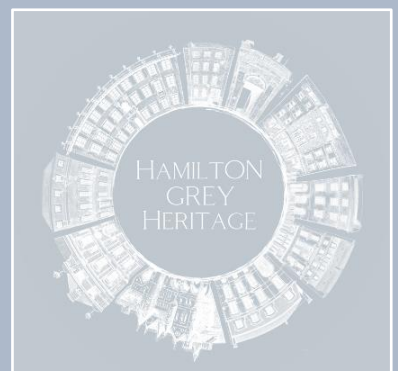
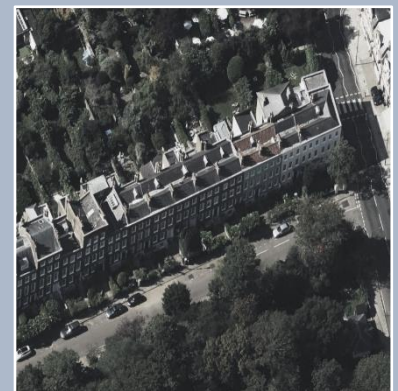


Seymour House,  
3 Montpelier Row,  
St Margaret's,  
Twickenham,  
TW1 2NQ

## Heritage Statement



Prepared by:

Hamilton-Grey Heritage Services

Sophie Hamilton-Grey [BA (Hons), M.Arch ARB]



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# 1 INTRODUCTION

## 1.1 Aim of this Report

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The purpose of this report is to assess the heritage significance of 3 Montpelier Row, Twickenham, a building located within The London Borough of Richmond upon Thames, and to evaluate the impact of proposals to the subject building.

The proposals have been put together by a multi-disciplinary team, led by architectural practice, 3S Architects who have prepared a dedicated detailed statement which explains the design rationale and assesses the site and wider context on architectural terms.

This heritage statement has been prepared by Hamilton Grey Heritage Services Ltd. We specialise in the conservation, reinterpretation and redevelopment of heritage assets and exclusively work within the historic environment. Our company comprises Specialist (Conservation) architects as well as heritage consultants with relevant planning experience. This report has been prepared to cover the heritage issues associated with the site and the new design proposals.

The report therefore includes:

- A historical and characterisation assessment of the site and the area around the site;
- Brief Planning History, planning archives and historic archival findings.
- Summary of design proposals
- Impact Assessment of proposals
- Policy Compliance and Justification Statement

The report is prepared to support a planning and Listed Building Consent Application.

## 1.2 Authorship, Methodology

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This report has been prepared by Sophie Hamilton-Grey [BA(hons) M.Arch, ARB, PG Dip], Specialist (Conservation) architect and heritage consultant. Sophie has worked exclusively within the historic environment since qualifying as an architect for some of the industry leaders including Purcell LLP and Heritage Architecture Ltd.

She has worked in London on the repair and conservation of some of the city's most significant buildings and landmarks including Liberty Department Store, London Wall Buildings and the Hampton Court Estate. She has extensive experience across different building typologies and designations including Grade I, II\* and Scheduled Ancient Monuments.

Sophie was extensively involved with the RICS Project of the Year 2016, Cardigan Castle, a Grade I-listed building and Scheduled Ancient Monument. The site of Wales's first Eisteddfod in 1176, this large-scale regeneration scheme has been heralded as one of the most significant regeneration projects in Wales' history.

In her free time, Sophie has a passion for research, particularly into social history, and accordingly has extensive work published nationally about her architectural research. She was winner of the Norwest Holst Prize and Charles Reilly Medal in 2010, the highest commendation for Masters students in architecture. Her work has been exhibited at Massachusetts Institute of Technology (2011) and the RIBA Supermodels Exhibit, (2012). The research undertaken to complete this report was based upon primary and secondary sources of local history and architecture, including maps, drawings, and other anecdotes.

## 1.3 Overarching Conservation Policy Context

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Historic England's Conservation Principles and the NPPF define 'conservation' as 'the process of maintaining and managing change to a heritage asset in a way that sustains and where appropriate enhances its significance'<sup>1</sup>. Some legislation refers

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<sup>1</sup> <https://historicengland.org.uk>



to 'preservation' as an alternative concept. Case Law interprets this as 'preservation from harm'. That includes harm to its historic significance, not simply its physical fabric.

Legislation that has been developed to offer protection to recognised "heritage assets" within the built environment. This was prompted by, and, continued to evolve against a background of turbulence during the twentieth and twenty first centuries. In part, as a consequence of the widescale building development and re-development prompted by the industrial revolution but then further still following the catastrophic losses of fabric from the second world wars bombings. Accordingly, policy has been developed in a piecemeal fashion and to some degree on a needs-be basis.

The notion of 'Significance' uses a variety of criteria to identify the 'essence' of what makes a heritage asset valued and worthy of protection. The law refers to various pre-agreed notions: namely the architectural, historic, artistic, and archaeological interest of heritage assets and the character that derives from those attributes.

In summary, in determining applications, Local Planning Authorities should require an applicant to describe the significance of *any* Heritage Assets affected, including *any* contribution made by their setting. The level of detail should be proportionate to the assets' importance and no more than is sufficient to understand the potential impact of a proposal or its significance (Para. 200).

The duty stipulates that in determining applications, Local Planning Authorities should take into account: : The desirability of sustaining and enhancing the significance of heritage assets and putting them to (optimal) viable uses consistent with their conservation; The positive contribution the conservation of Heritage Assets can make to sustainable communities, including their economic vitality; and : The desirability of new development making a contribution to local character and distinctiveness (Para. 203).

Any harm to, or loss of the significance of a designated heritage asset from its alteration or destruction, or from development within its setting, should require clear and convincing justification (Para 206). Where development proposals will lead to "less than substantial harm to the significance of a designated heritage asset, this harm should be weighed against the public benefits of the proposal including, where appropriate, securing its optimum viable use (Para 208).

## 2 GENERAL INFORMATION

### 2.1 Site Description

3 Montpelier Row is a Grade II\* listed Georgian mid-terrace dwelling house dating from the early eighteenth century. It forms part of a group listing with Nos. 1 & 2 Montpelier Row and is located within the Twickenham Riverside Conservation Area.

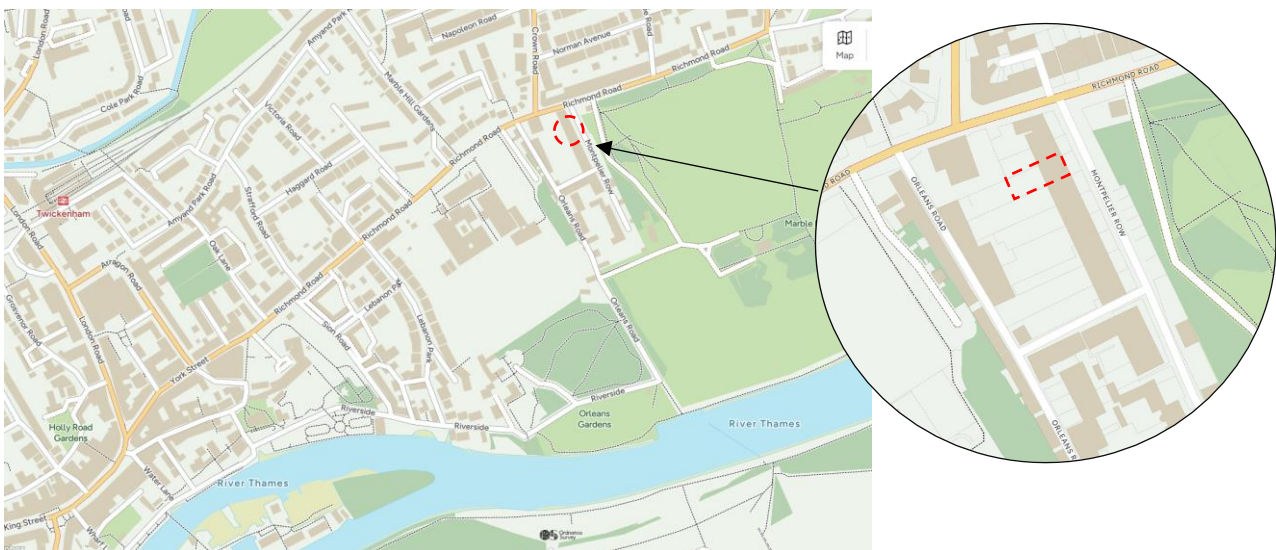


Figure 1 – General Site Location, immediate locality © OS maps





Montpelier Row is an attractive, spacious and leafy residential road. Many of the properties along the Row are listed either grade II or II\*, denoting the rich architectural value of the street which is dominated by the bold visual composition of the handsome early Georgian terraced houses which have simple but elegant detailing.

Montpelier Row is situated in East Twickenham, off the Richmond Road and runs alongside the western boundary of Marble Hill Park, which can be seen below:



Figure 2 – Site Location (shown red), aerial view © Bing Maps

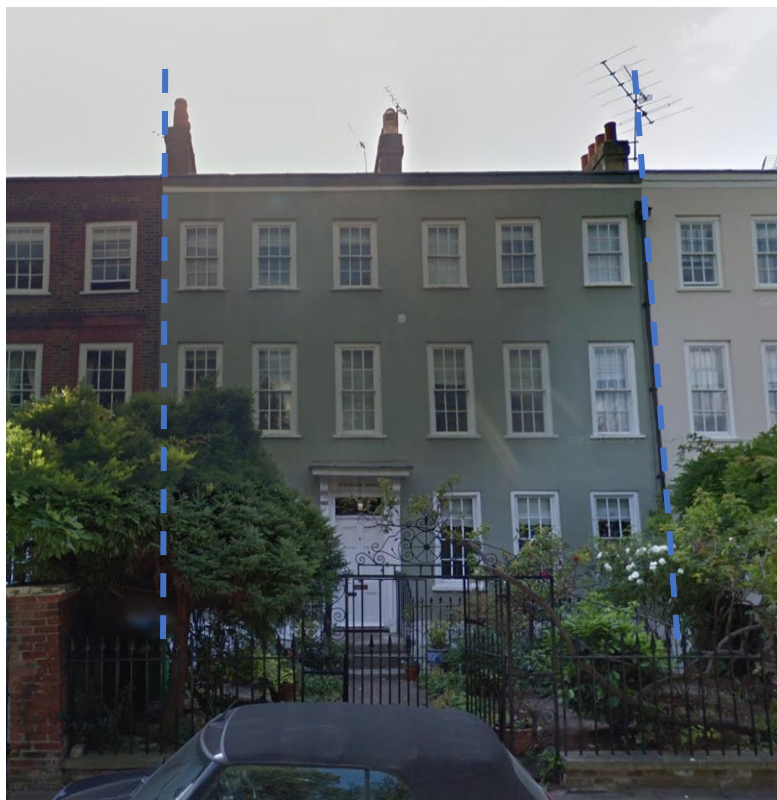


Figure 3 – 3 Montpelier Row front elevation © Google Maps



Originally two separate properties, the house was converted into one in the mid nineteenth century; a rear wing was also added. The brown brick facade was likely rendered around this time to cover alterations. The property is setback from the street via a large front garden, with access through traditional wrought iron railings and a single timber entrance door.

## 2.2 Key Site Constraints - Relevant policy / Material Considerations

---

- Located within the Twickenham Riverside Conservation Area.
- Part of a Grade II\* group listing with Nos. 1 & 2 Montpelier Row.
- Proximity to Grade II\* Marble Hill Park (Parks and Gardens).
- Proximity to other Grade II and Grade II\* listed buildings but which are not deemed to be materially affected.

## 2.3 Listed Building Description

---

Heritage Category: Listed Building

Grade: II\*

List Entry Number: 1, 2 (Warwick House) and 3 (Seymour House) Montpelier Row

Date first listed: 1<sup>st</sup> September 1952

List Entry Number: 1194493

Description: Montpelier Row consists of two very important terrace blocks of nearly uniform early C18 houses, with a row of modern houses between, overlooking Marble Hill Park. The C18 houses are all three-storeys and basement, brown brick with red dressings, parapet and windows in nearly flush frames. They have varied types of doorcases, and in many cases good ironwork to street and areas. The row was built by a Captain Gray in 1720. (Country Life, September 8, 1944)

All three cement-rendered. No 1, six bays wide (3:3). Doorcase with moulded cornice hood on carved brackets. Decorated plaque with "Montpelier Row 1720". Glazing bars have been removed. No 2, three bays and No 3, six bays (3:3) both with similar doorcases to No 1.

# 3 CHARACTERISATION APPRAISAL

## 3.1 The Twickenham Riverside Conservation Area

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The property is located within the Twickenham Riverside Conservation Area. The statutory definition of a conservation area is an "area of special architectural or historic interest, the character or appearance of which it is desirable to preserve or enhance".

Any proposals to the exterior of the property therefore have the potential to affect this Conservation Area. There are also several grade II and grade II\* listed buildings within close proximity to the host building, including the grade II\* listed Marble Hill Park, as indicated below.

The Conservation area was first designated in April 1969, and it acquired its current boundaries by incremental extensions in 1982, 1991, 2009 and 2019. The site lies to the north-east of the Conservation Area, within the Marble Hill and Orleans sub-area which is characterised by the distinguished greenery and open spaces of Marble Hill Park.



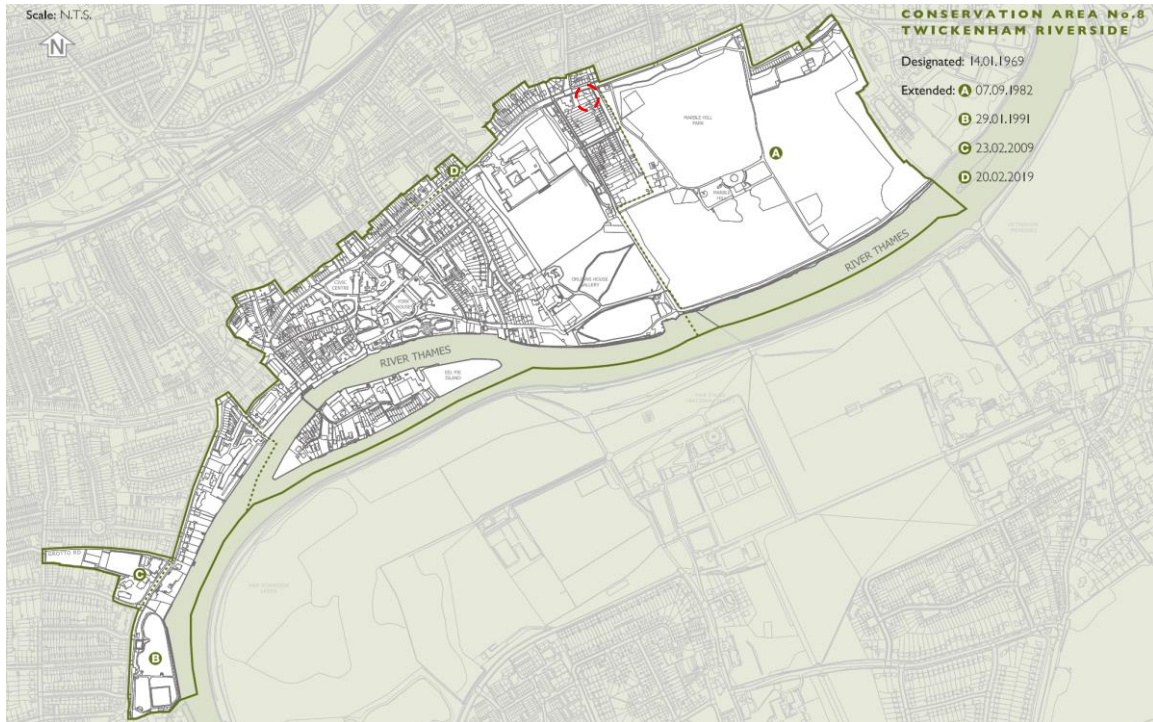


Figure 4 – Relevant Conservation Area boundary. Location of site shown red (circled).

The council's strategy for managing the Twickenham Riverside Conservation area is contained within the following document: 'Twickenham Riverside Conservation Area 8 Conservation Area Appraisal' (November 2023).

There are a number of listed buildings within the local vicinity of the site as shown below.

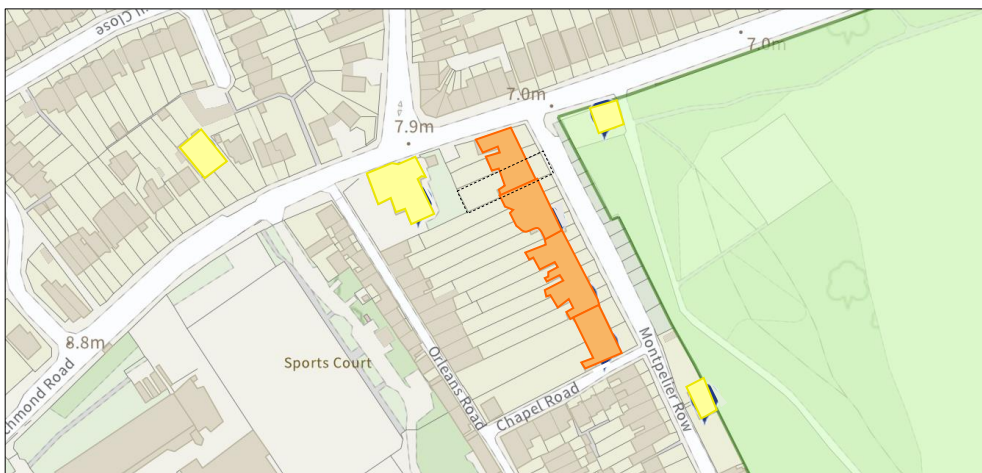


Figure 5 – Nearby Listed Buildings relative to site location (black dotted)

KEY:

- Grade I Listed
- Grade II\* Listed
- Grade II Listed

The full terrace of Montpellier Row is Grade II\* listed in group sections. The proposals will need to preserve the balance of the rear of this terrace as a whole, where change is proposed.

