



Application reference: 19/2859/DD04
ST MARGARETS AND NORTH TWICKENHAM WARD

Date application received	Date made valid	Target report date	8 Week date
15.07.2024	16.07.2024	10.09.2024	10.09.2024

Site:

15 St Peters Road, Twickenham, TW1 1QY,

Proposal:

Details pursuant to condition U0091146 (Materials to match exist'-be app'd;) of planning permission 19/2859/HOT.

Status: Pending Consideration (If status = HOLD please check that all is OK before you proceed any further with this application)

APPLICANT NAME

Mr & Mrs Nicola
 15 St Peters Road
 Twickenham
 Richmond Upon Thames
 TW1 1QY

AGENT NAME

Mr Michael Hughes
 Suite 2, Parson's Green House
 27 Parson's Green Lane,
 London
 SW6 4HH

DC Site Notice: printed on and posted on and due to expire on

Consultations:

Internal/External:

Consultee
 14D Urban D

Expiry Date
 31.07.2024

Neighbours:

-

History: Development Management, Appeals, Building Control, Enforcements:

Development Management

Status: GTD Application:98/T0069
 Date:27/01/1998 Judas - Cut Back Side Stem To New Growth At Approximately 2.5m, Crown Thin Remainder By 25 And Reduce Regrowth From Old Reduction Points By Approximately 1m.

Development Management

Status: RNO Application:00991/15/T1
 Date:15/09/1980 To fell 5 sycamores and 1 false acacia.

Development Management

Status: GTD Application:04/1452/HOT
 Date:19/07/2004 Replacement of front wall, railings and gates.

Development Management

Status: GTD Application:05/T0104/TCA
 Date:11/03/2005 T1 - Hawthorn (Crataegus spp) - Fell to ground level.

Development Management

Status: RNO Application:12/T0729/TCA

Date:30/11/2012	T1 - Judas Tree - Reduce & re-shape the crown by 35-40% all round to lessen weight in upper crown & stress on weakened trunk. Thin & clean out crown, remove deadwood, weak & suppressed branches.
<u>Development Management</u> Status: RNO Date:28/02/2018	Application:18/T0042/TCA T1 - Judas - Fell to ground level T2 - Magnolia - Reduce by up to 1m T3 - Myrtle - Reduce by up to 1m and prune to shape, crown clean through removal of excess regrowth T4 - Olive - Reduce height by approx. 2m (but now lower than height of adjacent back door) and reduce laterally to contain and shape
<u>Development Management</u> Status: RNO Date:16/08/2018	Application:18/T0443/TCA T1 - Hawthorn - Remove the 2 lowest limbs growing over the drive of No. 15 to tie in with the other side. Reduce the crown sympathetically by 1m to balance.
<u>Development Management</u> Status: GTD Date:23/08/2019	Application:19/1196/HOT Alteration and extension of the existing side projection on lower and upper ground floors.
<u>Development Management</u> Status: GTD Date:07/12/2020	Application:19/2859/HOT The proposal is for lower ground floor extension and ground floor extension with pitched roof across half of the width of the host building, terraced area above ground floor level with stairs leading to rear garden, relocation of the first floor window and insertion of 2 x windows on the rear elevation, replacing the existing rear dormer with new dormer, insertion of 2 x side windows on the north west elevation and replacement of the existing sky lights on side roof slopes with conservation style roof lights
<u>Development Management</u> Status: RNO Date:19/03/2020	Application:20/T0119/TCA T1 - Olive - Reduce to 2.5m, and transplant to the opposite corner of the garden. Final height 2.5m and Final Spread 2m T2 - Olive - Transplant to the opposite corner of the garden
<u>Development Management</u> Status: RNO Date:20/04/2021	Application:21/T0215/TCA Rear Garden Myrtle (1) - 2m crown reduction in width and 2m reduction in height, leaving a canopy spread of 2.5m and height of 2.5m Tidy and prune laterally to contain and shape; crown clean through and removal of excess growth.
<u>Development Management</u> Status: WDN Date:13/04/2021	Application:21/T0323/TCA Myrtle (1) - 2m crown reduction in width and 2m reduction in height, leaving a canopy spread of 2.5m and height of 2.5m
<u>Development Management</u> Status: GTD Date:11/08/2023	Application:23/0218/HOT Relandscaping of the front garden. New front wall with railings and new pedestrian and vehicular gates. Replacement of some windows to the property. New window at first floor. New front steps to entrance and garage and new garage door.
<u>Development Management</u> Status: WDN Date:07/11/2023	Application:23/1957/HOT Lower and upper ground floor extensions. New front roof dormer and refurbishment of rear roof dormer. New side windows at lower ground floor.
<u>Development Management</u> Status: GTD Date:15/09/2023	Application:19/2859/DD01 Details pursuant to condition U0091150 - Privacy screens, of planning permission 19/2859/HOT.
<u>Development Management</u>	

Status: WDN
Date:13/12/2023
Application:19/2859/DD02
Details pursuant to condition U0091146 - Materials to match exist'-be app'd; and U0091147 - Window obscure glazed-Non openable; of planning permission 19/2859/HOT.

