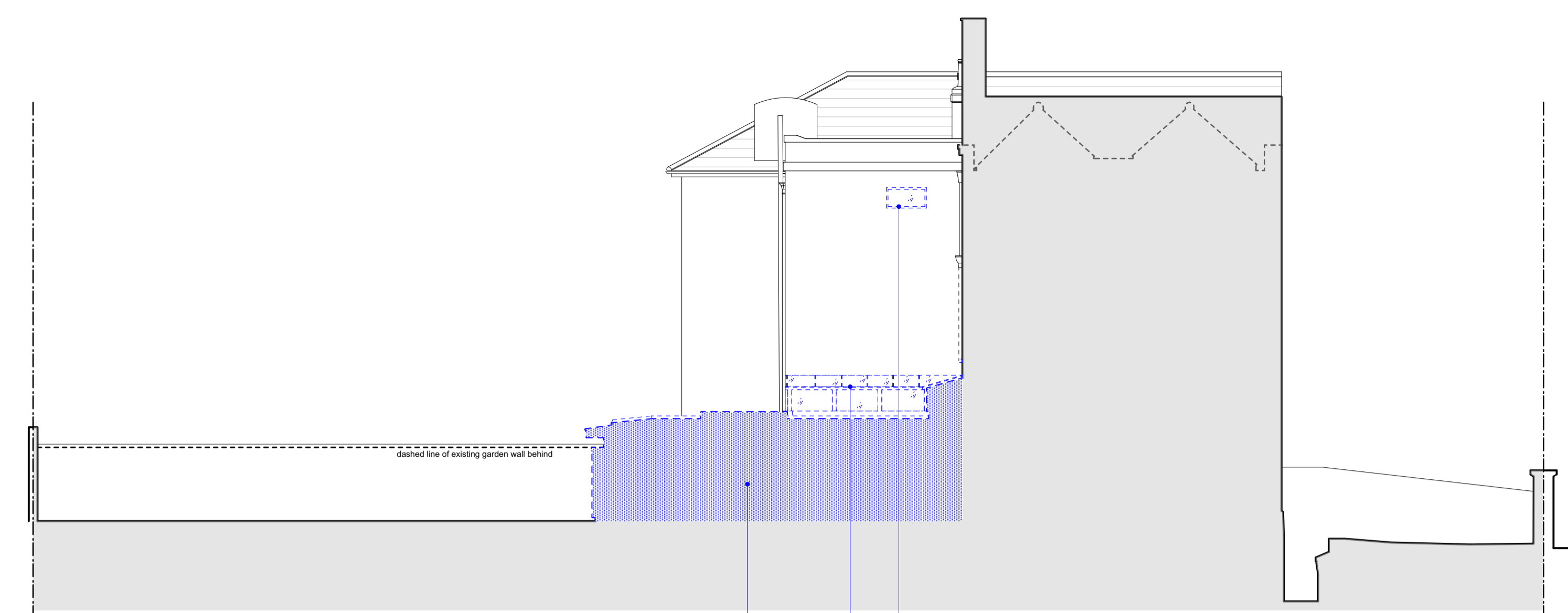
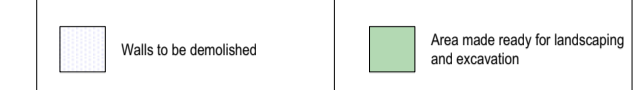
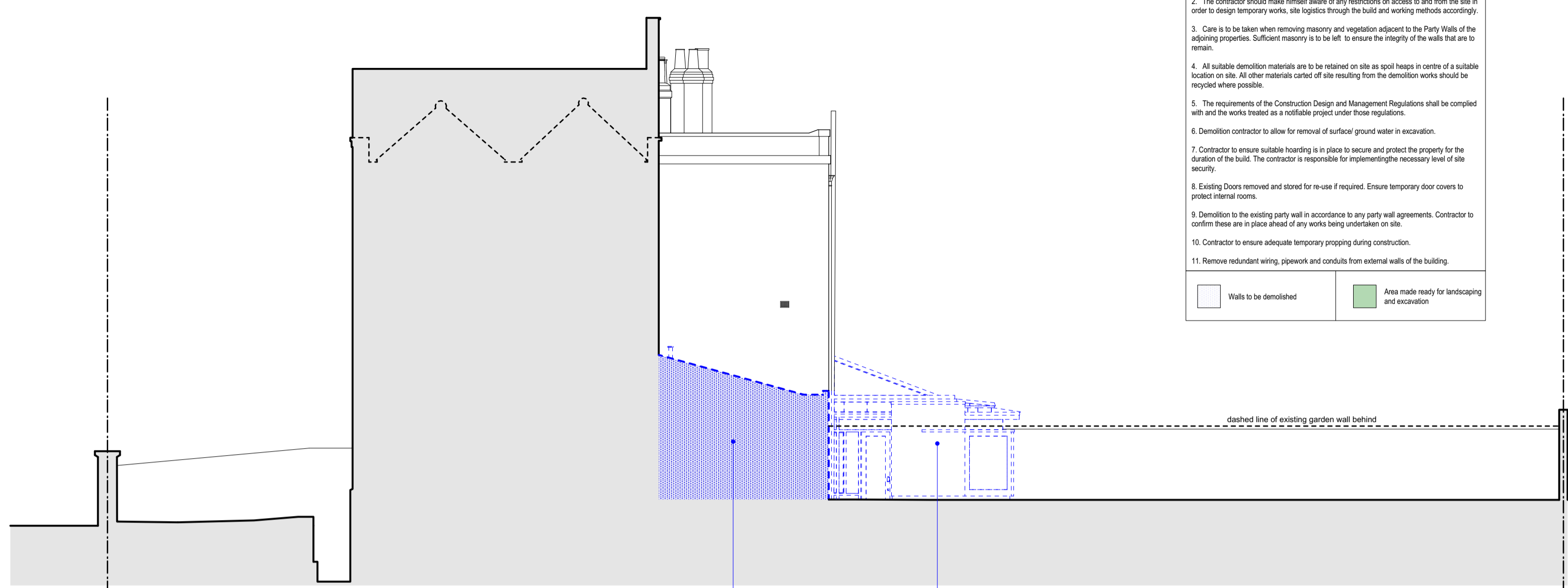


