

PROPOSED LOFT PLAN

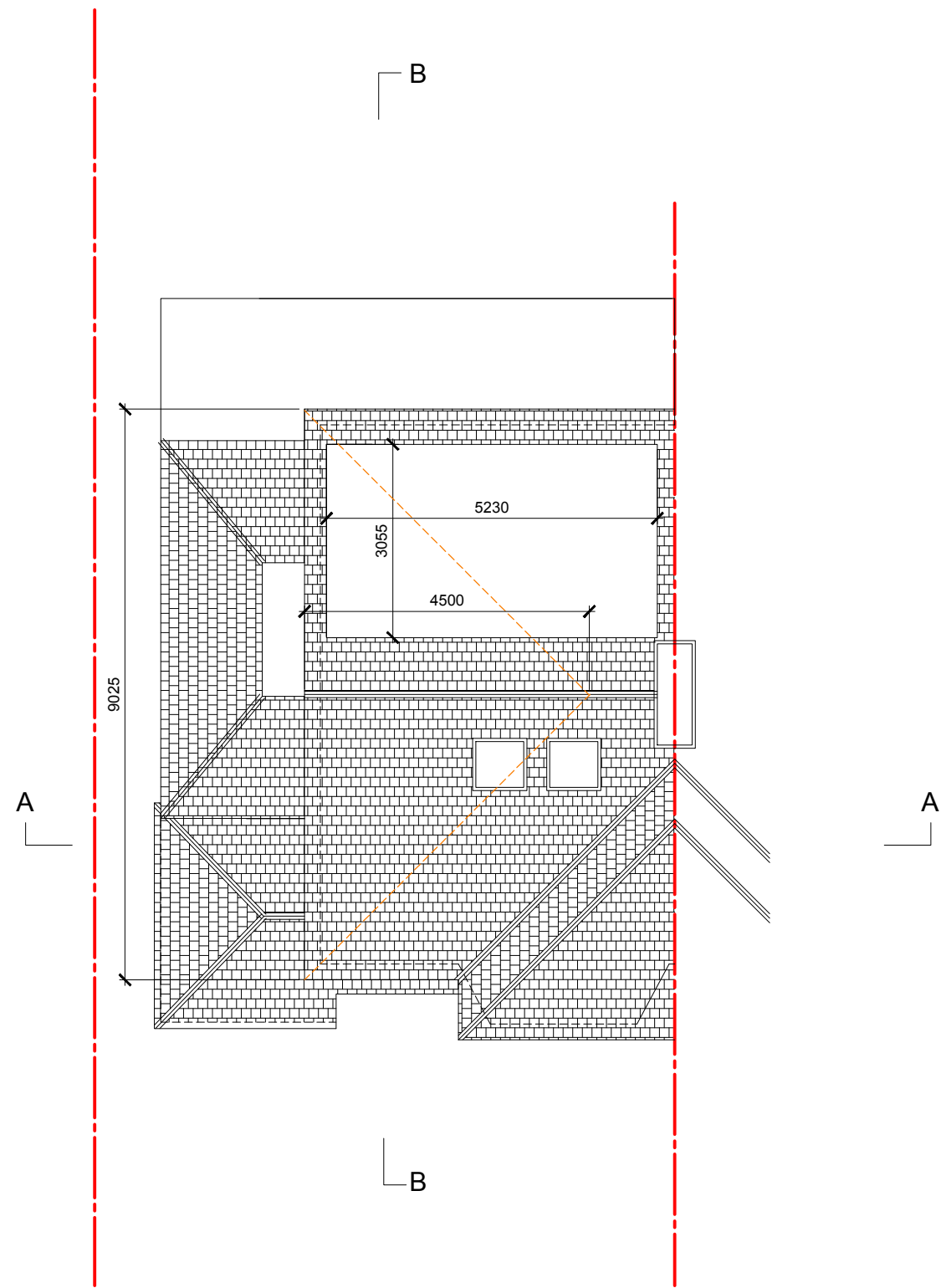
PERMITTED DEVELOPMENT VOLUME CALCULATION

Volume 01 - Hip
 Area base = $1/2 (4.5m \times 9.025m) = 20.3m^2$
 Volume hip = $1/3 (20.3m^2 \times 3.4m) = 23m^3$

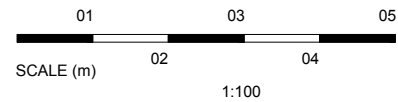
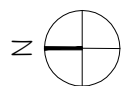
Volume 02 - Dormer
 $5.23m \times 3.05m \times 2.5m = 37.0m^3 / 2 = 20m^3$

Total Additional Volume
 $23m^3 + 20m^3$
 $m^3 = 43m^3 < 50m^3 = OK$

note : the existing loft conversion , ref planning application number 87 / 0505 granted is to be demolished, the proposed loft remains under 50m³.



PROPOSED ROOF PLAN



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|-----------------|------------------|------------------|-----------------------------|-----------|---|
| drawn GD | project | 38 Grange Avenue | purpose of issue | PLANNING | Giovanna Daldello ARB RIBA ARCHITECT gdaldello@icloud.com 07736506701 |
| | scale @ A3 1:100 | drawing | Proposed Loft and Roof Plan | 38GA_PL53 | |
| date 20.08.2024 | | | | | |