The Grade II buildings which are further afield from the subject site are deemed to be immaterial in terms of their setting to the site proposals due to the minor nature of the changes proposed and their containment to the rear of the property.



### 3.2 Brief History of the Property and its immediate Surroundings

The area of Twickenham has pre-Norman origins. Archaeological excavations identified evidence of settlement from the early Neolithic period with steady occupation continuing throughout the Bronze and iron ages. The first documentary naming of the region was “*Tuican hom*” / “*Tuiccanham*” in the eighth century charter which granted land the area to Waldhere to the Bishop of London.

The area remained predominantly rural through the Middle Ages and was domestically farmed, with the local river providing opportunities for fishing, boatbuilding and trade. Trade routes became trodden through the town, particularly the route into central London, now long-established. Moses Glover’s map of the Isleworth region of 1635, shows settlement along Riverside, either side of Church Street, and King Street. There is an established centre around “*Eel Pie Island*” (formerly known as *Twickenham Ait*, and before this, in the Churchwardens’ Accounts for 1608, *the Parish Ayte*, reflecting the ownership by the parish).



Figure 6 – Moses Glover’s map of the Isleworth region, 1635, site location shown red © British Library Board

By the time of the John Rocque survey of 1745, the area has been further developed including the application site. The area is still characterised by large open rural fields to the peripheries with a clear and established local centre along the northern banks of the River Thames labelled ‘*Twickenham*’.

Montpelier Row (later, (briefly), ‘Montpelier Road’) and Sion Row, were constructed together in around 1720. Montpelier Row was speculatively built by a Captain John Gray, a renowned naval officer and local land owner-come-property developer. By 1721 he had commenced the construction of 24 (some sources state 17) houses in Montpelier Row and 10 in Sion Row<sup>2</sup>. The handsome houses were arranged over three stories with a further basement level, and were built from a London red brick stock.

<sup>2</sup> Information obtained from Twickenham Museum records





Figure 7 – Exact Survey of the Cities of London & Westminster, 1747 by John Rocque Land Surveyor ; & Engraved by Richard Parr; approximate site location shown red, dotted.

The collection of houses is considered one of the finest early Georgian terraces of the region. The Rocque map of 1747 shows a high level of detail which offers a glimpse as to how the streets were planned.



Figure 8 – Exact Survey of the Cities of London & Westminster, 1747 by John Rocque Land Surveyor ; & Engraved by Richard Parr; approximate site location shown red, dotted.

Early engravings capture the peaceful and quaint atmosphere of the emerging village of Twickenham. Both of the below images show lively water activity and this is reflective of how important the Thames was to the towns and villages which spanned its banks. Goods produced locally were traded along the Thames's route and of course leisure and fishing activities were also provided by the River.





The images show the large and grand houses on the waterfront which characterised the region in the eighteenth and nineteenth centuries and indeed are still seen in abundance today.



Figure 9 – Engravings of the Riverside dating left: 1784 and right: 1811

The below map of 1787 shows Montpelier Row in the context of the Marble Hill Estate which is located opposite. Early views from the windows of Montpelier row would have been across the spectacular expanse of pleasure grounds.



Figure 10 – Excerpt: 'A map of the Manor of Isleworth-Sion, 1786-7 © private collection, contact for copyright unknown

The later 1819 Enclosure Map below provides a more detailed glimpse into the early layout of Montpelier Row. Enclosure maps were drawn up by surveyors, appointed by enclosure commissioners, to show the approved re-allotment of the open and common fields, and associated arrangements. At this time, a rearward projecting rectilinear closet-wing is seen in the plan to the southern end of the property. It is likely a lean-to style extension serving as a greenhouse / garden store or WC.

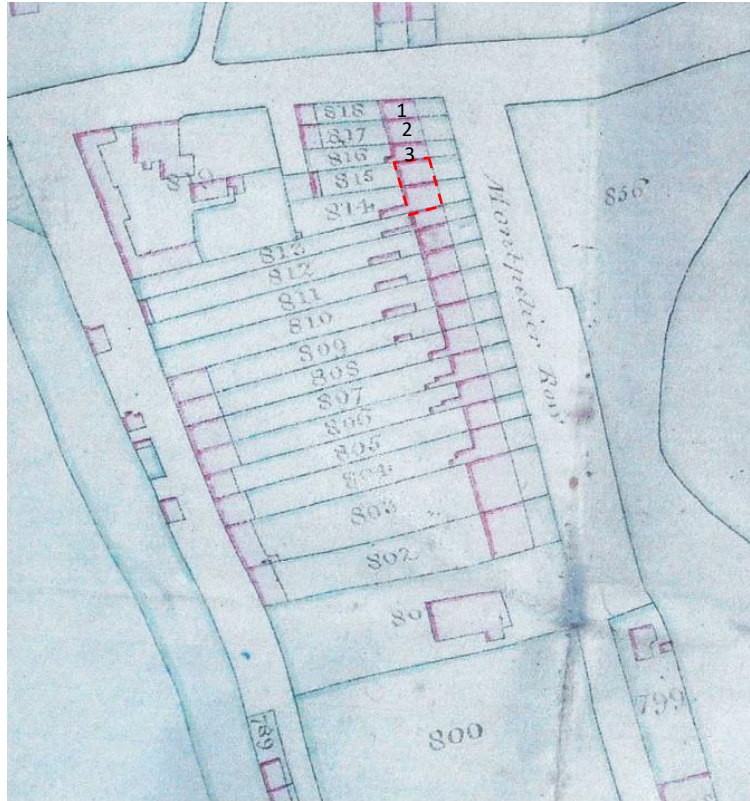


Figure 11 – Enclosure map 1819. Also shown is the chapel which is not shown specifically on earlier maps.

The 1863 Ordnance Survey Map still captures the original layout of Montpelier Row whereby most of the houses remain unaltered. A few properties including the application site however have introduced later closet wing rear extensions and many others detached out-buildings. As times changed, new occupiers required features not included in the original buildings such as garden buildings, storage sheds and WC's. Out-riggers were erected all across London to the rear of properties and are a very common feature of this genre of terraced property, particularly those with relatively small footprints such as these.



Figure 12 – OS Survey (OS Six inch England and Wales 1842-1952), surveyed 1867 to 1868, Published: 1871





The below listing of 1863 describes (the original) number 4 in detail.

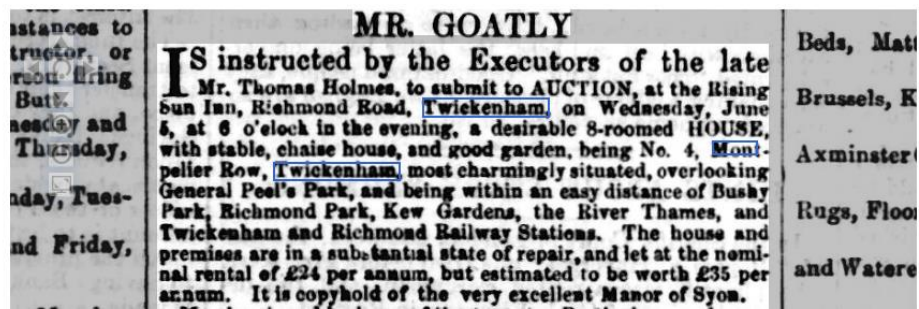


Figure 13 – Surrey Comet, 25<sup>th</sup> May 1861

The terrace was well-to-do with sizeable private gardens and importantly, a view over the spectacular Marble Hill Grounds. Marble Hill House is a Grade I Palladian villa built between 1724 and 1729 as the home of Henrietta Howard, Countess of Suffolk, who lived there until her death. The gardens of the house were designed by Henrietta (and those who she appointed to deliver her vision) and are of considerable size and splendour and have designation in their own right.

Montpelier Row attracted well-established families together with their household staff. The 1871 Census for Twickenham records Richard Jackson and family at 4 Montpelier Row. Edward Perkins and family inhabit the neighbouring (then) 5 Montpelier Row. The house remained in single family occupancy throughout the nineteenth century.

In around 1875, (the then) numbers 1 to 5 Montpelier Row came into the ownership of 'Henrietta Vansittart' who was a prolific inventor, naval engineer and celebrated entrepreneur of her time. Ms Vansittart enjoyed considerable success as the creator of naval paraphernalia including her and her father's most celebrated invention, the Lowe-Vansittart propeller; which went on to be widely used on navy ships to improve their speed and reduce fuel consumption. This of course was a highly unusual achievement for a woman of her time.

The success of the Vansittart propeller is marked by a number of international awards between 1872 and 1881. Henrietta gained respect and reputation in professional circles. In 1876 she wrote and illustrated a scientific article on the Lowe-Vansittart propeller, which she presented in person at the Association of Foreman Engineers and Draughtsmen in London in 1880 - the first woman ever to do so, it is said.

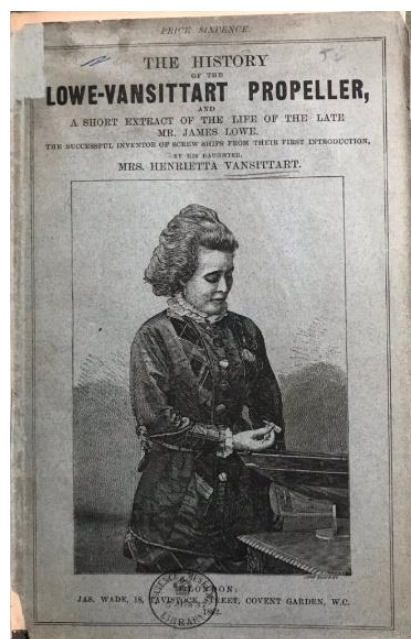


Figure 14 – Ms Vansittart's Scientific Journal 1882



Ever-resourceful, Vansittart re-planned “three small dilapidated houses... and a contiguous one” formerly known as 1-5 Montpelier Row into two new ones thereafter known as “Seymour House” and “Bell House”. Seymour House was named after Ms Vansittart’s Grandfather who owned Bisham Abbey in Berkshire, a point which is explained by Vansittart to the Editor of the Reading Mercury in 1882.

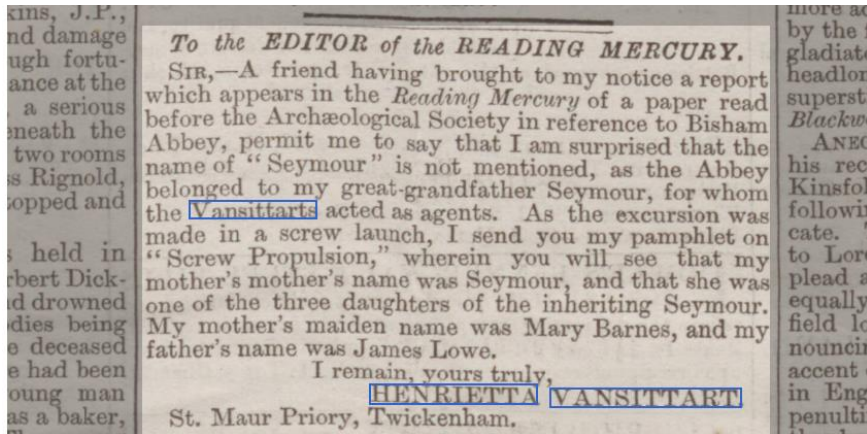


Figure 15 – Letter to the Editor of the Reading Mercury, August 1882; Ms Vansittart explains the significance of the name Seymour to her. At this time, she resides at 1 Montpelier Row which she had renamed “St Maur’s priory”.

Considerable renovations were undertaken to the properties including to the public realm and approaches to the properties. It is evident from newspaper archival records that there was considerable neighbourly dispute regarding the upkeep of the terrace, the changes in demise and the associated public realm areas.

It appears that the prosperity of Henrietta Vansittart reached a bump in the road and consequentially she was forced to sell Seymour House and Bell House in 1877 to Henry George Bohn, the infamous fine art dealer, publisher and book collector, with whom she entered into a publicly played-out dispute in the newspapers of the time. There was even an argument about the naming of the Street whereby Ms Vansittart was charged with the unlawful removal of the name plate which displayed the newly named “Montpelier Road”,

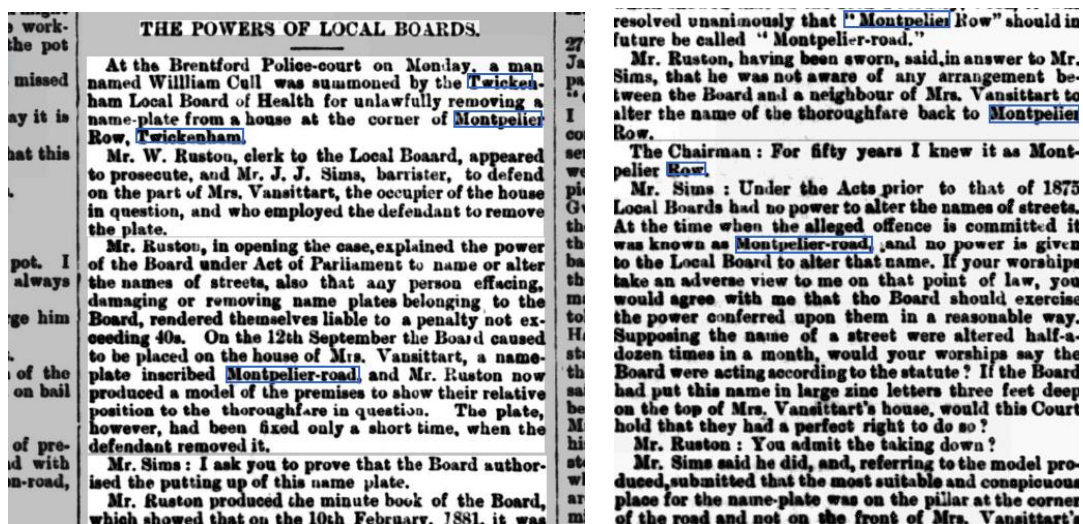


Figure 16 – Uxbridge and West Drayton Gazette, 1<sup>st</sup> October 1881

Amusing, perhaps for its value as a piece of social history, an extract from one of the newspaper letters penned by Henrietta is below:



*"He... (Mr Bohn) ... got in the bargain the open ground alongside Marble Hill... as well as improvements which I made in the footpaths and road which are in view of the passers-by, an greatly appreciated by the tenants of Montpelier Row as they do not now get ankle dee in mud in getting to and from their dwellings"*

Vansittart was clearly not a woman who would settle fools gladly and a further anecdotal article below indicates that she pressed charges following theft of materials during her renovation works.

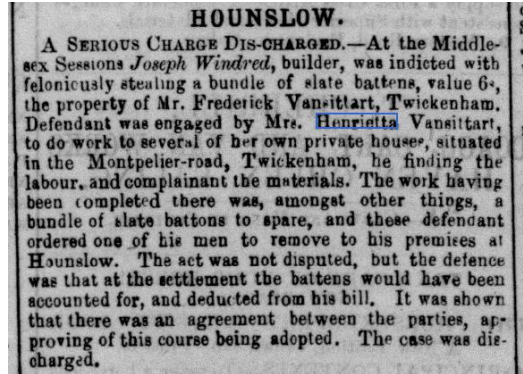


Figure 17 – Middlesex County Times, 4<sup>th</sup> September 1875

The map transition between the previous map of 1871 and the below map of 1894 indicates the change in demise as well as a rear extension. Interestingly, this extension appears to span almost the full rear façade at full height (at least in the way it is drawn) with the exception of the small area of the now kitchen. A more 'zoomed in' version is provided with an overlay of the original house footprints (prior to the amalgamation of the two units) and annotation to explain.

Also shown hatched green is the garden area which features, unusually, an associated garden plot on the other side of the road from the dwelling.