- Demolition Notes:**
- All demolition is to be carried out in accordance with BS 6187:2000.
 - The contractor should make himself aware of any restrictions on access to and from the site in order to design temporary works, site logistics through the built and working methods accordingly.
 - Care is to be taken when removing masonry and vegetation adjacent to the Party Walls of the adjoining properties. Sufficient masonry is to be left to ensure the integrity of the walls that are to remain.
 - All suitable demolition materials are to be retained on site as spot heaps in centre of a suitable location on site. All other materials carted off site resulting from the demolition works should be recycled where possible.
 - The requirements of the Construction Design and Management Regulations shall be complied with and the works treated as a notifiable project under these regulations.
 - Demolition contractor to allow for removal of surface ground water in excavation.
 - Contractor to ensure suitable hoarding is in place to secure and protect the property for the duration of the build. The contractor is responsible for implementing the necessary level of site security.
 - Existing Doors removed and stored for re-use if required. Ensure temporary door covers to protect internal rooms.
 - Demolition to the existing party wall in accordance to any party wall agreements. Contractor to confirm these are in place ahead of any works being undertaken on site.
 - Contractor to ensure adequate temporary propping during construction.
 - Remove redundant wiring, pipework and conduits from external walls of the building.



Kitchen to be carefully removed, including: windows, doors, frames and architraves as indicated, skirting and mouldings, joinery items, floor finish, slab, ceiling, lighting and switches, electrical sockets, radiators and associated wiring, kitchen appliances, kitchen sink. Contractor to ensure adequate temporary propping during construction, and refer to structural engineers drawings and specifications for support of surrounding structure. Services to be adequately capped and locations noted.

