlooking however in respect to the privacy of the street, and in reference to the local historic precedent of utilitarian side elevations, few carefully positioned windows are proposed. This composition is far more restrained and markedly more considerate than the approved 2002 scheme.

The windows are arranged in vertical alignment to the existing ground floor apertures, and take a simple form, matching those previously approved at ground floor level. The windows in the new facade will not open in order to achieve the greatest acoustic and thermal isolation.



Side Elevation as Proposed (not to scale), for scale drawing see application drawing number: 337.312

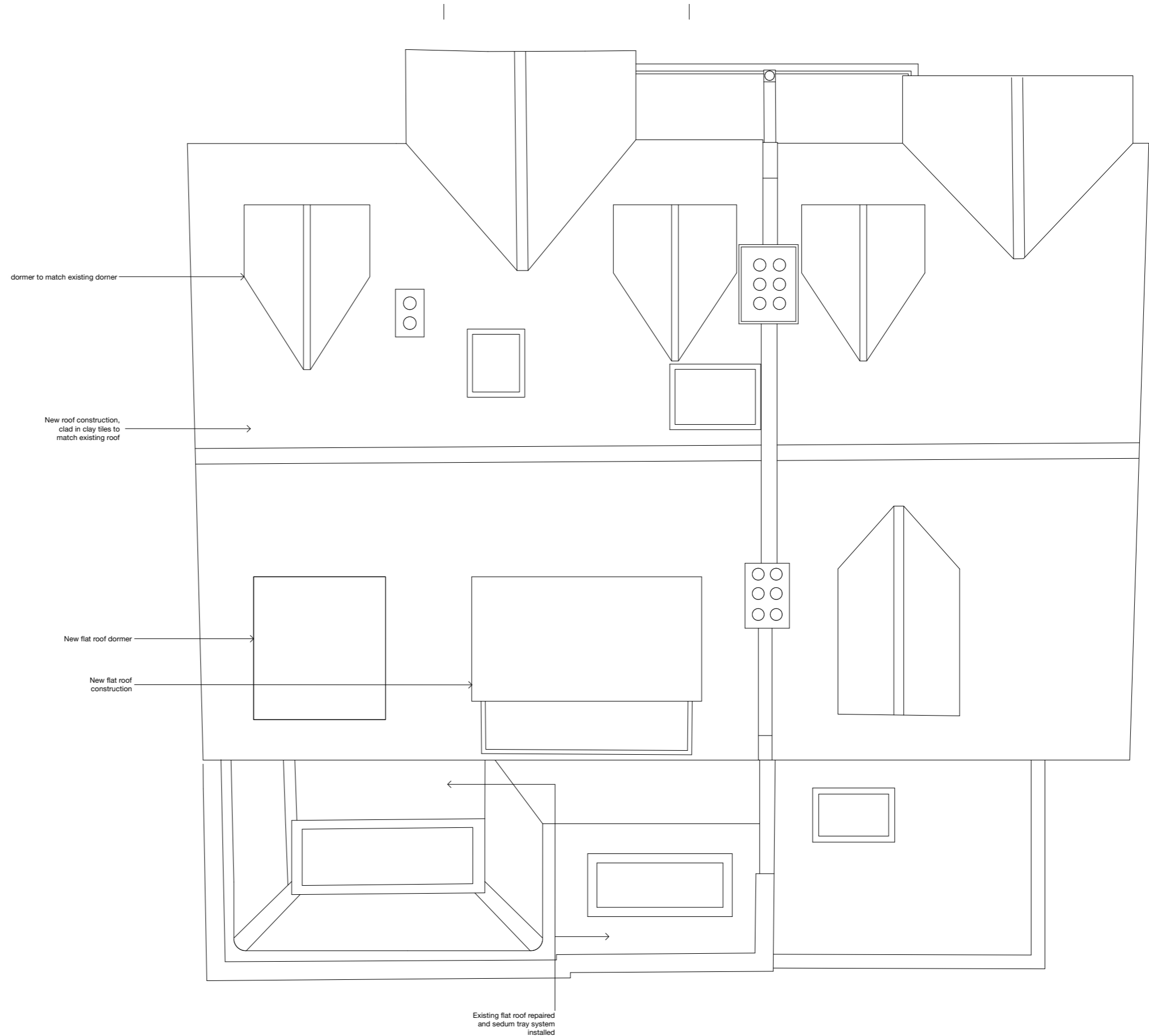
4.8 ROOF PLAN

From the roof plan the new and adapted dormer windows are clear, the alignment for which has been carefully composed from the front and rear elevations.

The roofing material will be reclaimed clay tiles mixed with clay tiles removed from the existing first floor extension, this will match the context of the street and soften the junction of the extended roof-line.

The overall roof footprint will not change and so the quantity of water runoff into the existing drainage will not change.

The flat roof sections of the rear first floor extension which are to remain, and undergo renovation, will be supplemented with a sedum tray system as part of an overheating mitigation strategy, these will have the added benefit of supporting insect habitats, delaying storm surge rainwater run off, protecting waterproof membranes thus extending the expected lifetime of that material, and providing a degree of insulation in and of itself.



Roof Plan as Proposed (not to scale), for scale drawing see application drawing number: 337.303

4 — DESIGN PROPOSAL

4.9 FRONT GARDEN

Considering the Kilmington Road elevation in completeness it is noted that the existing front garden fence is in poor condition. The proposal seeks to replace this timber fence with a brick wall, this will continue in form, scale, and proportion from the existing front garden wall at Lonsdale Road and return to meet the existing ground floor extension.