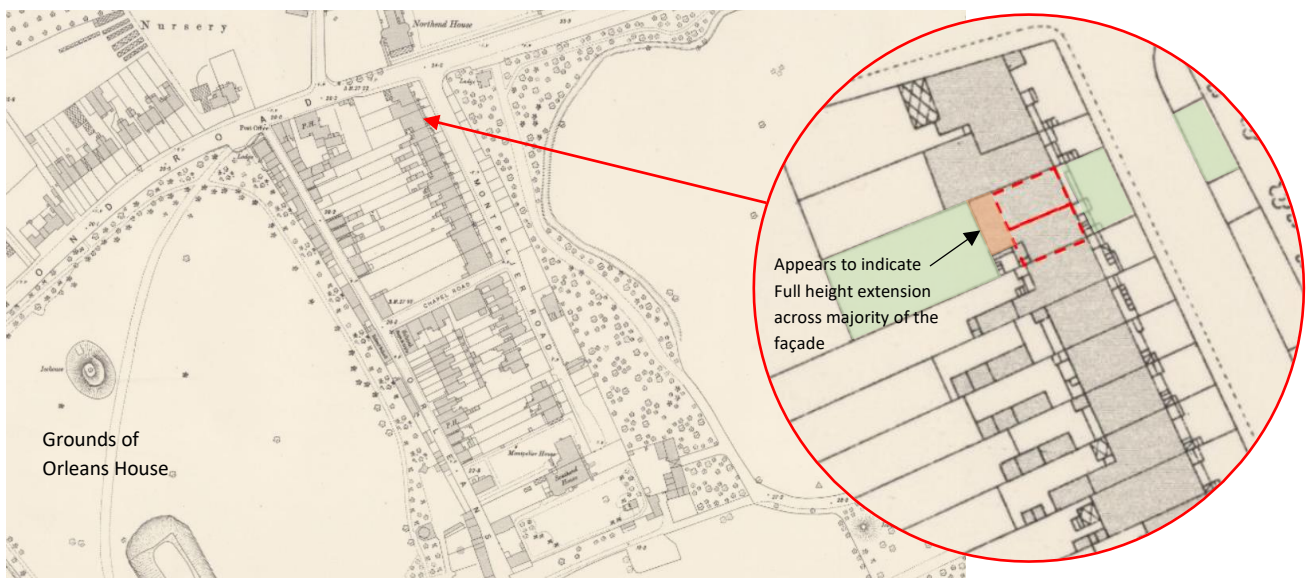


Figure 18 – OS Survey (Town Plans of England and Wales 1840's-1890's), revised 1893, Published: 1894. Inset the properties are shown at closer range together with an overlay of the original house footprints in red (prior to the amalgamation of the two units).

The below sketch elevations from 1961 show the street frontage after the unit amalgamation and below this the former street elevation (with our interpretation over-laid).





Figure 19 – Sketch layouts of Montpelier Row, W. Folds Hall, 1961: Original layout below; adjusted layout above

Henry Bohn owned Seymour House between 1877 and 1885 together with other properties along the row and his home on Richmond Road a short distance away.

Directories indicate that a “Mrs Orpen” was resident at number 3 in 1890 and then in 1911 a Mrs Emily Munton was the then-owner by “enfranchised copyhold” meaning that she had purchased the freehold for number 3 Montpelier Row from the then-Lord of Syon Manor. Directories show that she did not live on site but instead had tenants.



Figure 20: Gascoigne, B & Ditchburn J., Images of Twickenham, (Saint Helena Press: Richmond, 1981) lithograph by Thomas Way in 1900 shows extension to the upper floors of several properties.



At some point in the late nineteenth or early twentieth century the house was re-modelled. Several original walls were removed. Some to create larger open-plan rooms and others including at second floor level removed to change the shape and size of the rooms (see morphological plans later in this document). Built-in storage and cupboards were also created.

As is typical of properties in this location, the wartime and inter-war period have less records than those which are available for the preceding years and those that post-date the period. The ownership of the property during the early twentieth century remain unknown. There is no evidence to suggest that the property was affected by the catastrophic bombings of the World war II Blitz.

By 1963, Sir Edgar Charles and Thomasina Beck resided at the property. Edgar was a civil engineer and managing director, chairman then president of Mowlem, one of the largest construction and civil engineering companies in the United Kingdom. The couple sold the property in 1969. The property had 6 bedrooms (as opposed to 4 in 1911) and it is likely that reception rooms had been converted into bedroom areas. A property listing from this time indicates that the basement had become a self-contained bedsit.

Montpelier Road was purchased by Captain Philip Biden (Derwent) Ashbrooke of St John, Jersey and his wife Veronica in 1969 who lived there with their children Sophia and Auberon. Vera Connor was also in the residence for the period from 1969 to 1982, presumably in the basement flat. The Ashbrookes undertook refurbishment works upon moving into the property including an extension to the rear.

The property was again sold in 1983 to Michael and Annabel Wellesley-Wesley who also undertook their own restoration and renovation works. The house was returned to single family occupancy through the reversal of the separation of the basement into its own unit. They also altered the layout and replaced the conservatory. The property was sold in 1986.

**FREEHOLD** (12802)

**MONTPELIER ROW,  
TWICKENHAM**  
**OFFERS IN EXCESS OF  
£500,000**

**An early Georgian double fronted  
house of classic proportions,  
recently restored throughout.**

- 7 Bedrooms • 2 Bathrooms •
- Drawing Room • Dining Hall •
- Family Room • Play Room •
- 65ft. Walled Garden •
- Off Street Parking •

**FREEHOLD** (09180)

**London Residential 01-824 8171**  
**152 Sloane Street, London SW1X 9DB Telex: 892444**

Figure 21 – Sales Particulars, Country Life Magazine, Thursday 22<sup>nd</sup> May 1986

The property continued to be privately owned as a single family occupancy throughout the 1980's and 90's.

In 1987 a further planning and listed building consent application was made for various works including the replacement of the existing extension with a timber framed conservatory replacement together with the demolition of the existing lean-to glazed extension and replacement with a glazed greenhouse / orangery.

The property was sold once more in 1996 and the new owners stayed until the now owner purchased the house in 2005. The property has since been re-roofed, repaired and re-decorated.

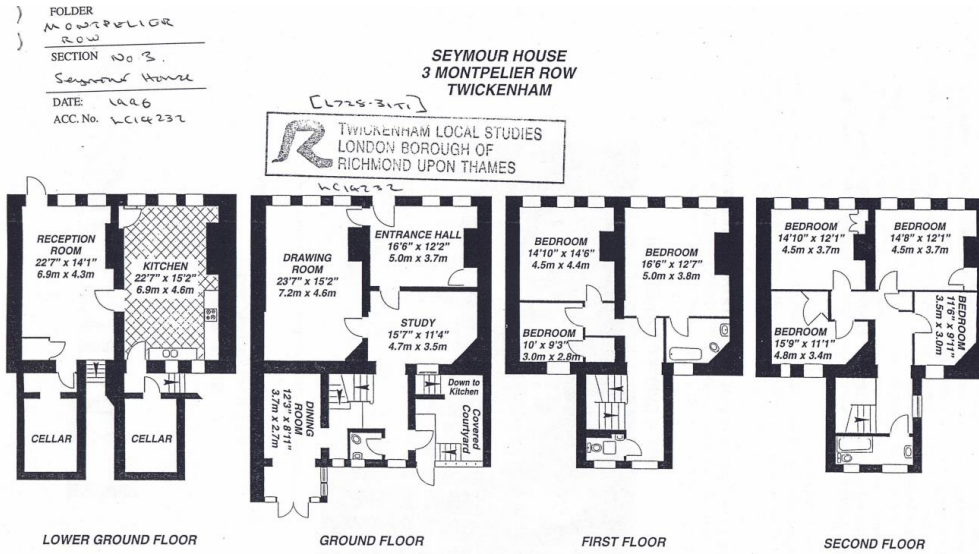


Figure 22 – Country Life Listing: 21<sup>st</sup> November 1991; note different extensions at this time.

### 3.3 Planning History Summary Table

A summary of the planning history for the site held online is tabulated below. We have gained access to the Council's records.

App No	Date	Proposed works	Decision
Online Records			
21/1031/LBC	2021	Re-roof with Welsh slate	Refused Permission
Various	Various	Tree-works	N/A
06/2357/LBC & 06/2357/DD01	2006	Repair and restore ground floor flooring, replace fireplaces.	Granted Permission





06/1413/LBC & 06/1414/HOT	2006	Raise garden walls by 480mm.	Granted Permission
Archival records			
97/2369/FUL And 97/2370/LBC  (And associated conditions)	22 <sup>nd</sup> / 12 /1997  Approved thereafter in 1998	Demolition Of Existing Rear Glazed Structures And Erection Of Single Storey Rear Extensions. Open-up rear wall at basement level and relocation of door opening.	Approved (with conditions)
87/1180	19 <sup>th</sup> / 02 / 1988	Erection of greenhouse at rear.	Permitted development
87/0565/LB  Also known under reference  565/LB	22 <sup>nd</sup> March 1988	Internal refurbishment and decoration, partial demolition of existing extension and replacement with timber framed conservatory and demolition of lean-to glazing and replacement with glazed greenhouse; re-roofing and external decoration. (Amend Plan No.(s) A183/7C 16B and 20A received on 22 <sup>nd</sup> January 1988.	Approved (with conditions)
83/670	25 <sup>th</sup> August 1983	Removal of partitions in basement, provision of window at rear of basement. Demolition of WC and conservatory. Erection of replacement conservatory, Alterations to existing bathroom at first floor and erection of soil pipe (Amended drawing No.s 3717 A & B received 29.06.83	Approved (with conditions)
69/1985	14th April 1970	Erection of an extension to existing kitchen.	Approved (with conditions)

Table 1: Planning History

### 3.4 Pre-Application Consultation (prior to this application)

A request for pre-application advice was submitted to The Royal Borough of Richmond upon Thames Council in January 2024. A site visit occurred on January 24<sup>th</sup> with Planning Officer Sukhdeep Jhooti and Conservation Officer Victoria Goldberg.

The proposals contained within the pre-application discussion were the pre-cursor to this application and similar to the proposals contained herewith albeit that alterations to the design have since been made in light of the feedback received. Overall, the discussion was constructive and positive. The principals of the development were deemed acceptable and no significant amenity issues were raised. Informal notes were sent by the Council with regards to the planning and amenity issues.

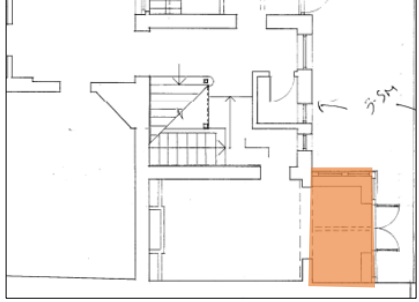
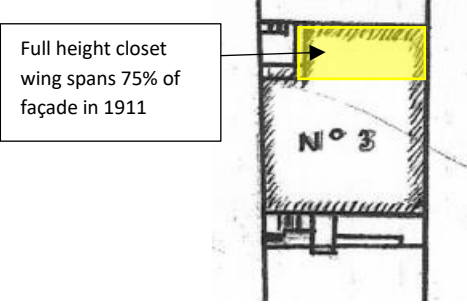
Meeting minutes were also circulated by the agents (architects) following the site visit for review and agreement. In addition, some emails were issued from the Council's side which contained comments and advice in response to the minutes. As such, the below table is an amalgamation of the overall discussion about the heritage issues including original minutes together with later correspondence (all source-referenced) for brevity, we have only included items which we deem require commentary at this stage. We have dealt with the Conservation-led comments only.



The below table includes the detailed points from the feedback together with their paragraph number and our response.

(Our) Ref Number	Source	Comment	Response
01	13 <sup>th</sup> March 2024  [via email]	<i>General Comment:</i>  <i>Where an applicant is looking to place a bathroom on a floor where there has not previously been a bathroom, they need to undertake the necessary assessment to know whether the proposals can be achieved without the need for strengthening works to carry the additional loading (eg: with respect to the weight of the new bath, as well as when filled with water). This may require specialist input from a structural engineer. If any strengthening works are required then we would highlight that these will also require listed building consent and will need to be included on drawings, so we recommend that the applicant team check this whilst developing their plans.</i>	<p>The Conservation Officer's comment is gratefully received. Since the pre-application a decision was made to remove the bathtub element from the proposals on account of the concerns raised. Instead, a walk-in shower is proposed.</p> <p>The Conservation Officer's comments about structural engineering input are noted. The team have engaged an engineer to review the planning and listed building consent application proposals and drawings and the engineer will advise on any structural issues accordingly.</p>
02	20 March 2024  (email)	<i>Conservation Officer's comment on Meeting Minutes point 1.7:</i>  <i>"A Heritage Statement should be included as part of planning and listed building applications. This should consider and lay out the balance of heritage benefits and any harm arising from proposals, to demonstrate that the special interest of the listed building would be preserved overall".</i>	<p>The Conservation Officer's comment is gratefully received and we are in agreement with the requirements stipulated which accurately represent the burdens laid out by the NPPF when dealing with Designated Statutory Assets. We have provided a dedicated significance and impact assessment and laid out balancing benefits despite us considering no harm to be found to the asset.</p> <p>Our heritage statements are very thorough and in line with Historic England's best-practice guidance. We also employ specialist conservation architects which enables us to provide expert knowledge from working practice which we feel greatly adds to the quality of our understanding of the asset and thereafter the accuracy of our assessment.</p>
03	20 March 2024  (email)	<i>Conservation Officer's comment on Meeting Minutes point 2.5:</i>  <i>"In addition to reducing the height of the proposed extension we would recommend that the parapet detailing be simplified to</i>	<p>The design of the rear extension has been altered to take into account the comments of the Conservation Officer.</p>



		<p><i>reduce the perception of massing and allow for a more lightweight structure".</i></p>	
<p>04</p>	<p>20 March 2024 (email)</p>	<p><i>Conservation Officer's comment on Meeting Minutes point 2.6:</i></p> <p><i>"If information has been found about a previous extension that had a greater depth into the garden then we could certainly consider this as justification for an increased depth than the existing study. Supporting evidence should be provided within the forthcoming submission".</i></p>	<p>We have included the case history and sales particulars demonstrating this in our report but for the avoidance of doubt, the area concerned is shown below:</p>  <p>The above is an excerpt from a 1997 planning drawings (available online ref 97/2369/FUL); additionally sales particulars after this time also show this arrangement and the additional built mass (for example see figure 15). Furthermore, it appears on the map regression that at some time in the past the original Victorian wing was also more substantial. Please see figure 18 of this report. This matches a 1911 Inland Revenue Survey map:</p> 
<p>05</p>	<p>20 March 2024 (email)</p>	<p><i>Conservation Officer's comment on Meeting Minutes point 2.7:</i></p> <p><i>"We support proposals to make the bulk of the rear extension (kitchen/dining room) a lightweight structure. Whilst remaining open minded as to the appearance of the rear elevation walls on either side (i.e. the study/sitting area and flank area to the boundary of No.4), consideration could be given to the use of traditional brick to help break up the perceived massing of the overall structure. The pre-app scheme rear</i></p>	<p>The extension has been altered since pre-application stage in line with eth officer's comments. More glazing has been introduced, particularly to the east of the façade. This is the area which was deemed 'slightly jarring' at pre-application stage.</p> <p>Increasing the amount of glazing will make the structure as visually 'light-weight' as possible, allowing visibility of the original fabric beyond which will allow a clearer understanding of the different stages of building evolution and age.</p>





		<i>elevation for these two areas had a slightly jarring appearance, particularly with respect to the window seat”.</i>	Significant resources have been invested into exploring design options for the areas discussed and it is felt that this has been a beneficial exercise in terms of reaching the right design solution.
06	20 March 2024 (email)	<i>Conservation Officer’s comment on Meeting Minutes point 2.11:  “Robust justification would be needed for removal of the GF WC, which from memory had historic looking skirting around the outside. If there is justification for a greater depth to the study extension (as per 2.6) then it is hoped access between the kitchen and study areas could be provided through the proposed extension and avoid the need for creating a corridor through the Victorian wing. Although not discussed on site, we would not be supportive of a sliding/pocket door within the listed building”.</i>	Since the pre-application, we have commissioned dedicated paint-testing to both the ground floor to lower ground floor stair in the closet-wing as well as the ground floor WC. The WC walls, cornice, door and skirting dates from the mid-twentieth century. The door architrave is earlier (19 <sup>th</sup> century) but has evidently been moved. There is deemed to be no fabric significance of the WC. Nevertheless, its plan-form has some minor significance as it is speculated that there <u>may</u> have been an earlier room here of the same shape. For this reason, it is proposed to retain parts of the room enclosure within the new plans (so that this can still be understood). Please see the architectural drawings.  It is also worth mentioning with regards to the terminology of ‘creating a corridor’, in our interpretation, the corridor already exists, from the stairs to the small lobby to the study. We therefore deem the proposed arrangement to be no worse on heritage terms.
07	20 March 2024 (email)	<i>Conservation Officer’s comment on Meeting Minutes point 4.5:  “No objection in principle to bathroom use to small bedroom, subject to pipework being introduced sensitively without any notching to floor joists. Further comment to be added that any associated floor strengthening works would need listed building consent and details/drawings should be included in the forthcoming application”.</i>	Noted with thanks.
08	Original Meeting Minutes (by applicant’s team) issued via email to all present.	<i>Point 2.1: “The heritage officer favours clearer visibility of the existing internalised Georgian façade from within the property. It is agreed to relocate the proposed WC further away from the Georgian façade. This area could be seen as an extension of</i>	Following the on-site conversation about this item, the area concerned has been subject to several option appraisals to find the most suitable balance for the use of space and the preservation of views of the original parts of the Georgian façade. The emergent design solution is shown on the updated drawings. It is felt that the newly



		<i>the hallway to maintain legibility of the existing internalised Georgian façade”</i>	positioned WC will allow improved through-views to the original fabric and create a more visual connectivity between the original property, the new extension and indeed the garden beyond.
09	Original Meeting Minutes (by applicant’s team) issued via email to all present.	<i>Point 2.12: Proposals seek to replace the existing ground to basement stair within the Victorian wing to improve pitch, head height and configuration, improving flow at ground floor and basement levels. The heritage officer recommends further investigations and research be carried out to establish whether the existing configuration and built fabric is original.</i>	<p>Following the discussion on site, specialist paint (date) testing was commissioned to determine the age of the fabric concerned. There were visual signs of alteration but the paint study (in the appendix) has confirmed the evolution of the stair and provided a full understanding of the stages of adaption. It has been proven that there are only 4 steps of the original stair-run and there have been several distinct phases of ad-hoc adaption, In addition, we have also provided a much more thorough morphology of the house(s) fabric indicating the locations of the <u>original</u> Georgian staircases.</p> <p>It is proposed to remove the remaining fragmental early remaining fabric of the stairs given that it is not of considerable age or an original feature of the building. A similar sized and located connecting stair is proposed albeit slightly different configuration. The proposed material would be traditional timber.</p> <p>The paint testing record will preserve the record of the stair for anecdotal interest in addition to it evidencing how little Victorian fabric remains.</p>
10	Original Meeting Minutes (by applicant’s team) issued via email to all present.	<i>Point 4.4 (part) Proposals include moving the door opening to the master bedroom (front room adjoining no.2) to enable introduction of dressing joinery storage. The heritage officer would favour retaining the existing location for the doorway</i>	Noted with thanks. Detailed assessment of the plan’s morphology have indicated that the door has been moved and that the partition in which the door is currently placed is non-original. The proposal is therefore to move the door which will ultimately mean that its location is more in keeping with its original orientation and position.