Removal of existing side window to be replaced with a new window proportionate to the other windows of the rear facade

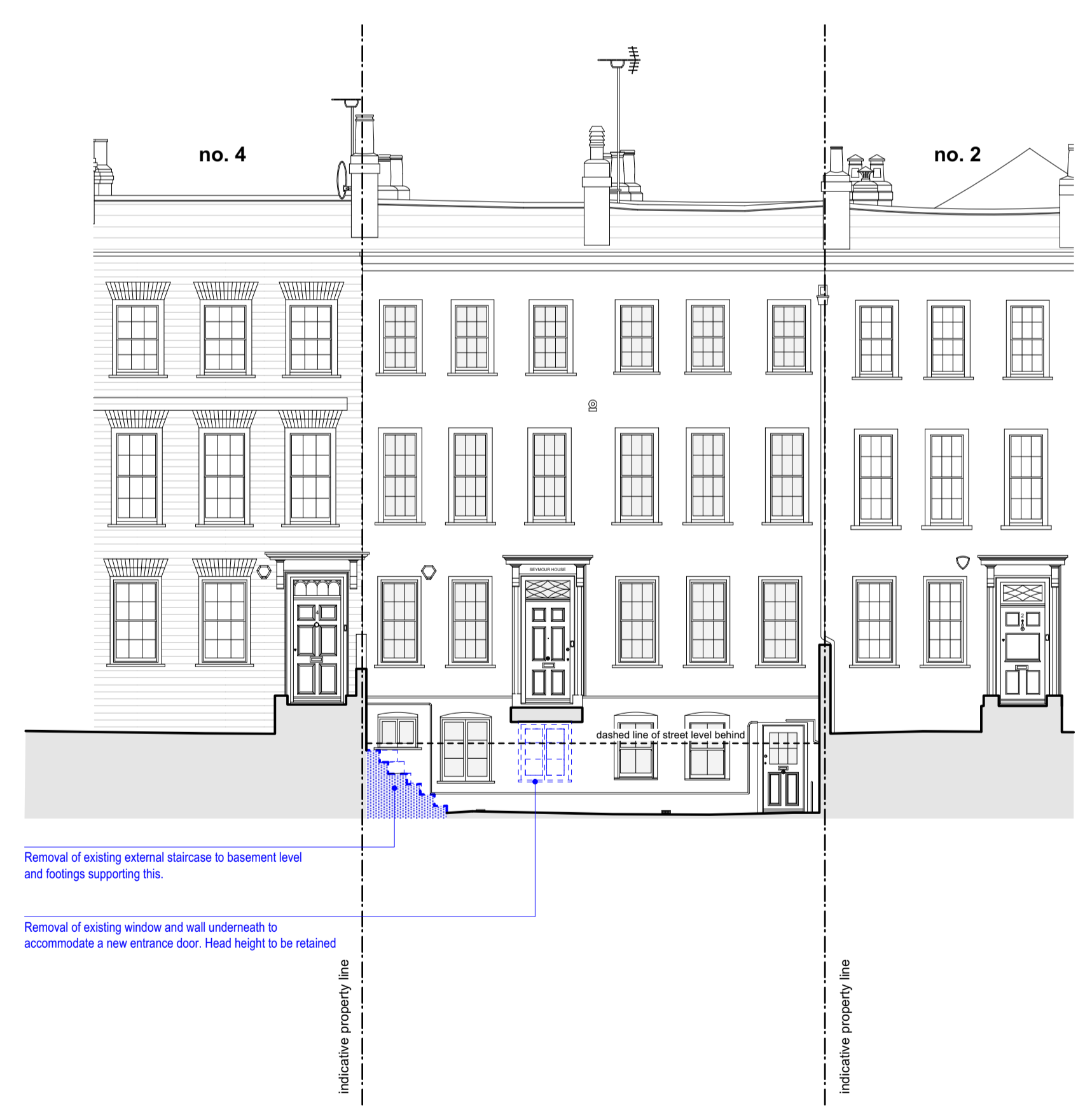


Existing office infill extension to be carefully removed, including: walls, ceiling, roof, doors, as indicated, floor finishes, drainage, pipes, joinery items, lighting and switches, electrical sockets, and associated wiring