This proposed garden wall is a mirror to the existing garden wall of 71 Lonsdale road, the established plants will be maintained and continue to serve as a pleasant feature along the street.



Side Elevation Long as Proposed (not to scale), for scale drawing see application drawing number: 337.313

5 — PLANNING POLICY

5.1 POLICY OVERVIEW

The proposed development should be considered in accordance with the relevant planning legislation and National policy guidance. The guidance states that planning decisions in England and Wales should be taken in accordance with the development plan unless material considerations indicate otherwise. This statutory requirement is set out in Section 38(6) of the Planning and Compulsory Purchase Act 2004.

The statutory development plan for the London Borough of Richmond upon Thames consists of:

- The London Plan (2021)
- The Local Plan (2018)

In addition, the following documents are important material considerations for the determination of planning applications in Richmond:

- National Planning Policy Framework (NPPF) (2021)
- National Planning Practice Guidance (NPPG) (2014, as amended)
- Richmond's Core Strategy (2009)
- 4.6 Richmond's Development Management Plan (2011)

- 4.7 Richmond's Design Quality SPD (2006)
- 4.8 Richmond's Residential Development Standards SPD (2010)
- 4.9 Richmond's Design for Maximum Access SPG (1991)
- 4.10 Richmond's House Extensions and External Alterations SPG (2015)
- 4.13 Richmond's Planning Information for Buildings of Townscape Merit

5.2 LONDON PLAN 2021

The London Plan forms part of the development plan for the site and was adopted in March 2021.

The relevant policies are discussed below:

- Policy D4 'Delivering Good Design' states that developments should be of the highest quality internally, externally and in relation to their context and wider environment, considering (among others) local character; density, and the needs of children, disabled and older people.
- Policy HC1 'Heritage Conservation and Growth' states that developments affecting heritage assets and their settings should conserve their significance, by being sympathetic to their form, scale, materials, and architectural detail.

4.3 THE LOCAL PLAN

The Local Plan adopted by London Borough of Richmond Upon Thames in 2018 outlines policies and guidance for the development of the borough.

The Local Plan provides wide reaching and thorough guidance, to which this proposal complies in every way.

5.4 NATIONAL PLANNING POLICY FRAMEWORK

The revised National Planning Policy Framework (NPPF) was adopted in July 2021. This document provides a consolidated framework of planning policy which replaces the previous National Planning Policy Framework published in March 2012.

The NPPF outlines the presumption in favour of sustainable development. Achieving sustainable development means that the planning system has three overarching objectives: an economic objective, a social objective and environmental objective.

The following section is especially pertinent for the proposal:

- Chapter 12 (paragraphs 126 & 130) state

that it is fundamental for good design to be achieved to create better places to live and work. Developments should function well, be visually attractive and sympathetic to local character and history.

5.5 NATIONAL PLANNING PRACTICE GUIDELINE

The Government launched the Planning Practice Guidance resource in March 2014. The resource is continually updated, with the most recent update reflecting the revised National Planning Policy Framework adopted in February 2019.

The following excerpt relate to the proposal:

- Paragraph 001 (Design) states that as a core planning principle, plan makers and decision takers should always seek to secure high quality design.
- Paragraph 040 (Design) states that well-designed housing should be functional, attractive, and sustainable. It should also be adaptive to the changing needs of its occupants.

6 — DRAWING LIST

6.1 SITE

337.001: Location Plan

6.2 EXISTING

337.100: Ground Floor Plan as Existing
337.101: First Floor Plan as Existing
337.102: Second Floor Plan as Existing
337.103: Roof Plan as Existing
337.110: Front Elevation as Existing
337.111: Rear Elevation as Existing
337.112: Side Elevation as Existing
337.120: Section AA as Existing
337.121: Section BB as Existing
337.122: Section CC as Existing
337.123: Section DD as Existing

6.3 EXISTING AS APPROVED JUNE 2024

337.100A: Ground Floor Plan as Existing
337.101A: First Floor Plan as Existing
337.102A: Second Floor Plan as Existing
337.103A: Roof Plan as Existing
337.110A: Front Elevation as Existing
337.111A: Rear Elevation as Existing
337.112A: Side Elevation as Existing
337.120A: Section AA as Existing
337.121A: Section BB as Existing
337.122A: Section CC as Existing
337.123A: Section DD as Existing

6.4 DEMOLITION

337.200: Ground Floor Plan as Demolition
337.201: First Floor Plan as Demolition
337.202: Second Floor Plan as Demolition
337.203: Roof Plan as Demolition
337.210: Front Elevation as Demolition
337.211: Rear Elevation as Demolition
337.212: Side Elevation as Demolition
337.220: Section AA as Demolition
337.221: Section BB as Demolition
337.222: Section CC as Demolition
337.223: Section DD as Demolition

6.4 PROPOSED

337.300: Ground Floor Plan as Proposed
337.301: First Floor Plan as Proposed
337.302: Second Floor Plan as Proposed
337.303: Roof Plan as Proposed
337.304: Front Garden Plan as Existing and Proposed
337.310: Front Elevation as Proposed
337.311: Rear Elevation as Proposed
337.312: Side Elevation as Proposed
337.313: Side Elevation Long as Proposed
337.314: Front Elevation Long as Existing and Proposed
337.320: Section AA as Proposed
337.321: Section BB as Proposed
337.322: Section CC as Proposed
337.323: Section DD as Proposed