Table 3: Pre-application comments / minutes, discussion

In conclusion, the pre-application advice has been most helpful in developing the proposals in conjunction with a heritage specialist. The proposals have been altered in an endeavour to address all of the conservation-concerns. We welcome any further discussion regarding the pre-application comments and minutes. There is no deliberate omission of any of the points raised and we have endeavoured to cover all of the main points of discussion without significant repetition or lengthy unnecessary discussion.



## 4 EXISTING BUILDING

### 4.1 Existing Building, Condition, layout

The existing building is a three-storey terraced house (with lower ground floor). The house forms part of a prominent uniform terrace of Georgian-style properties dating 1720, extended thereafter.



*Figure 23 – Front Elevation in context as part of the terrace of Montpellier Row*

The building is constructed from stock and red brick but has been entirely rendered (in 1860 when other changes were also made), possibly on account of it combining two properties of the original terrace's arrangement and adding a new extension of a different period. Aside from the changes to the tenure of the property, the front elevation has been little-changed from the original design and features fine regency detailing such as sash windows with the delicate glazing bars.

The front garden has also been modified but the early general layout with secondary (service) stairs down to the basement can still be broadly understood. An ornate framed opening-gate provides an attractive enclosed entrance from Montpellier Row.

To the rear, the original property is almost entirely obscured by a later full-height Victorian closet wing dating from around 1870. It is of the same broad architectural language as the host dwelling however and therefore is broadly sympathetic. Two later partial extensions date from the late twentieth century and after.

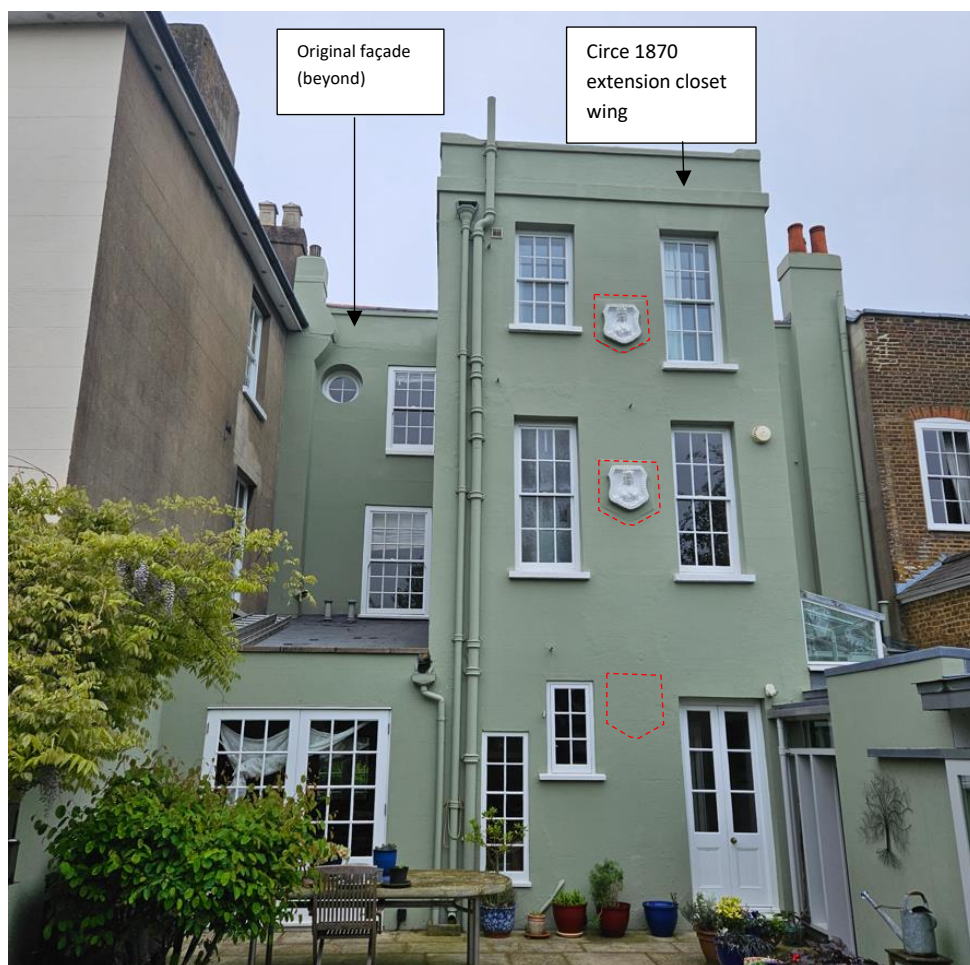
The extension is adorned with a small pair of 'Mercers Maidens' set into niches on heptagonal plaster plaques on the rear elevation. A further one which has evidently been moved from its first position on the property is positioned slightly abstractly on the side of the closet-wing extension. Mercers Maidens are emblems of the 'Worshipful Company of Mercers'. They can





be seen all over London and demark properties that are (or rather were) owned by the livery company. 3 no. Mercers Maidens are also seen on the Richmond Road flank elevation of number 1 Montpelier Row.

Having undertaken significant archival research including into the dedicated directories of the Mercers of London themselves, we have been unable to find any reference to Montpelier Row in any of the associated directories, archives or even on anecdotal social references. On this basis we are almost certain that the Mercer's crests have been moved at least once, not least because they (without known exception) always adorn the front facades of Mercer-owned properties rather than only the rears and sides. Additionally, they are typically spaced symmetrically, uniformly and are designed-into the facades of the buildings which they are designed for (rather than being ad-hoc randomly-placed later additions to existing buildings). It is virtually impossible to ascertain where they might have originally been located as there are very few Mercer links within the locality of Twickenham, particularly given that they are on the Victorian wing which can be arcuately dated and cross-referenced to occupants. We have contacted the Worshipful Company of Mercers for their opinion. Please also note that the plaques are not seen on the earliest of the Council's archival drawings (even in outline detail) although this may simply be a case of the architect choosing not to show them.



*Figure 24 – Rear Elevation. 2 Mercer's Maidens are shown with red dashes together with a speculative former location of the one that is now on the side elevation. It is possible that it was moved during the alterations to the adjacent windows and doors (which are of differing ages). Regardless, we believe that the mercers maidens have all been moved from another site but we await the professional opinion of the Mercer's archives at the time of writing.*

The rear elevation of 3 Montpelier Row is fairly pleasing with a degree of symmetry classical detailing. As a 'holistic rear elevation' of the whole terrace, there is considerable difference in the scale and design of the later closet-wing elements with each one being separately designed and implemented rather than as part of an overall 'master-planned' design. Of course,



there was no real planning protocol legislative at the time many were built so they differ in their bulk and mass as well as appearance. This is considered relatively inconsequential however by virtue of the existing site arrangements (with separate rear boundary walls and very limited viability between properties). It is commonplace in the City for properties to have infill developments as well as rear projecting extensions and their impact is managed through sensitive design and choice of materiality.



*Figure 25 – Rear elevation of the entire terrace; Victorian (some with Georgian origins) closet-wings shown yellow. Modern extensions shown orange.*

The aerial view above captures the extent of modification to the rear and the different additions to each property, be it in the form of older closet-wing extensions or modern single-story infill. All of the immediately neighbouring properties have significant development to the rear and many of these are of the original plot width rather than the combined unit of number 3 (previously two houses). Consequentially, number 3 is one of the very least developed in terms of mass over the course of the history of the property. As already mentioned, indeed the rear has been reduced in density historically, not just by the reduction of the closet-wing (historically) but also the removal of previously approved and implemented single-storey extensions formerly in situ.

A dedicated study of the rear extensions was provided following the pre-application discussion to really illustrate the proportion of re-development when compared to the total plot width with.

Plans of the existing building are provided below for the understanding of the current layout.

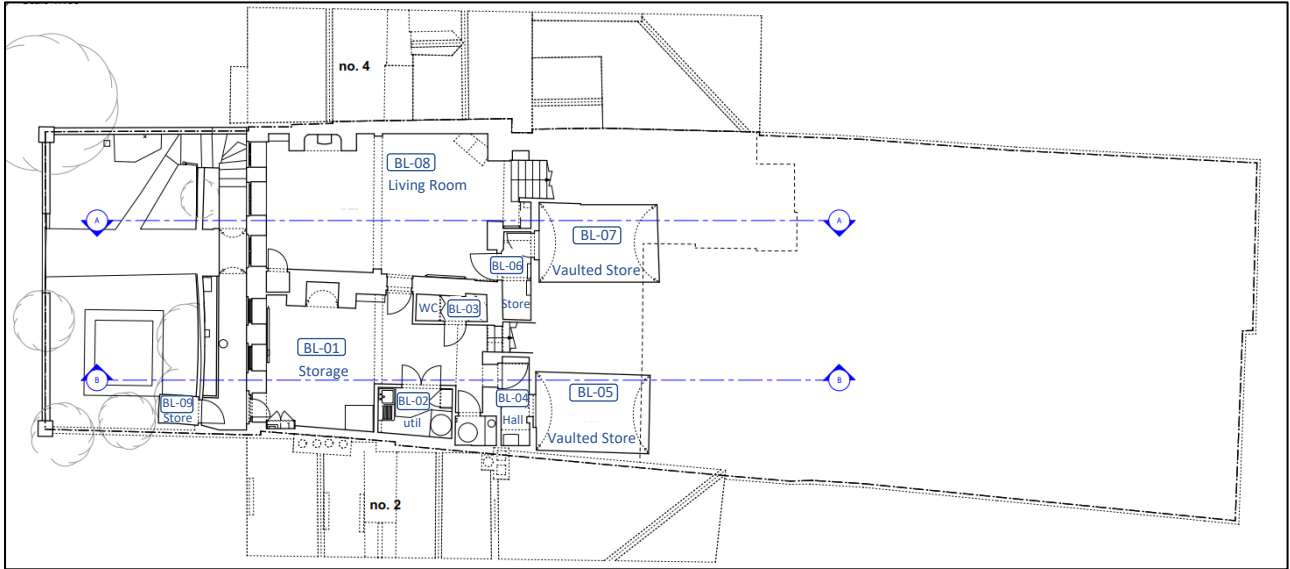


Figure 26: – Basement Floor Plan as existing (not to scale)

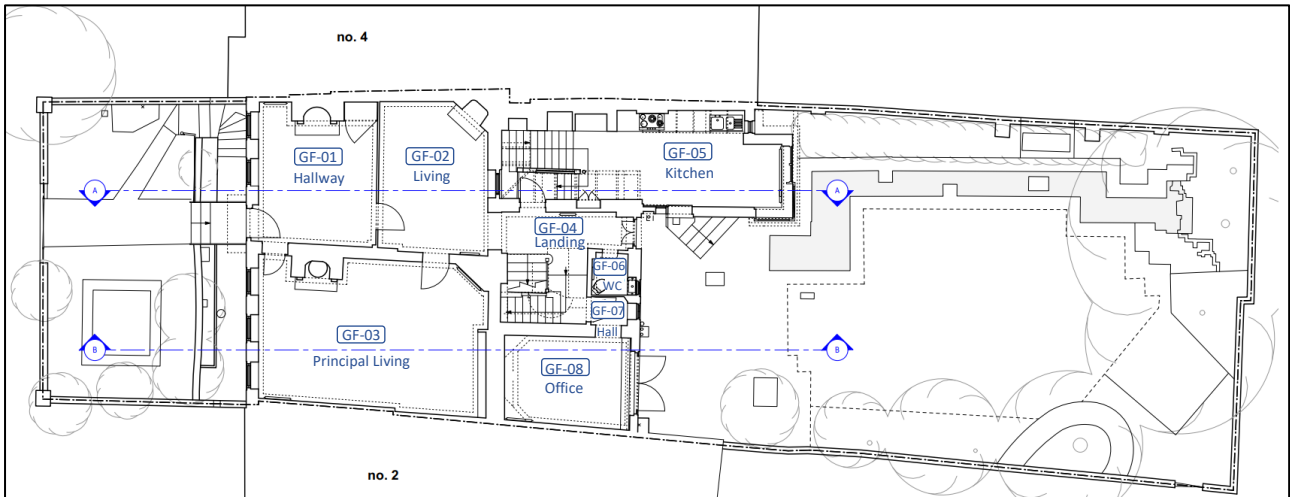


Figure 27: – Ground Floor Plan as existing (not to scale)

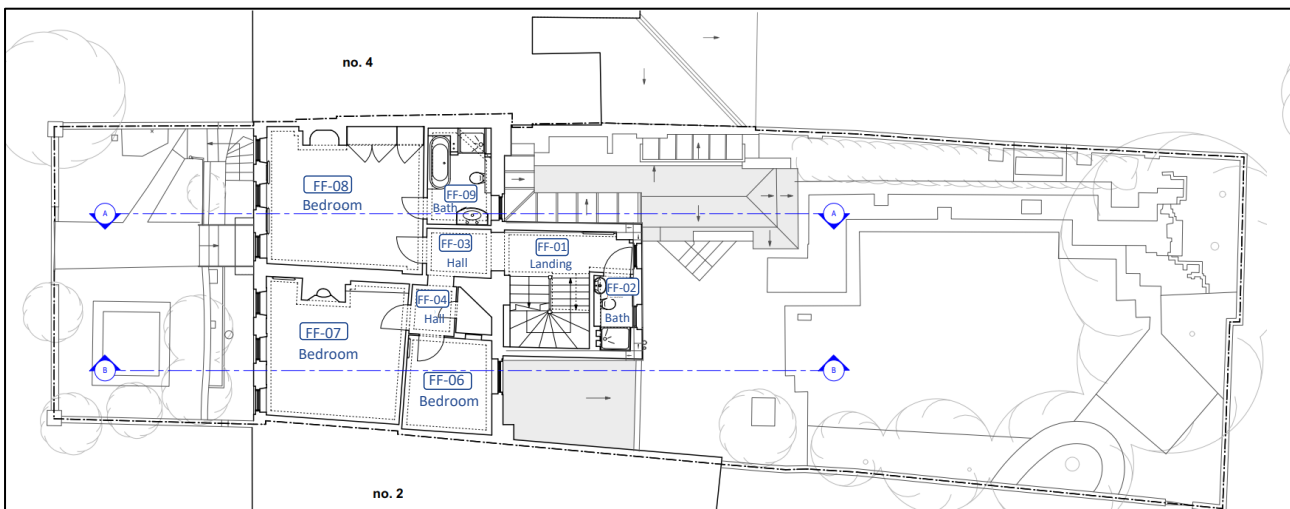


Figure 28: – First Floor Plan as existing (not to scale)



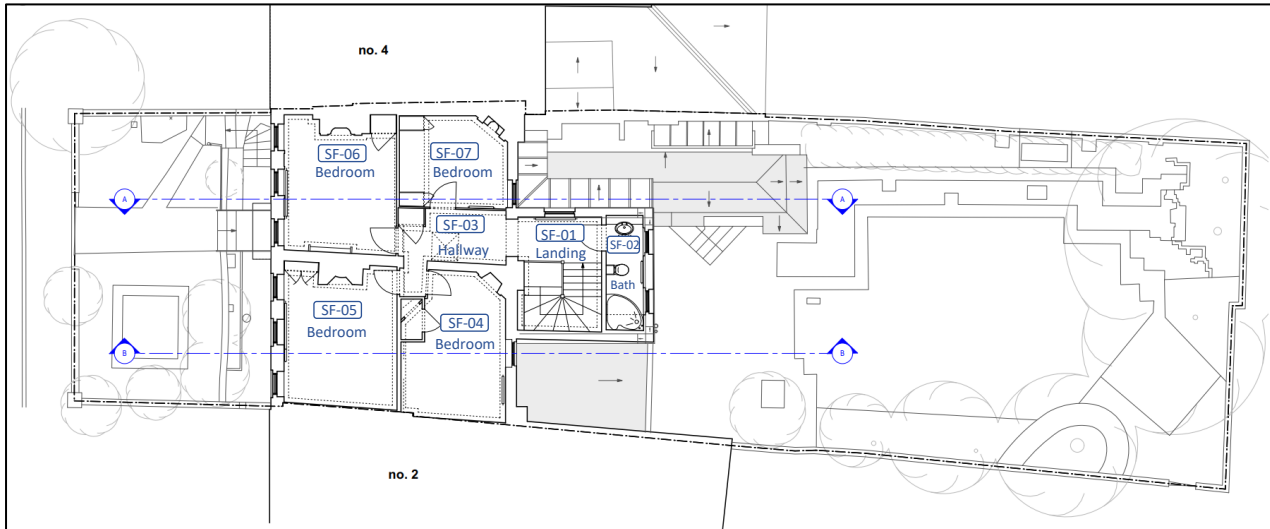


Figure 29: – Second Floor Plan as existing (not to scale)