Development Management

Status: REF
Date:07/02/2024
Application:23/3202/HOT
Lower and upper ground floor extension, dormer roof extension and front dormer

Development Management

Status: GTD
Date:06/02/2024
Application:23/0218/DD01
Details pursuant to condition U0162805 - Front Boundary, of planning permission 23/0218/HOT.

Development Management

Status: WDN
Date:28/06/2024
Application:19/2859/DD03
Details pursuant to condition U0091146 - Materials to match exist'-be app'd; and U0091147 - Window obscure glazed-Non openable; of planning permission 19/2859/HOT.

Development Management

Status: PCO
Date:
Application:19/2859/DD04
Details pursuant to condition U0091146 (Materials to match exist'-be app'd;) of planning permission 19/2859/HOT.

Development Management

Status: PCO
Date:
Application:23/0218/DD02
Details in pursuant of conditions U0162812 (Details - Materials to be approved) and U0162809 (Details - Windows/Doors) of planning permission 23/0218/HOT

Building Control

Deposit Date: 05.03.2004
Single storey side extension, alterations to second floor and provision of first floor shower room

Reference: 04/0458/FP

Building Control

Deposit Date: 02.04.2004
Single storey side extension, alterations to second floor and provision of first floor shower room

Reference: 04/0458/RS1/FP

Building Control

Deposit Date: 20.07.2018
Install a gas-fired boiler
Reference: 18/FEN02307/GASAFE

Building Control

Deposit Date: 29.06.2023
Part single storey part two storey rear extension, formation of dormer to existing loft room and internal alterations

Reference: 23/1046/FP

Building Control

Deposit Date: 28.09.2023
Rear extension to property at lower ground floor level and part rear extension at ground floor level including creation of ground floor level rear terrace, alterations at lower ground floor level including new utility room and refurbishment of existing floor structure, new WC, alterations to partitioning at upper ground floor level, alterations at first floor level including new rear bedroom and new en-suite WC to an existing bedroom, alterations at second floor level to remove one bedroom and enlarge remaining bedroom and make existing WC en-suite. Refurbishment or replacement of all external windows, installation of 2 new window openings in the right hand side elevation at first floor level, reopening of 2 original window openings in the left hand side elevation at lower ground floor level, removal of rear right hand side chimney breast, and installation of new full height external double doorsets to the front and the rear elevations at lower ground floor level and rear elevation at upper ground floor level

Reference: 23/1467/IN

Building Control

Deposit Date: 15.08.2024 New full electrical installation (new build)

Reference: 24/NIC03330/NICEIC

Enforcement

Opened Date: 14.05.2004 Enforcement Enquiry

Reference: 04/00205/EN

Application Number	19/2859/DD04
Address	15 St Peters Road Twickenham TW1 1QY
Proposal	Details pursuant to condition U0091146 (Materials to match exist'-be app'd) of planning permission 19/2859/HOT.
Contact Officer	Fariba Ismat
Target Determination Date	10/09/24

1. DESCRIPTION OF THE PROPOSAL AND ANY RELEVANT PLANNING HISTORY

Details pursuant to condition U0091146 (Materials to match existing and be approved) of planning permission 19/2859/HOT.

Recent Planning History

Reference	Proposed Description	Decision
19/2859/DD04	Details pursuant to condition U0091146 (Materials to match exist'-be app'd;) of planning permission 19/2859/HOT.	Under Consideration
23/0218/DD02	Details in pursuant of conditions U0162812 (Details - Materials to be approved) and U0162809 (Details - Windows/Doors) of planning permission 23/0218/HOT	Pending Consideration
23/0218/DD01	Details pursuant to condition U0162805 - Front Boundary, of planning permission 23/0218/HOT.	Granted Permission
23/0218/HOT	Relandscaping of the front garden. New front wall with railings and new pedestrian and vehicular gates. Replacement of some windows to the property. New window at first floor. New front steps to entrance and garage and new garage door.	Granted Permission
19/2859/DD01	Details pursuant to condition U0091150 - Privacy screens, of planning permission 19/2859/HOT.	Granted Permission
19/2859/HOT	4m lower ground floor extension, 3m ground floor extension and dormer roof extension.	Granted Permission
19/1196/HOT	Alteration and extension of the existing side projection on lower and upper ground floors.	Granted Permission

2. EXPLANATION OF OFFICER RECOMMENDATION

Permission was previously granted (19/2859/HOT) for:

"The proposal is for lower ground floor extension and ground floor extension with pitched roof across half of the width of the host building, terraced area above ground floor level with stairs leading to rear garden, relocation of the first floor window and insertion of 2 x windows on the rear elevation, replacing the existing rear dormer with new dormer, insertion of 2 x side windows on the north west elevation and replacement of the existing sky lights on side roof slopes with conservation style roof lights."