Kitchen to be carefully removed, including: windows, doors, frames and architraves as indicated, skirting and mouldings, joinery items, floor finish, slab, ceiling, lighting and switches, electrical sockets, radiators and associated wiring, kitchen appliances, kitchen sink. Contractor to ensure adequate temporary propping during construction, and refer to structural engineers drawings and specifications for support of surrounding structure. Services to be adequately capped and locations noted.

4 Side Elevation - North-West - Proposed Demolitions
Scale 1:100

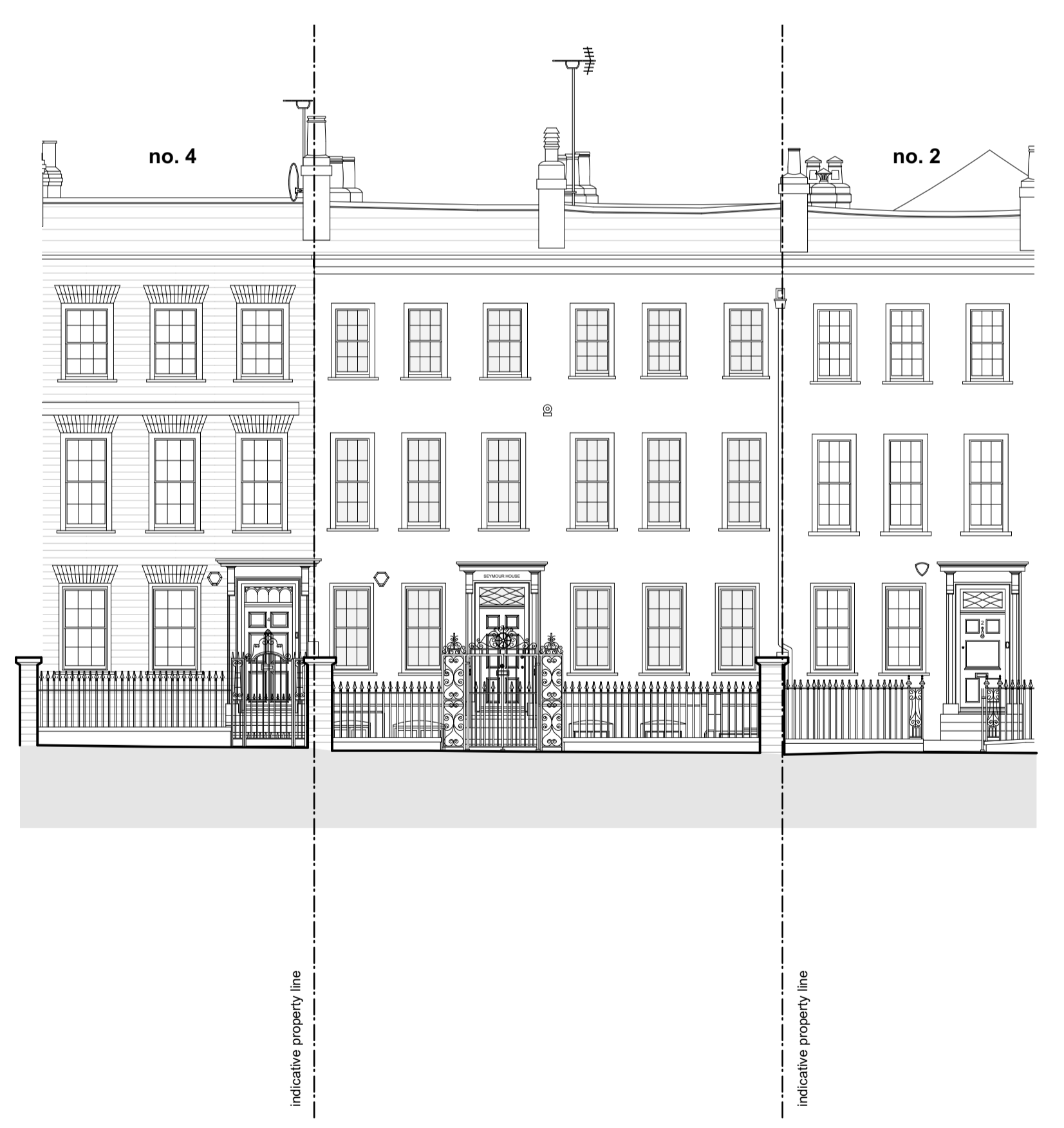
5 Side Elevation - South-East - Proposed Demolitions
Scale 1:100