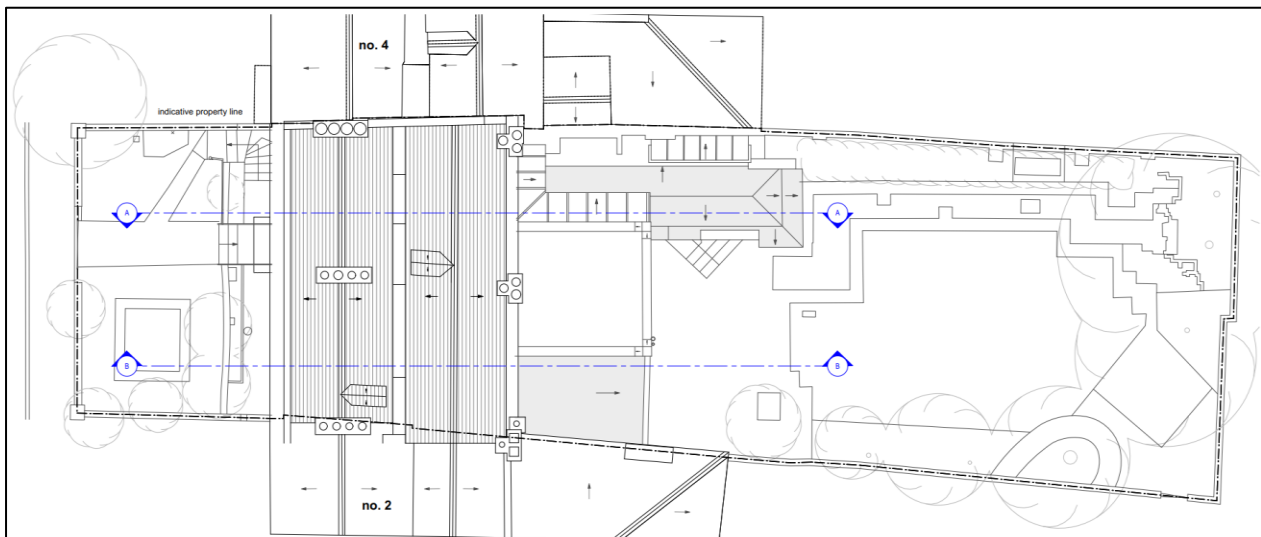


Figure 30: – Roof Plan as existing (not to scale)

## 5 SIGNIFICANCE ASSESSMENT

### 5.1 Introduction, Methodology

The NPPF 2021 (Para 200) states that “In determining applications local planning authorities should require an applicant to describe the significance of any heritage assets affected, including any contribution made by their setting. The level of detail should also be proportionate to the assets’ importance and no more than is sufficient to understand the potential impact of the proposal on that significance.” This assessment appraises the significance of the building and appraises its setting. The key criteria for assessing the significance of a heritage asset has been recently updated by Historic England in ‘Statements of Heritage Significance: Analysing Significance in Heritage Assets’, published 21 October 2019. These definitions are in alignment with the NPPF definition of significance and are as follows:

- Archaeological interest – There will be archaeological interest in a heritage asset if it holds, or potentially holds, evidence of past human activity worthy of expert investigation at some point.
- Architectural and artistic interest – These are interests in the design and general aesthetics of a place. They can arise from conscious design or fortuitously from the way the heritage asset has evolved. More specifically, architectural



interest is an interest in the art or science of the design, construction, craftsmanship and decoration of buildings and structures of all types. Artistic interest is an interest in other human creative skills, like sculpture.

- Historic interest – An interest in past lives and events (including pre-historic). Heritage assets can illustrate or be associated with them. Heritage assets with historic interest not only provide a material record of our nation’s history but can also provide meaning for communities derived from their collective experience of a place and can symbolise wider values such as faith and cultural identity. In order to determine the significance of a certain component of a heritage asset the sum of its archaeological interest, architectural and artistic interest and historic interest needs to be disaggregated and determined. The grading of values is considered using three categories: nil, low, medium and high.

## 5.2 Significance Assessment

- Archaeological interest: The site is not located within an “Archaeological Priority Area (APA)” nor is it (in itself) deemed to be a “Site of Archaeological Importance”. However, Montpelier Row borders onto the north westerly Fringe of the Marble Hill (Tier 2) Designated Area. The archaeological significance of this APA is associated with the Marble Hill House Estate. This site has been extensively investigated in terms of archaeological interest with reports published by Historic England and collaborators most significantly in 2016 and 2017. Its interest lies in the remains of the pleasure grounds and gardens, as well as the remains of the 18th Century Mansion house.

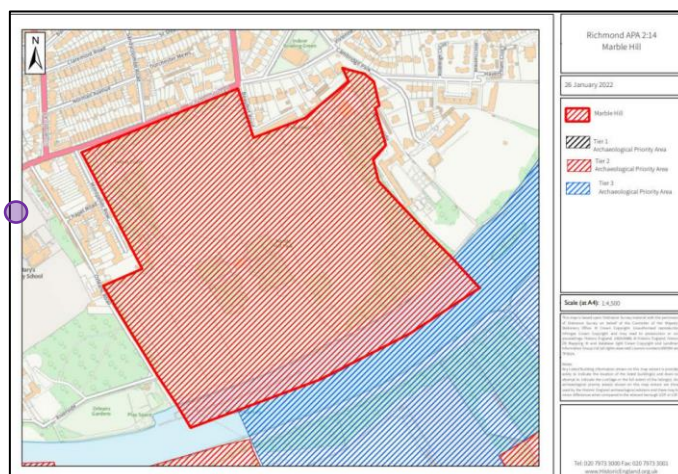


Figure 31: – Richmond APA 2:14 – Marble Hill. Site shown purple

There is clearly a relationship between Montpelier Row and the Marble Hill House Estate on account of the geographical proximity, but aside from this Montpelier Row is unrelated to the Estate in terms of building, relationships, curtilage, use, scale and typology etc. The nearby archaeological area is therefore deemed to be relatively inconsequential although there is some potential for associated spot finds in the local vicinity.

The application building is of some (academic) archaeological value (through understanding how early inhabitants used to live) as it is a well-preserved early Georgian townhouse. This has been somewhat eroded through the combination of the two units in the nineteenth century but this also has added some interest in its own right about the emerging needs of later occupants.

The site therefore is of some archaeological interest but overall the archaeological significance is low.

- Architectural and artistic interest: 3 Montpelier Row was designed and laid-out in the 1720’s by eminent naval Captain - come – property-developer Captain John Gray who also developed nearby Sion Row. It forms part of a handsome but simple terrace and is a fine example of Georgian domestic design.



The front elevation of the terrace is well preserved within the vicinity of the site (albeit that houses have been re-planned and combined). This has been done relatively sensitively so that the overall composition is not lost. The design is simple but highly effective and despite the modest scale of the original properties, the symmetrical detailing both in plan and elevational form is very accomplished for its period.

Consistent classical Georgian detailing adds interest to the streetscape and the buildings have a clear and well-established relationship as a distinct terraced group.

The building is (group) Grade II\* listed recognising its enhanced significance on architectural and artistic terms. Based on all of the above, the overall aesthetic (architectural and artistic) value of the property is medium to high.

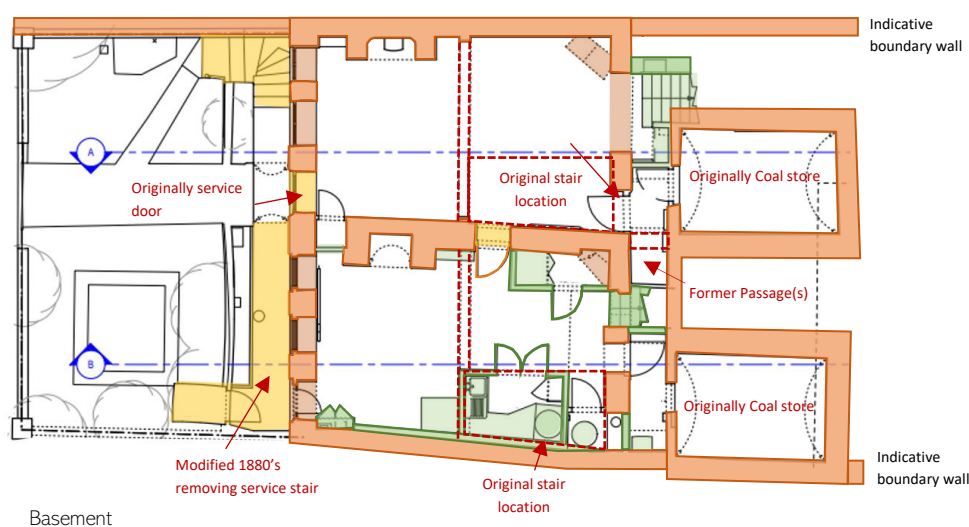
- **Historic interest:** The host property has quite a degree of historical value on account of its age, dating around 1720 and is a fine example of a very early Georgian terrace. Its plan-form is moderately well-preserved and much of the Georgian fabric remains in good condition, particularly the frontage.

Overall, the historic interest of the application site is medium to high.

- **Overall Significance:** The site is deemed to be of medium overall significance. The building is a Grade II\* Listed building, recognising its enhanced heritage importance. It contributes very positively to its locality as part of an attractive Georgian Terrace and also unquestionably it is, together with the rest of the terrace of Montpelier Row, a positive contributor to the Conservation Area, shedding light on local history and maintaining important relationships and key views with the surrounding building fabric.

## 5.2 Morphological and Significance Plans

The building's morphology (as known) is shown below. Some of this is based on archival plans sourced from Richmond Council. Naturally, the exact date of fabric is not known (aside from those areas that were paint-tested) and the below plans are therefore partially-based on speculation (albeit evidence and knowledge based). The key is shown below the plans. In addition we have added key annotation on specific items. Note that we have no way of verifying the age of walls without opening-up or paint testing which we deem unnecessary.





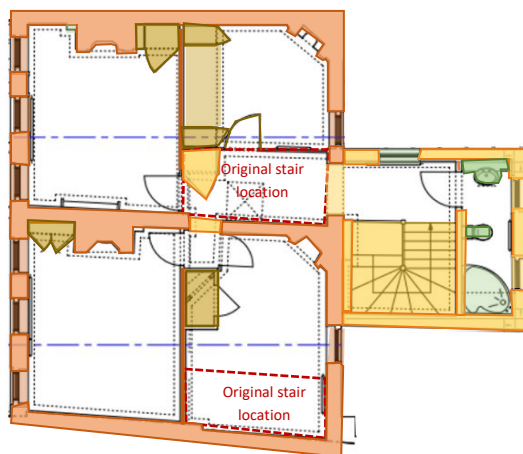
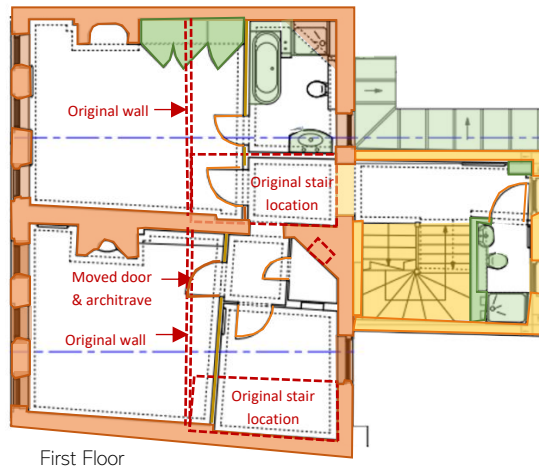
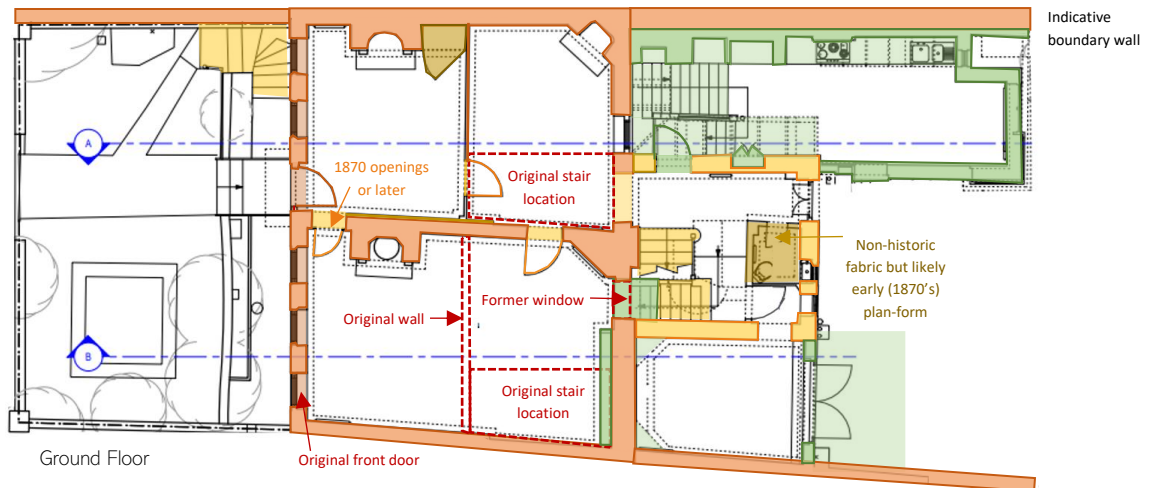


Figure 32 –Floor plans as existing, morphological (known), all non-coloured items are unknown.

KEY:

- Georgian Fabric (circa 1720)
- Victorian Fabric (circa 1870)
- Post-war fabric (20th century)



Likely Pre-war fabric (circa 1900 - 1930 from appearance only) but broadly unknown

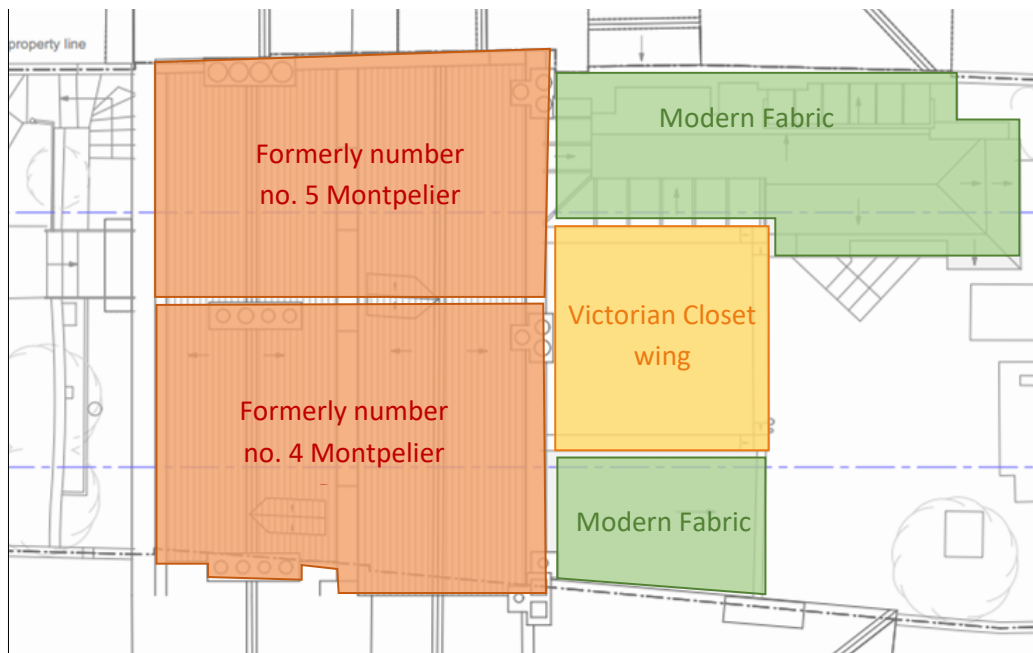


Figure 33 – Overall Key phases

KEY:



Georgian Fabric (circa 1720)



Victorian Fabric (circa 1870)



Post-war fabric (20th century)

## 6 DESIGN PROPOSALS

### 6.1 Key Proposals

The design proposals are shown on drawings prepared by 3S Architects together with a dedicate Design and Access Statement.

In general, the proposals comprise a comprehensive and holistically-planned overhaul of the property to maintain its ongoing optimal viable use as a single-family-dwelling.

The proposals are also shown on plan below.