The decision notice included condition U0091146 (Materials to match exist'-be app'd) and details are now provided to allow discharging of this condition.

The relevant condition states:

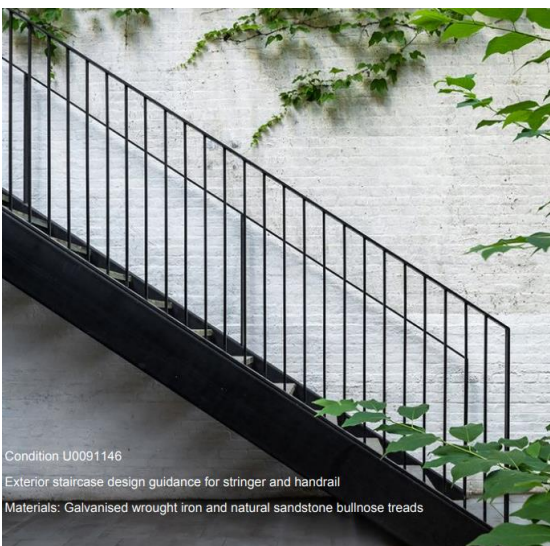
Condition U0091146 (Materials to match existing – to be approved)

The external surfaces of the building(s) (including fenestration) and all areas of hard surfacing, where applicable, shall not be constructed other than in materials to match the existing and in accordance with details/samples of which shall be submitted to and approved in writing by the Local Planning Authority.

REASON: To ensure that the proposed development is in keeping with the existing building(s) and does not prejudice the appearance of the locality.

The following have been submitted:

The materials of the proposed extension comprise reclaimed yellow stock brick and slate tiles for the roof as seen below. These were assessed on site by conservation officer and verbally approved and samples were provided too. Details have additionally been supplied about the materiality of the exterior staircase, which would include sandstone treads and galvanised wrought iron balustrade illustrated in the photos below, all of which are acceptable. Details are also provided about sandstone paving stones for the rear garden and are acceptable.



The approved fenestration of the proposal included sash windows to the front and side of the dwellinghouse. Technical details of the sash windows have been provided and agreed by the Conservation, however, the spacer bars were asked to be white to maintain traditional

appearance of the windows and it was confirmed in an email of 09/09/24.

The details of the proposals therefore are considered to be in accordance with the Statutory Duties of the 1990 Act as the proposals will preserve the character and appearance of the conservation area. It is also in accordance with para 205 of the NPPF. The proposals will not cause harm to the heritage assets and thus the policy tests of the NPPF do not apply. Proposals are also in accordance with local policies LP1, LP3 and LP4. Condition U0091146 (Materials to match exist'-be app'd) of planning permission 19/2859/HOT, therefore is recommended to be discharged.

3. RECOMMENDATION

Upon full assessment of the submitted material supporting the application, taking into account all material considerations, it is considered the requirements of U0091146 of planning permission 19/2859/HOT have been met.

Discharge condition/s

Submitted Materials and Drawings

Drawing number 1, 2 and Typical Sash Windows, Typical Venetian Windows – Recd. 17/07/24
Materials - Reclaimed Yellow Stock and Slate Tiles

Recommendation:

The determination of this application falls within the scope of Officer delegated powers - YES / NO

I therefore recommend the following:

- 1. REFUSAL
- 2. PERMISSION
- 3. FORWARD TO COMMITTEE

This application is CIL liable YES* NO
(*If yes, complete CIL tab in Uniform)

This application requires a Legal Agreement YES* NO
(*If yes, complete Development Condition Monitoring in Uniform)

This application has representations online (which are not on the file) YES NO

This application has representations on file YES NO

Case Officer (Initials):FIS.....

Dated:09/09/2024.....

I agree the recommendation:

Team Leader/Head of Development Management/Principal Planner - EL

Dated: ...10/09/2024.....

This application has been subject to representations that are contrary to the officer recommendation. The Head of Development Management has considered those representations and concluded that the application can be determined without reference to the Planning Committee in conjunction with existing delegated authority.

Head of Development Management:

Dated:

REASONS:
CONDITIONS:
INFORMATIVES:
UDP POLICIES:
OTHER POLICIES:

The following table will populate as a quick check by running the template once items have been entered into Uniform

SUMMARY OF CONDITIONS AND INFORMATIVES

CONDITIONS

INFORMATIVES