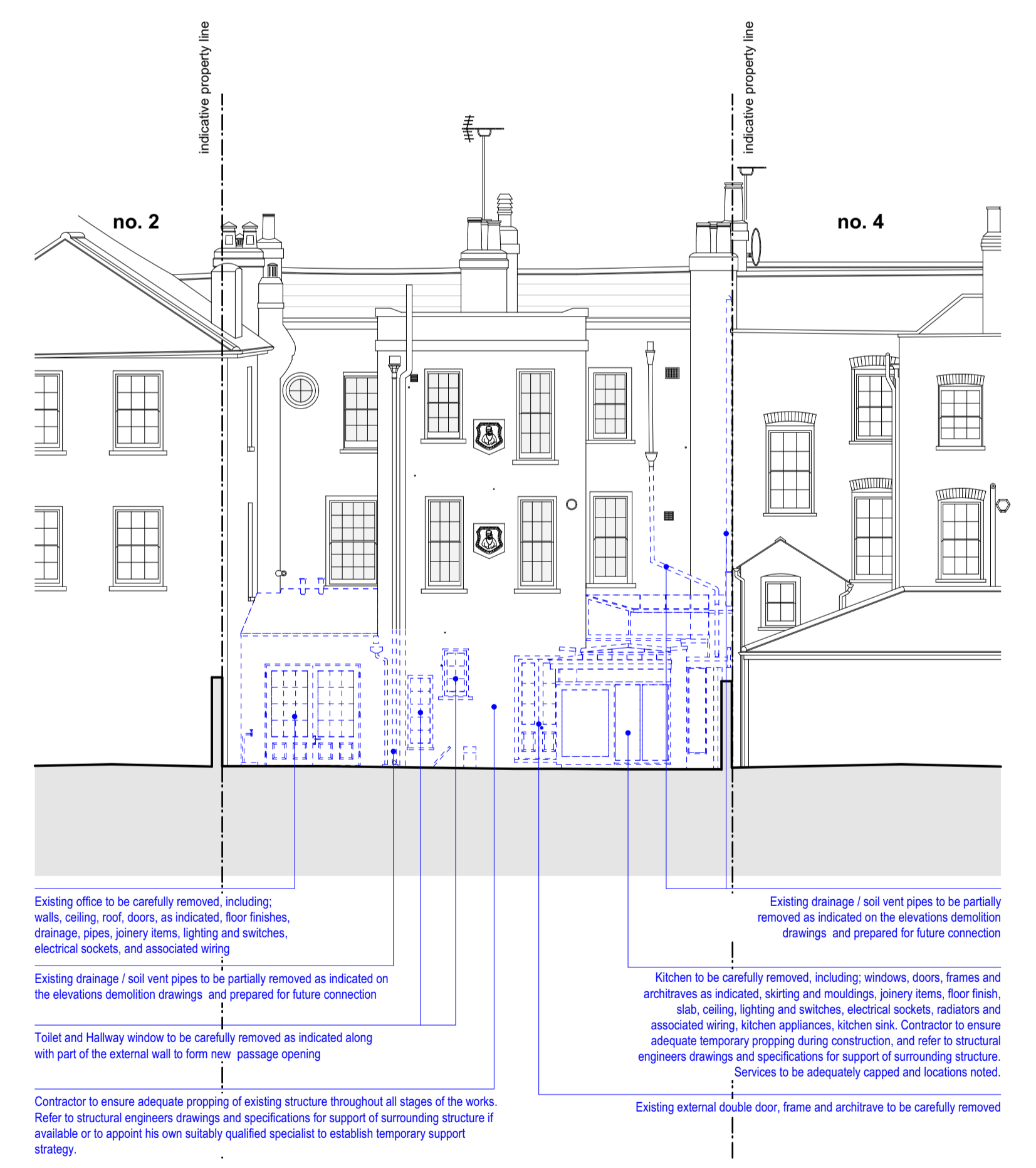
Removal of existing external staircase to basement level and footings supporting this.