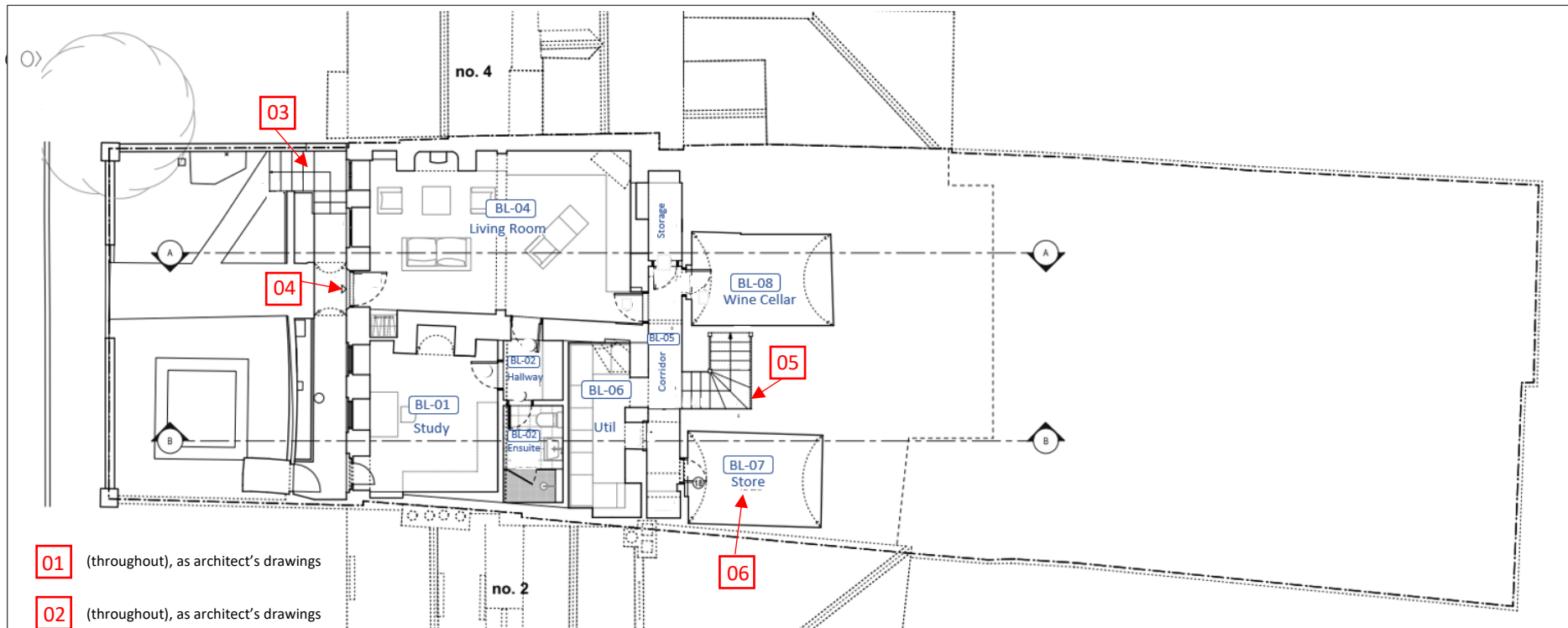


Figure 34 – Basement Floor Plan [Not to scale]

KEY:

Item	Description
01	Remove all existing fabrics / construction as shown on the architectural drawings (minor demolition / strip-out works). Also see morphological plans
02	New high-quality fit-out and internal minor re-configuration works as shown. New doors and new finishes, Minor modification to existing doors, finishes.
03	Existing external staircase to basement level including footings to be removed. New sandstone external steps, metal balustrade to match existing to improve access to and from the lower-ground floor light-well / entrance.
04	Re-instatement of an entrance door underneath the ground floor bridge entry.
05	Removal of the modern (kitchen) stair & replacement of the existing ground to lower-ground stair within the Victorian wing centralising the circulation and making the stair less steep for easier access. See paint-report regarding the stair physical fabric / age.
06	Consolidation of the utility and storage space with access from the original rear light-well, improving connection between the barrel vaults and a study;



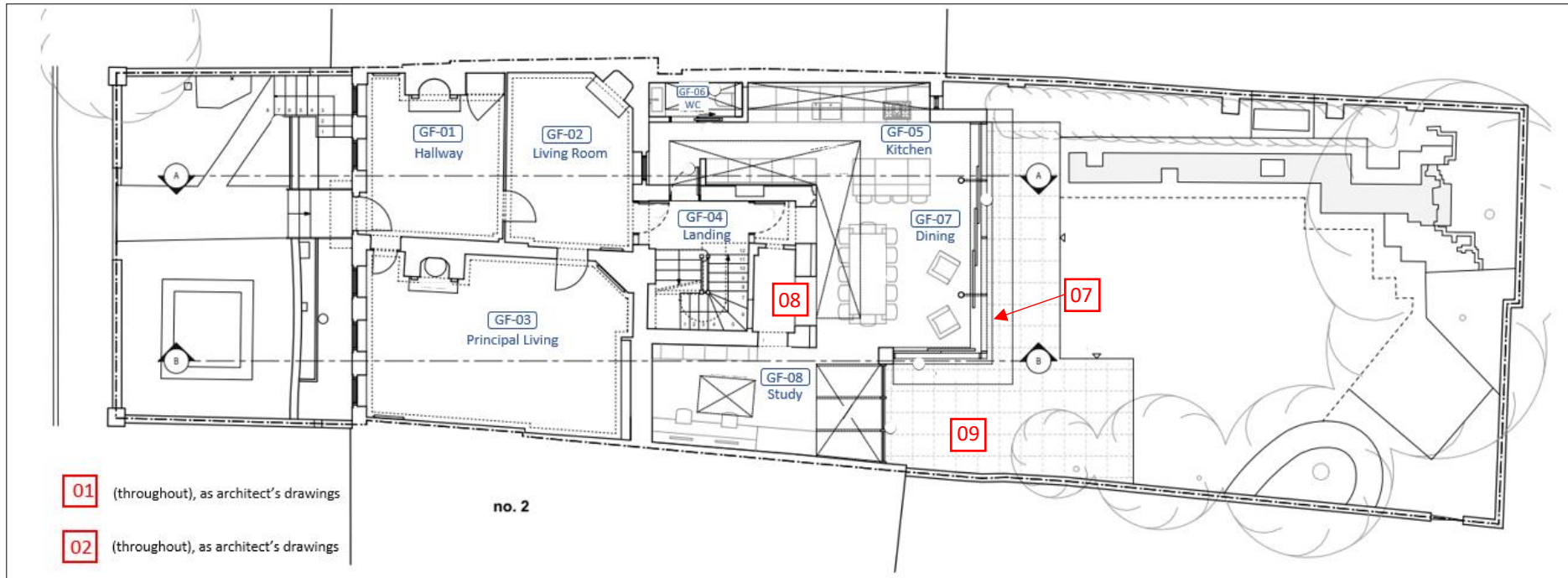


Figure 35 – Ground Floor Plan [Not to scale]

KEY:

Item	Description
<b>01</b>	Remove all existing fabrics / construction as shown on the architectural drawings (minor demolition / strip-out works). Also see morphological plans for age of fabric.
<b>02</b>	New high-quality fit-out and internal minor re-configuration works as shown. New doors and new finishes, Minor modification to existing doors, finishes.
<b>07</b>	Removal of the existing rear extensions and replacement with a new single-storey extension housing an open plan kitchen / dining space, sitting space and study with improved level access & relationship with the main house & garden;

<b>08</b>	Relocation of the ground floor wc and partial opening up of the rear wall of the Victorian wing to improve the visual connection from the main house through to the rear extension and garden;
<b>09</b>	New landscaping around the modern extension.

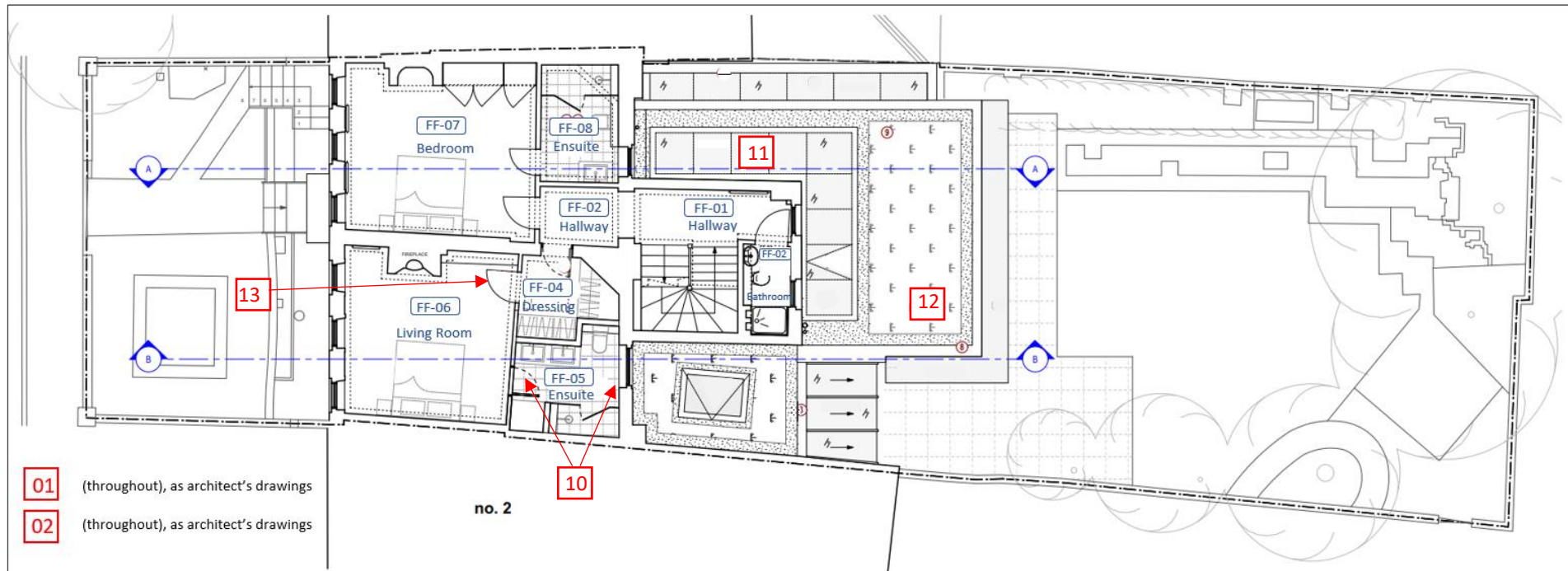


Figure 36 – First Floor Plan [Not to scale]

KEY:

Item	Description
01	Remove all existing fabrics / construction as shown on the architectural drawings (minor demolition / strip-out works). Also see morphological plans for age of fabric.
02	New high-quality fit-out and internal minor re-configuration works as shown. New doors and new finishes, Minor modification to existing doors, finishes.
10	New internal partitions to accommodate a more generous dressing area and a new en-suite bathroom; New opening to create doorway into ensuite

11	New rooflights to roof of extension
12	New green roof
13	Door moved and re-hung in opposite direction. See morphological plan to see history of adaption here. The wall and door location are non-original.

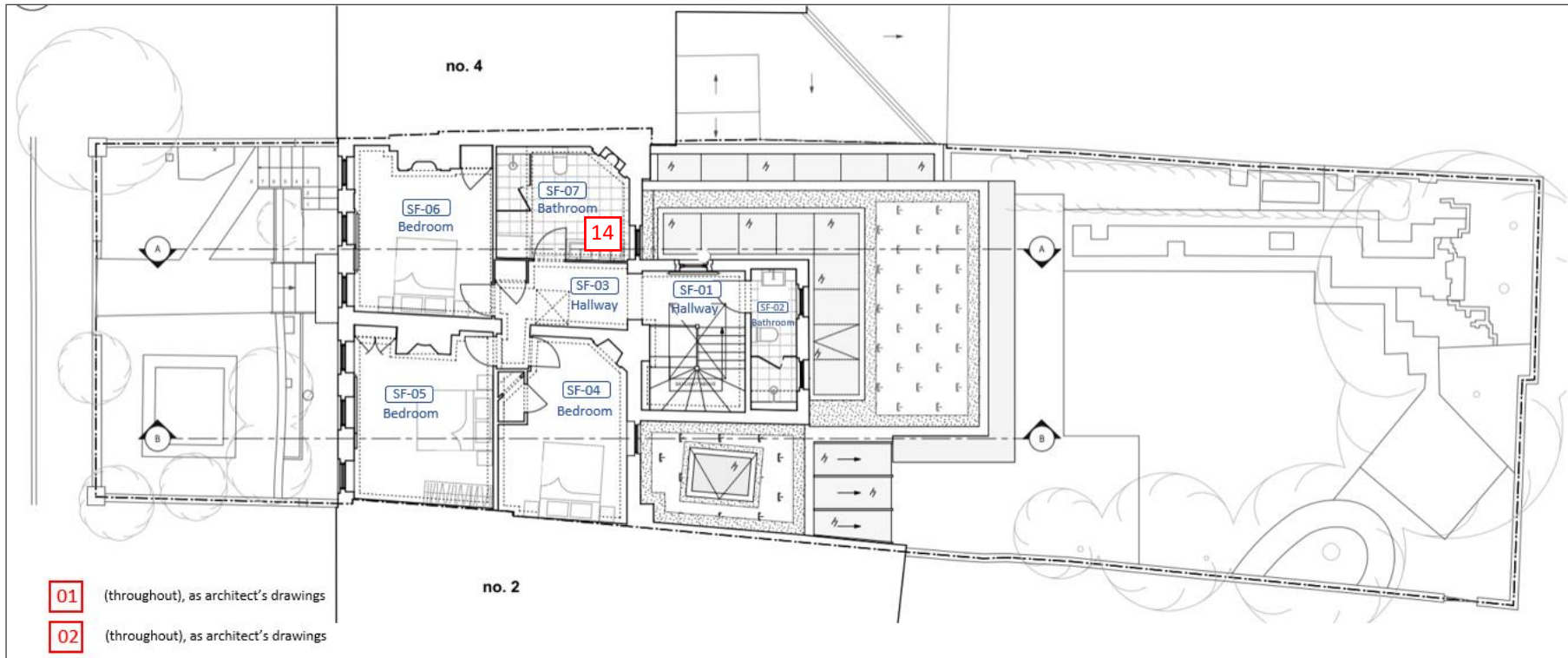


Figure 37 – Second Floor Plan [Not to scale]

KEY:

Item	Description
<b>01</b>	Remove all existing fabrics / construction as shown on the architectural drawings (minor demolition / strip-out works)
<b>02</b>	New high-quality fit-out and internal minor re-configuration works as shown. New doors and new finishes, Minor modification to existing doors, finishes.
<b>14</b>	Conversion of Bedroom SF-07 into bathroom



## 7 IMPACT ASSESSMENT

### 7.1 Introduction

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Drawings of the proposals have been outlined within the previous section.

This section will evaluate the potential impact of the proposals upon: the Grade II\* listed building. It should be noted that the Twickenham Riverside Conservation Area is also a designated heritage asset in its own right. However, the listed building is deemed to be the more significant asset given that the proposals are principally contained to the inside and the rear of the property; Nevertheless, the impact upon the conservation area is also deemed to be in line with the below assessment. (The internal changes of course would not be applicable however to impact upon the Conservation Area).

The impact assessment on the special interest of the statutorily designated heritage asset considers whether the proposals cause substantial or less than substantial harm to the heritage asset by altering or eroding the authenticity and of the heritage values identified (these can be aesthetic, historic, communal and evidential).

### 7.2 Impact Assessment Criteria

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The purpose of assessing the effects likely to result from the proposed development, established criteria have been employed. The impact of the proposal has been assessed against receptor sensitivities, ranging from:

- Substantial (high) adverse: a fundamental change in the appreciation of the resource and its historic context, or setting, involving the degradation of a cultural heritage site of national importance, or the demolition of any grade of statutorily listed building.
- Moderate (medium) adverse: a change that makes an appreciable difference to the ability to understand the historic context, or setting, resulting in extensive long-term change to the setting or structure of listed buildings.
- Minor adverse: effects which create dis-benefits to the historic fabric of the area but may also provide benefits. May involve demolition of an undesignated historic building, or limited encroachment upon a conservation area, or historic parkland, where intrusive views are created or slight impacts upon its integrity would result.
- Negligible / Neutral: the development would not materially affect the status quo.
- Minor beneficial: perceptible improvement in the setting of, or structural condition of, or character of listed buildings or conservation areas.
- Moderate beneficial: effects which help to explain the significance and history of the site and surrounding area; ensuring the long-term future of Listed Buildings and any other buildings of architectural significance, by providing viable and appropriate uses; resulting in the loss of less significant fabric in the Listed Buildings but enabling a viable long-term use for the buildings.
- Substantial beneficial: effects which ensure the long-term future of the most significant historic fabric by providing viable and appropriate uses and, impacts which improve the setting of a Listed Building or historic parkland and, which repair and conserve the most significant fabric of the Listed Buildings.

### 7.3 Outline Impact Assessment

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The overall proposals have been divided into individual elements in order to undertake a detailed assessment of impact. We have then provided an overall impact rating for the proposals as a whole.