Removal of existing window and wall underneath to accommodate a new entrance door. Head height to be retained

1 Front Elevation - Basement Level - Proposed Demolitions
Scale 1:100



2 Front Elevation - Street Level - Proposed Demolitions
Scale 1:100



Existing office to be carefully removed, including: walls, ceiling, roof, doors, as indicated, floor finishes, drainage, pipes, joinery items, lighting and switches, electrical sockets, and associated wiring

Existing drainage / soil vent pipes to be partially removed as indicated on the elevations demolition drawings and prepared for future connection

Toilet and Hallway window to be carefully removed as indicated along with part of the external wall to form new passage opening

Contractor to ensure adequate propping of existing structure throughout all stages of the works. Refer to structural engineers drawings and specifications for support of surrounding structure if available or to appoint his own suitably qualified specialist to establish temporary support strategy.

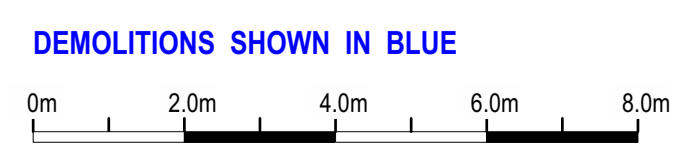
Existing drainage / soil vent pipes to be partially removed as indicated on the elevations demolition drawings and prepared for future connection

Kitchen to be carefully removed, including: windows, doors, frames and architraves as indicated, skirting and mouldings, joinery items, floor finish, slab, ceiling, lighting and switches, electrical sockets, radiators and associated wiring, kitchen appliances, kitchen sink. Contractor to ensure adequate temporary propping during construction, and refer to structural engineers drawings and specifications for support of surrounding structure. Services to be adequately capped and locations noted.

Existing external double door, frame and architrave to be carefully removed

3 Rear Elevation - Proposed Demolitions
Scale 1:100

	Note to Contractor: Contractor to ensure that all construction works, demolitions to comply to Planning Consents		Note to Contractor: Refer to Structural Engineers drawings for locations of slab and wall demolition for structural integration.
	Note to Contractor: Contractor must make himself aware to any landscaping issues with regards to any hard landscaping demolition.		Note to Contractor: Contractor must make himself aware to any landscaping issues with regards to Tree Protection Orders for the proposed Site. Ensure adequate protection to existing tree and root zones.



Rev:	Date:	Description:	Project:	
*	26.06.2024	Issued to Client	3 Montpelier Row Twickenham, TW1 2NQ	
A	25.07.2024	Issued to Heritage Consultant	Dwg no: 2306 / PL.05	
B	09.09.2024	Issued to Planners	Drawing: Proposed Demolition - Elevations	
<small>NOTES: Do not scale from this drawing. All dimensions in millimeters. All dimensions to be checked on site. All omissions and discrepancies to be reported to the architect immediately. This drawing is © 3s Architects Interior Commercial. Use of these drawings must be authorised by 3s.</small>			<small>Date:</small> June 2024 <small>Scale:</small> 1:100@A1 <small>C PS</small> <small>D MM</small> <small>Rev:</small> B <small>T +44 (0)20 8332 99 66 F +91 W www.3s-ad.com E info@3s-ad.com</small> <small>63F Sandycombe Road, Richmond-upon-Thames, TW9 3EP</small>	