KEY:



Denotes element that is believed to constitute a designated (balancing) heritage benefit (under the NPPF)

	Proposed Changes	Impact
<b>01</b>	<i>Remove all existing fabrics / construction as shown on the architectural drawings (minor demolition / strip-out works). Also see morphological plans for age of fabric and the understanding of the past alterations at the property. Figure 32.</i>	<p><u>Neutral</u></p> <p>Dedicated morphological plans have been prepared which indicate the age of the fabric concerned. The vast majority of the fabric to be removed is post-war. Protection measures will be provided at all times during the removal works.</p> <p>Much of the removal works are the reversal of modern, often inappropriate features for replacement with more authentic or replica original features, A few examples being re-instating the basement external door under the entrance 'bridge', removal of crude 'boxed-in' service runs to return the plan-form of room to its original configuration and removal of a non-original and jarring window to the closet-wing at second floor level (window is of different appearance and configuration to the other original sash windows elsewhere).</p> <p>There are very few proposals which will result in loss of early fabric and the relevant areas have also been altered previously. The degree of fabric lost is considered to be easily out-weighted by the positive enhancements bought about as a consequence of the removal of inappropriate fabric across the property.</p>
<b>02</b>	<i>New high-quality fit-out and internal minor re-configuration works as shown. New doors and new finishes, Minor modification to existing doors, finishes.</i>	<p><u>Neutral / minor beneficial</u></p> <p>The existing interior is broadly appropriate to the age and style of the property but is slightly tired in places and there have been some insensitive past alterations which have somewhat undermined the historic integrity of the property as a whole, in particular to the circulation and the existing kitchen area.</p> <p>The new architect-designed holistic interior fit-out will be of superior quality to the somewhat piecemeal design as existing. The team have considerable experience working with designated heritage assets and have invested significant resources into exploring the building's evolution with a view to achieving the most historically-sensitive design as possible.</p> <p>The end-clients have a sincere enthusiasm about the building's past and one of the principal agendas of the re-modelling is to draw-upon the existing character and quality of the dwelling and to extend it sympathetically to compliment the host property.</p> <p>New elements will manifest as deliberately 'new' in appearance but with a palette of visually lightweight materials to allow far more visibility of the earlier parts of the house than can be experienced with the current extensions and interior fit-out.</p>
<b>03</b>	<i>Existing external staircase to basement level including footings to</i>	<p><u>Neutral</u></p>



	<p><i>be removed. New sandstone external steps. metal balustrade to match existing to improve access to and from the lower-ground floor light-well / entrance.</i></p>	<p>The service entryway to the property has been extensively altered in the past (see morphological plans at figure 32). Not least because the property was once two separate dwellings with two separate stairwells.</p> <p>The proposal to replace the stair in its original material and detailing is deemed neutral on heritage terms.</p>
<p><b>04</b></p>	<p><i>Re-instatement of an entrance door underneath the ground floor bridge entry.</i></p>	<p><u>Minor Beneficial</u></p> <p><b>H</b> The original door was likely replaced with a casement window in the late nineteenth century when the two former units were combined into a single house which was significantly re-modelled at this time.</p> <p>Replacing the non-original window will be a heritage benefit which will further improve the understanding of the original properties layouts.</p>
<p><b>05</b></p>	<p><i>Removal of the modern (kitchen) stair &amp; replacement of the existing ground to lower-ground stair within the Victorian wing centralising the circulation and making the stair less steep for easier access. See paint-report regarding the stair physical fabric / age.</i></p>	<p><u>Neutral / Minor Beneficial</u></p> <p><b>H</b> The two separate runs of 'kitchen stairs' which span between the existing basement, half-level kitchen &amp; ground floor significantly distort the established circulation routes within the property. The image below shows their awkward configuration / bulk / levels.</p>  <p>Rationalising the layout and returning the house to a single stairwell arrangement (as it was in circa 1880) will have a significant positive impact upon the listed building, particularly at ground floor and basement level.</p> <p>Paint testing has been undertaken to the existing stair in the Victoria wing which has revealed that the stair has been extensively modified and only very fragmental material remains. It is therefore proposed to replace the stair but in a simple utilitarian style made of timber in the style most appropriate on heritage terms.</p> <p>Overall, the loss of the last remnants of the extensively-modified Victorian stair is easily balanced by the removal of the two inappropriate and highly visible modern stairs in the kitchen area together with the reversal of the half-level kitchen. We request that the paint report is reviewed in detail.</p>
<p><b>06</b></p>	<p><i>Consolidation of the utility and storage space with access from the original rear light-well, improving</i></p>	<p><u>Neutral / minor beneficial</u></p> <p>The existing room layout is abstract and bears no resemblance to the former layout of the basement rooms. The new arrangement will re-instate the</p>





	<i>connection between the barrel vaults and a study;</i>	former wall separating the two key basement rooms. (See figure 32 which shows the original division of spaces / rooms at this level).
07	<i>Removal of the existing rear extensions and replacement with a new single-storey extension housing an open plan kitchen / dining space, sitting space and study with improved level access &amp; relationship with the main house &amp; garden;</i>	<p><u>Neutral</u></p> <p>The existing extensions are relatively in-offensive and whilst not of great design merit, they are not an eye-sore either. However, their solidity does limit the visibility of the more historically important parts of the dwelling house.</p> <p>The additional bulk and mass of the proposed extension will impact to some extent the views onto the building from the rear, however, it has been established that greater extensions to the rear have existed in this location in the past (see point 4, table 3). Furthermore, the design will allow far improved visual permeability as a glass façade solution is proposed.</p>
08	<i>Relocation of the ground floor wc and partial opening up of the rear wall of the Victorian wing to improve the visual connection from the main house through to the rear extension and garden;</i>	<p><u>Neutral</u></p> <p>The WC enclosure (walls) and joinery were paint (age) tested in an endeavour to confirm the date that the different elements were installed. The walls, cornice, skirting and dado rail were revealed to date from the mid 20<sup>th</sup> century (1940 / 1950) and the door and architrave to have been removed.</p> <p>That said, it seems highly likely that the plan-form of the room <u>is</u> original to the Victorian closet-wing as the configuration suggests that there was always a room here. The walls are therefore deemed to hold some importance in terms of plan-form even though the wall fabric itself is modern. For this reason, following discussion, the design team have adapted the plans to retain the majority of the walls to the wc (and forming the external walls of the closet-wing) which will form part of the circulation area, fittingly between the main house and the new extension.</p>
09	<i>New landscaping around the modern extension.</i>	<p><u>Negligible</u></p> <p>A new terraced area is proposed adjacent to the rear extension. This is deemed to be inconsequential to the impact upon the listed building.</p>
10	<i>New internal partitions to accommodate a more generous dressing area and a new en-suite bathroom (at first floor level);</i>	<p><u>Neutral</u></p> <p>The morphological plans at figure 32 has demonstrated that the walls in question are non-original. The first floor plan has been totally re-modelled in around the early 20<sup>th</sup> century. Minor layout adjustments are deemed inconsequential.</p>
11	<i>New rooflights to roof of extension</i>	<p><u>Negligible</u></p> <p>The new rooflights are located within the modern extension and hence are deemed to be of little to no impact upon the listed building.</p>
12	<i>New green roof</i>	<p><u>Negligible</u></p> <p>The new area of green roofing is located within the modern extension and hence are deemed to be of little to no impact upon the listed building. The</p>



		urban greening and sustainability benefits may constitute a very minor planning benefit.
<b>13</b>	<i>Door moved and re-hung in opposite direction. See morphological plan to see history of adaption here. The wall and door location are non-original.</i>	<u>Neutral</u> The morphological plans have demonstrated beyond doubt that the wall and door locations are non-original. The proposal is therefore deemed neutral and whilst moving the door slightly and reversing its swing would not return the arrangement to the original layout, it would certainly be closer to what was there when the building was constructed.
<b>14</b>	<i>Conversion of Bedroom SF-07 into bathroom</i>	<u>Neutral</u> Assuming that the service distribution is undertaken sensitively, the change from a bedroom to bathroom is deemed relatively inconsequential to the listed building.

Table 4 : Impact Assessment

Conclusion

Overall, the proposals are considered to be negligible / neutral to very minor beneficial in impact.

## 8 OUTLINE POLICY COMPLIANCE & JUSTIFICATION

### 8.1 Introduction

In this section, the proposal is evaluated against the following relevant National and Local Policies:

- The Planning (Listed Building and Conservation Areas) Act 1990
- The objectives and policies for the historic environment stated in the National Planning Policy Framework (NPPF), (& Planning Practice Guidance).

The 'Planning (Listed Buildings and Conservation Areas) Act 1990', is of relevance to the development proposals as 'the Act' provides specific protection for buildings and areas of special architectural or historic interest, over and above that provided by the wider principals of planning / development management. The legislation imposes specific requirements to consider the physical and visual impact of any works proposed which may impact on the special architectural or historic interest of dedicated heritage 'assets'. We have provided full details as to the relevant identified assets within previous sections of this report.

The 'key test', derived from the legislation and subsequent guidance, is whether the proposed changes make any negative difference to these assets' significance and / or an appreciation their special interest(s).

Fundamentally, the legislation requires decision-makers to apply proportionate weight to the desirability of preserving the significant fabric, architectural character and historic interest of a designated heritage asset when determining planning proposals, balanced against identifiable public benefits. This requires appropriate analysis of the Site as a whole.

The Council must, therefore, use its judgement (based on relevant material evidence) to understand and objectively define the impact on the affected designated heritage asset(s), noting that change does not necessarily equate to 'harm'. Therefore, the weight to be applied by the Council must be proportionate to the status of the affected heritage asset and the nature of the proposed change.

This Heritage Statement aims to provide the evidence to appropriately balance consideration of the Current Proposals in accordance with the requirements of the 1990 Act. No harm has been found as there are deemed to be no material



designated heritage assets affected by the proposals. Despite this, planning and design improvements have been evidenced within this report.

## 8.2 National Planning Policy Framework (NPPF) (2023)

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The policies in the National Planning Policy Framework (NPPF) constitute the Government's view of what sustainable development means in practice. The definition requires development to give due weight to the appropriate conservation of heritage assets in order to be defined as sustainable development.

In accordance with the legislation, the NPPF's core principles, which underpins decision-taking, requires that Planning decisions should contribute to conserving designated heritage assets in a manner proportionate to their significance, so that they can be enjoyed for their contribution to the quality of life of this and future generations. In this instance the 'designated heritage asset' is the named Conservation Area.

The NPPF stresses that "great weight" should be given to the conservation of designated heritage assets, emphasising that the more important the asset, the greater that weight should be. The need to avoid "substantial harm" to such assets is outlined in terms of: demolition, alteration, or the compromise of its setting.

### Key Relevant Policy

**Part 16** of the NPPF details policies for the conservation and enhancement of the historic environment. It states that heritage assets are an irreplaceable resource and should be conserved in a manner appropriate to their significance, so that they can be enjoyed by future generations.

**Paragraph 200** states that:

*"In determining applications, local planning authorities should require an applicant to describe the significance of any heritage assets affected, including any contribution made by their setting. The level of detail should be proportionate to the assets' importance and no more than is sufficient to understand the potential impact of the proposal on their significance...."*

**Paragraph 203** says that in determining applications, local authorities should take account of:

- a) *the desirability of sustaining and enhancing the significance of heritage assets and putting them to viable uses consistent with their conservation;*
- b) *the positive contribution that conservation of heritage assets can make to sustainable communities including their economic vitality;*
- c) *the desirability of new development making a positive contribution to local character and distinctiveness.*

**Paragraph 205** says:

*"When considering the impact of a proposed development on the significance of a designated heritage asset, great weight should be given to the asset's conservation (and the more important the asset, the greater the weight should be). This is irrespective of whether any potential harm amounts to substantial harm, total loss or less than substantial harm to its significance."*

**Paragraph 206** says that "any harm to, or loss of, the significance of a designated heritage asset, including from development within its setting, should require clear and convincing justification".

**Paragraph 208** says "where a development proposal will lead to less than substantial harm to the significance of a designated heritage asset, this harm should be weighed against the public benefits of the proposal, including where appropriate, securing its optimum viable use".





### Response to NPPF Considerations:

Rather than respond in isolation to each individual section of the NPPF, we have taken a holistic approach to our response to policy throughout the production of this report and we have looked carefully at all material considerations of relevance to the site and the proposals. We have carefully reviewed the proposals and considered to what degree the asset, in this case the Conservation Area and listed building are materially affected. Our conclusions, which, are evidence-based (and therefore as objective as possible) are in the spirit of the principles of the NPPF.

As recommended by NPPF, an assessment of the significance of the heritage asset has been provided as part of the application. The assessment is proportionate to the importance of the assets being considered. An assessment of impact has been undertaken considering the potential for the proposals to impact the Conservation Area.

To identify the heritage values and the character of the site, a thorough analysis was undertaken in the first few sections of this report. The proposals have been carefully designed to be sympathetic to the heritage values and remaining historic features of the existing building.

### 8.3 Local Policy:

#### Richmond Local Plan:

London Borough of Richmond upon Thames Council adopted a Local Plan for the Borough in July 2018, which replaced the previous policies within the Core Strategy and Development Management Plan. The Plan sets out policies and guidance for the development of the borough until July 2033 or until it is superseded.

Section 4.3 deals with "Designated Heritage Assets" and states:

#### **Designated Heritage Asset**

A. The Council will require development to conserve and, where possible, take opportunities to make a positive contribution to, the historic environment of the borough. Development proposals likely to adversely affect the significance of heritage assets will be assessed against the requirement to seek to avoid harm and the justification for the proposal. The significance (including the settings) of the borough's designated heritage assets, encompassing Conservation Areas, listed buildings, Scheduled Monuments as well as the Registered Historic Parks and Gardens, will be conserved and enhanced by the following means:

1. Give great weight to the conservation of the heritage asset when considering the impact of a proposed development on the significance of the asset.
2. Resist the demolition in whole, or in part, of listed building. Consent for demolition of Grade II listed buildings will only be granted in exceptional circumstances and for Grade II\* and Grade I listed buildings in wholly exceptional circumstances following a thorough assessment of the justification for the proposal and the significance of the asset.
3. Resist the change of use of listed buildings where their significance would be harmed, particularly where the current use contributes to the character of the surrounding area and to its sense of place.
4. Require the retention and preservation of the original structure, layout, architectural features, materials as well as later features of interest within listed buildings, and resist the removal or modification of features that are both internally and externally of architectural importance or that contribute to the significance of the asset.
5. Demolitions (in whole or in part), alterations, extensions and any other modifications to listed buildings should be based on an accurate understanding of the significance of the heritage asset.
6. Require, where appropriate, the reinstatement of internal and external features of special architectural or historic significance within listed buildings, and the removal of internal and external features that harm the significance of the asset, commensurate with the extent of proposed development.
7. Require the use of appropriate materials and techniques and strongly encourage any works or repairs to a designated heritage asset to be carried out in a correct, scholarly manner by appropriate specialists.
8. Protect and enhance the borough's registered Historic Parks and Gardens by ensuring that proposals do not have an adverse effect on their significance, including their setting and/or views to and from the registered landscape.
9. Protect Scheduled Monuments by ensuring proposals do not have an adverse impact on their significance.



Of listed buildings specifically, the policy states:

4.3.8 Heritage assets are irreplaceable and ill-conceived proposals can cause irreversible damage to the character and distinctiveness of the borough's high quality townscape and landscape. Therefore the partial or full demolition of a designated heritage asset, or its alteration, will only be considered acceptable where full justification has been provided to demonstrate that any harm or loss has been carefully weighed up against wider public benefits that might result from the proposal.

- Substantial harm to, or loss of, a Grade II listed building, Park or Garden should be exceptional.
- Substantial harm to or loss of designated heritage assets of the highest significance, notably Scheduled Monuments, Grade I and II\* listed building, Grade I and II\* Registered Parks and Gardens should be wholly exceptional.
- Insensitive alterations to, or extensions to neighbouring developments of, listed buildings will not be allowed.

4.3.9 Listed buildings are best used for their original purpose and therefore the Council will resist the change of use of a listed building where this would harm its significance in relation to heritage interest and character. It is acknowledged that there may be circumstances where the original use has become obsolete and there may be cases where a change of use may be the only viable option to keep the designated heritage asset in active use. In such instances, the Council will take into account the desirability of sustaining and enhancing the significance of the heritage asset and putting it to a viable use consistent with its conservation. Where a change of use may be appropriate, sensitive adaptation of a historic building can be possible but the onus will be on the applicant to justify the new use and to demonstrate how the benefits outweigh the harm of departing from other planning policies if applicable. Any proposed development, additional structures or buildings within the setting of the designated heritage asset, must only be the minimum necessary to secure the asset's long-term future. The applicant will also have to demonstrate that the new use will be compatible with the fabric, exterior, interior and setting of the designated heritage asset, and that it will not detract from other evidential, historic, aesthetic or communal heritage values.

4.3.10 It is acknowledged that some proposals may require residential development to support the restoration and reuse of designated heritage assets; however, such proposals must have benefits that outweigh the disbenefits of departing from other planning policies. The proposed development must be the minimum necessary to secure the designated heritage asset's long-term future.

Whilst this policy broadly echoes the sentiments and definitions set-out by the NPPF, however, the policy is borough-specific and indeed is very relevant to these application proposals.

We believe that the design proposals are in line with all of the Council's conservation-based policy as the site's heritage constraints have been considered from the outset of the project.

## 9 CONCLUSIONS

A summary of the report is below:

- 3 Montpelier Row is a grade II\* listed Georgian terraced dwelling house located on the attractive Montpelier Row in Twickenham. The properties date from circa 1720, the work of a required naval captain who also undertook development on nearby Sion Row. Both roads are well-celebrated for their simple but highly effective Georgian detailing.
- The property is also contained within the Twickenham Riverside Conservation Area, however, the proposals are deemed to have very little impact upon this conservation area due to the fact that the proposals are contained to the interior of the property and its rear which is enclosed by boundary walls.
- The applicant has recognised the importance of undertaking investigations and analysis necessary for the assessment of the effects of the proposed works on the special interest of heritage assets. This approach has been both beneficial regarding the consideration of alternatives and important regarding the process of acknowledging the best practice guidance as outlined in NPPF. Critically, the proposals will keep the building on optimal viable use, a principle at the very heart of the NPPF's conservation management policy.
- No harm is caused to any designated heritage asset as a consequence of the application proposals. Nevertheless, balancing benefits have been identified as a consequence of the works proposed.
- It is considered that the impact of the proposals would not harm any designated heritage assets relevant to the site and it is therefore concluded that the proposed works satisfy the relevant clauses of the NPPF. These are consistent with the spirit of local policies and national conservation principles and therefore there should be a presumption for its approval.



## APPENDIX 1 – SPECIALIST PAINT REPORT

1

### 3, MONTPELIER ROW

TWICKENHAM



Paint samples were taken from the Stairs leading to the basement  
and also, from the ground floor Lavatory.

This was done to find out how much is original and how much has been altered,  
or added, since the rooms were built.

For the list of samples and the examination procedure see p.9



## STAIRS TO BASEMENT

These stairs have had changes made to them on four occasions.

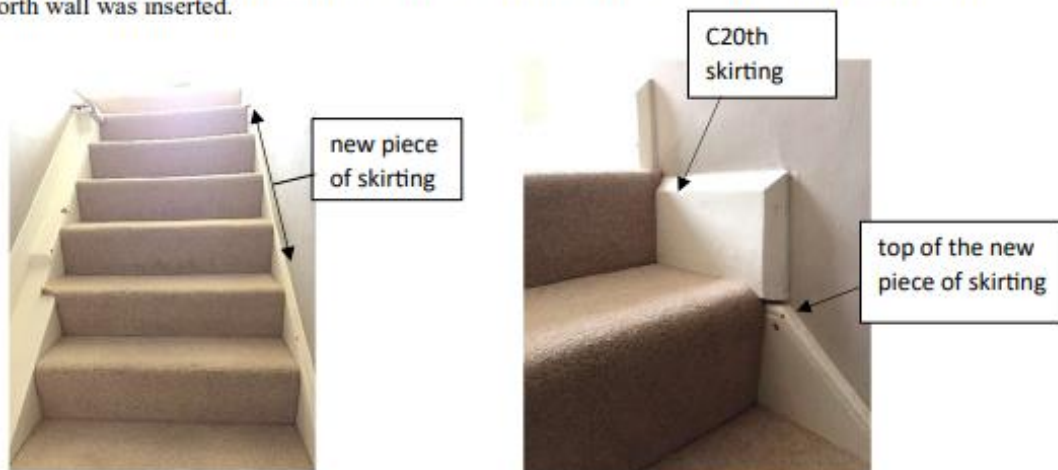
The top five steps and the landing are certainly original, because the paint layers on them match those used for the stairs leading up to the first floor. When these stairs were built, they were painted a dark brown colour [Sample A4, p.6].



### First change

Second half of nineteenth-century?

This involved work on the north wall. The section of skirting seen today at the top of the stairs on that north wall was inserted.



The paint samples taken from that new bit of skirting show that three, possibly four, lots of early paint layers are missing, so it is not original [see Samples 4 & 11. p.6].

Following that work, the skirting went on to be painted six times with lead-based paints, so a date of later nineteenth-century for this change to have taken place, would fit.





3

**Second change**

Early C20th

This involved the addition of the hand rail carved to look like a stick of bamboo



This item has just two lots of lead paint on it, which suggests the work took place in the first half of the twentieth century [Sample A20, p.6].

**Third change**

Second half of C20th

The bottom half of the stairs was built as we see it today. The change took place when the stairs had already been twice decorated with paints containing titanium dioxide white, a pigment first used widely for house paints after circa 1950.

The work also involved lining the walls with some kind of plasterboard and fitting new skirting on both sides of the Stair [Sample A13, p.7].



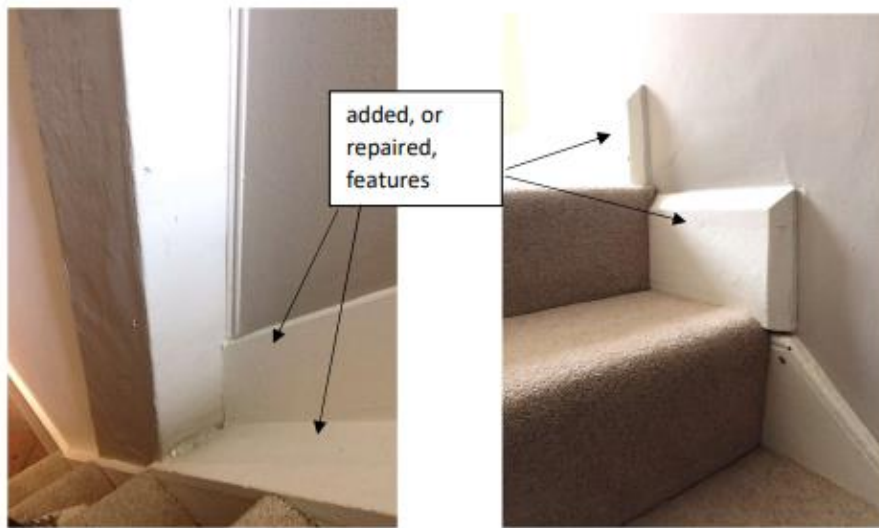


**Most recent change**

Adding the square-shaped skirting boards on the ground floor landing and some details to the skirting at the base of the stairs on the south side, were the last changes to be made to the Stairs [Sample A5, p.7].

base of south wall of stair

top of north wall of stair





## GROUND FLOOR LAVATORY

The room was built in the nineteenth-century, but with the exception of the door architraves, nothing has survived from that period [see Sample B5, p.8]. [note – the window was not examined].

The room, as seen today, was created in the early, or middle part of the twentieth century

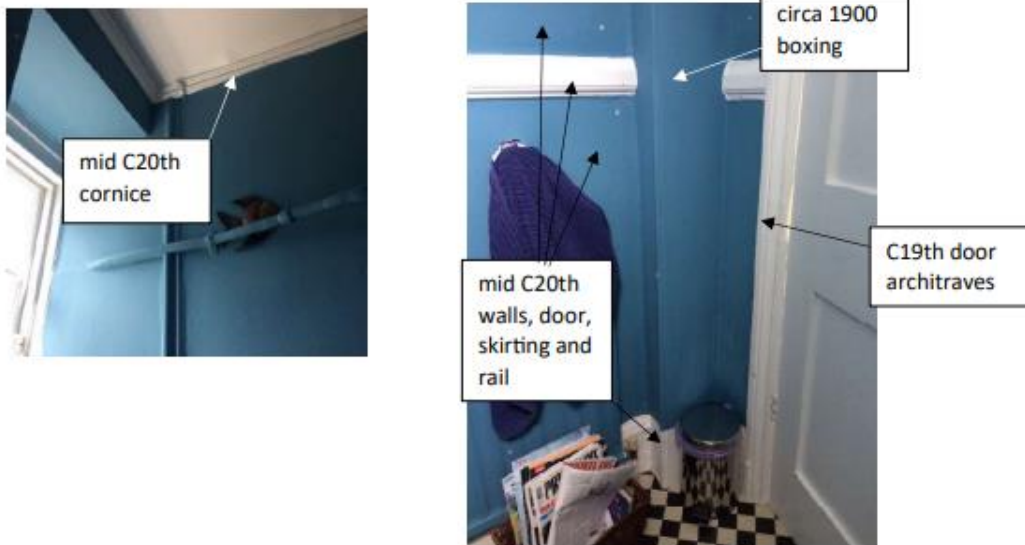
### Early twentieth-century boxing

The boxing in the SE corner of the room predates the major change. The wood has four lots of lead-based paint on it, and so is likely to have been inserted around the turn of the twentieth century.

### Creation of the present room in the mid twentieth century

The walls were completely replastered and then coated with lining paper. The present dado rails and skirtings were fitted, and a new door inserted.

The paints used once the work was complete, was the last paint scheme based on lead white and so a date of 1930s or 40s is likely, particularly as some areas involved an undercoat containing zinc white. It was certainly no later than 1950.



On completion of the work, the door, door architraves, skirting boards and cornice were painted dark brown [see Sample B3, p.8].

The dado rail and wall below the rail were painted an off-white. The wall above the dado rail was painted light blue

Since then, the room has been painted five times, always in neutral tones.



**BASEMENT STAIRS**

6

**SAMPLE A4**

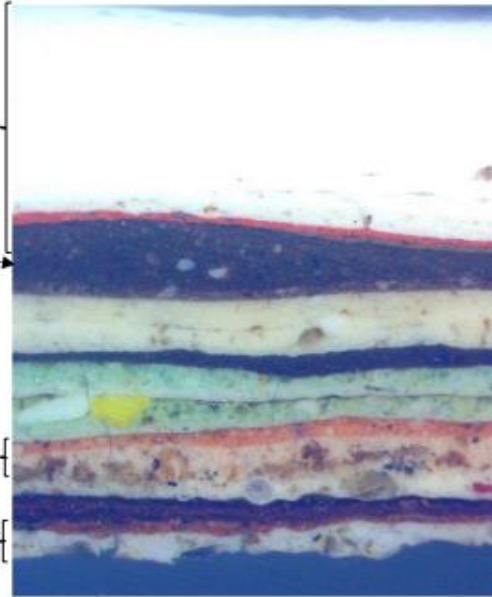
Original skirting near top of south wall

post-1950 paints

last lead-based paint

4<sup>th</sup> paint

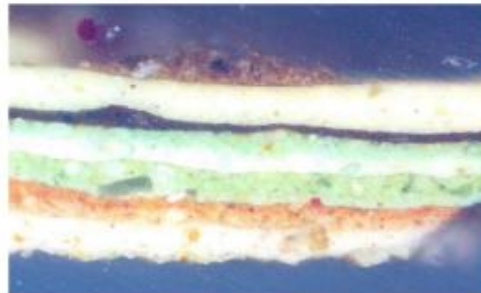
original brown



**SAMPLE A11**

Skirting near top of north wall

Comparing this to A1 above we can see that three early layers are missing and the sequence starts with the 4<sup>th</sup> scheme. This is therefore a later addition or repair.



**Fragment (ii)**

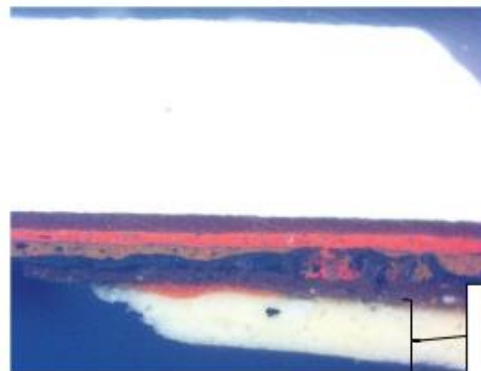
with wood & first paint



**SAMPLE A20**

Hand rail

This has even fewer layers, only one of which is lead-based.



1<sup>st</sup> paint on the rail





7

**SAMPLE A13**

Skirting at base of stairs

Fragment (i)

Upper layers

At least 5 white layers, all based on titanium white



Fragment (ii)

Wood and first layers

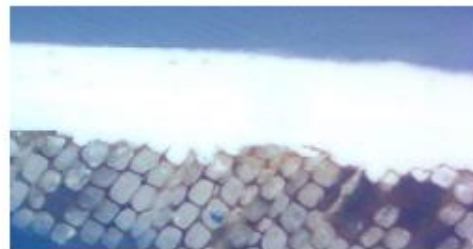
the first paint on the wood has a pink primer containing titanium white



**SAMPLE A5**

Section of skirting just above the post at the base of the stairs

This has even fewer layers than Sample A13 above and must be a very recent repair





**GROUND FLOOR LAVATORY**

**SAMPLE B5**

Door architrave

Fragment (i)  
upper layers

post-1950  
paints based on  
titanium white

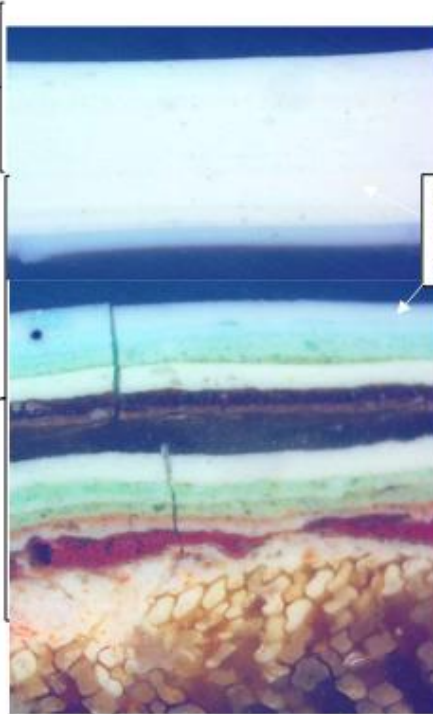
Fragment (ii)  
wood and early layers

At least nine lots of  
lead-based paint, so this  
architrave is C19th

The final lead paint has  
a top coat based on zinc  
white, widely used in  
middle years of C20th

paints based on  
lead white

paint  
containing  
zinc white

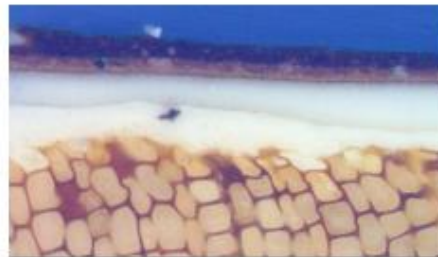


**SAMPLE B3**

Skirting

Fragment with early layers  
only

The brown

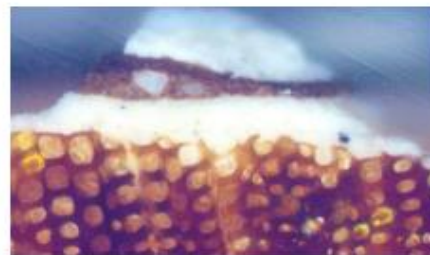


**SAMPLE B11**

Cornice

Fragment with wood & first layers

Without the zinc-based layers, but  
otherwise, the same as B3 above





**BASEMENT STAIRS**

9

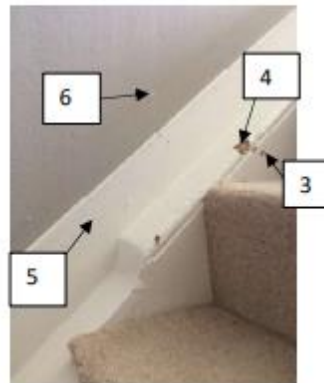
**Bottom of stairs - south side**

- A1 bottom section of skirting
  - A2 flat top of skirting
  - A3 side of post
- A9 section of re-used panelling on stairs soffit level with post [not photographed]



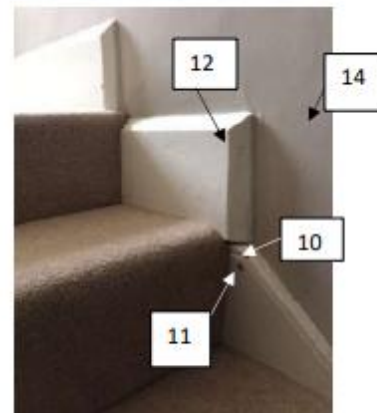
**Middle of stairs – south side**

- A3 board of older skirting
- A4 side of older skirting
- A5 board on wall at side of skirting
- A6 wall



**Top of stairs – north side**

- A12 skirting by top steps
- A10 moulding of older skirting  
A11 board of older skirting  
A14 wall



**Middle of stairs – north side**

- A13 more recent skirting on lower part of wall





10

**Top of stairs – south side**

- A15 older part of lid
- A16 stairs post
- A17 side of stringer
- A18 skirting
- A19 side of infill panelling
- A20 bamboo shaped rail
- A21 more recent part of lid



Basement samples taken for comparison

- A22 door to cellar on west side
- A23 shutter of window in east wall

**GROUND FLOOR LAVATORY**

- B1 dado rail on east wall
- B2 skirting on east wall
- B4 door
- B5 door architrave
- B6 boxing around ?pipework
- B8 lead pipe below cistern [not shown]
- B19 east wall above dado rail
- B10 east wall below dado rail





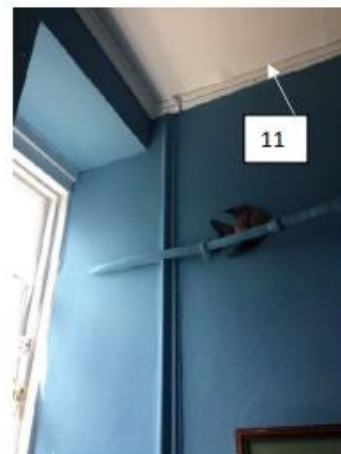


11

- B3a moulding of skirting to right of door
- B3b board of skirting to right of door



- B11 cornice moulding, north wall



Examination.

The pieces were examined under low magnification and then several fragments were mounted in cold-setting polyester resin to be cut and polished as cross-sections.

The layers were compared, and key pigments were identified in dispersion using a polarising light microscope.

A chemical test for lead was carried out on representative sections.