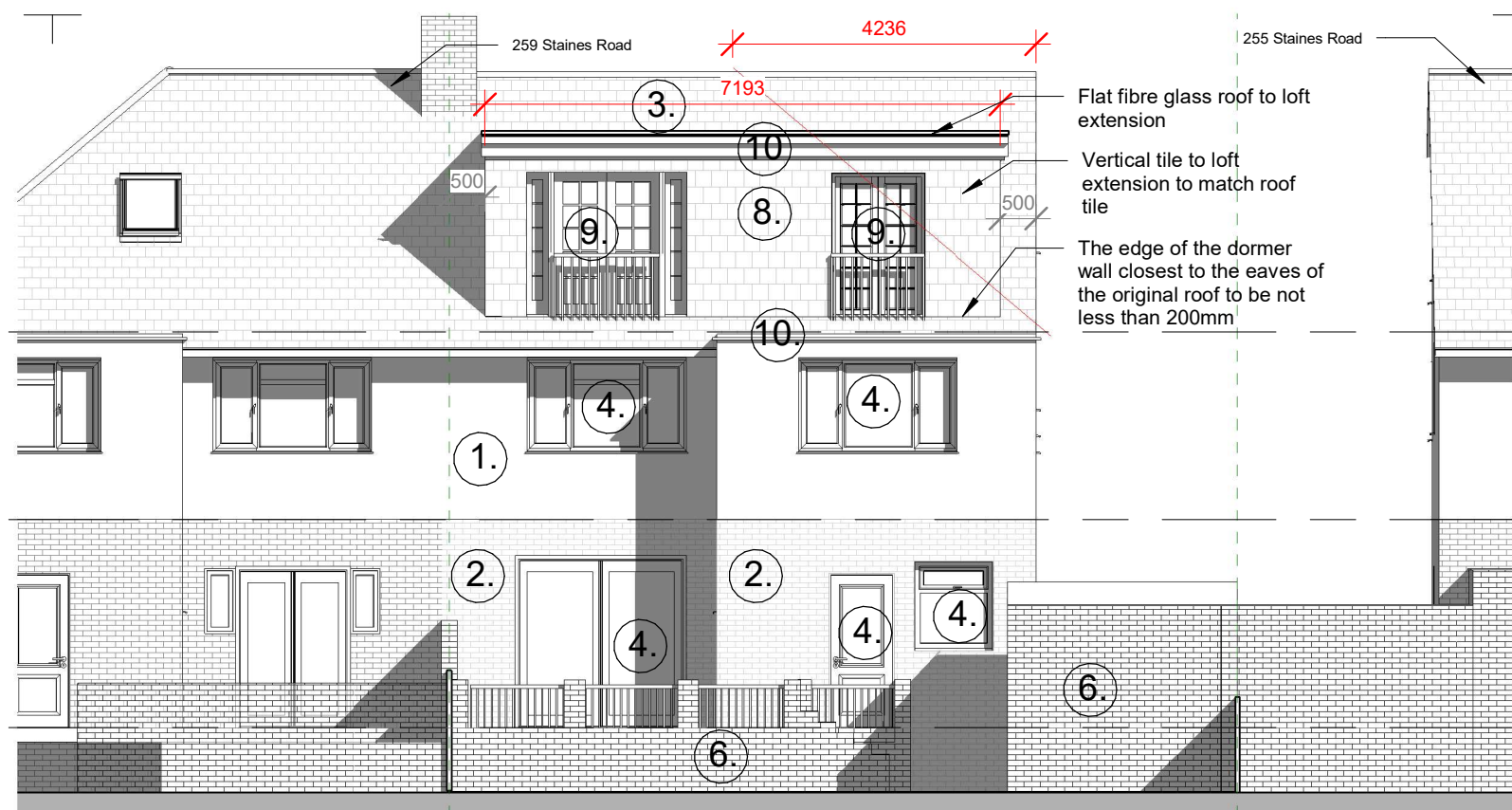
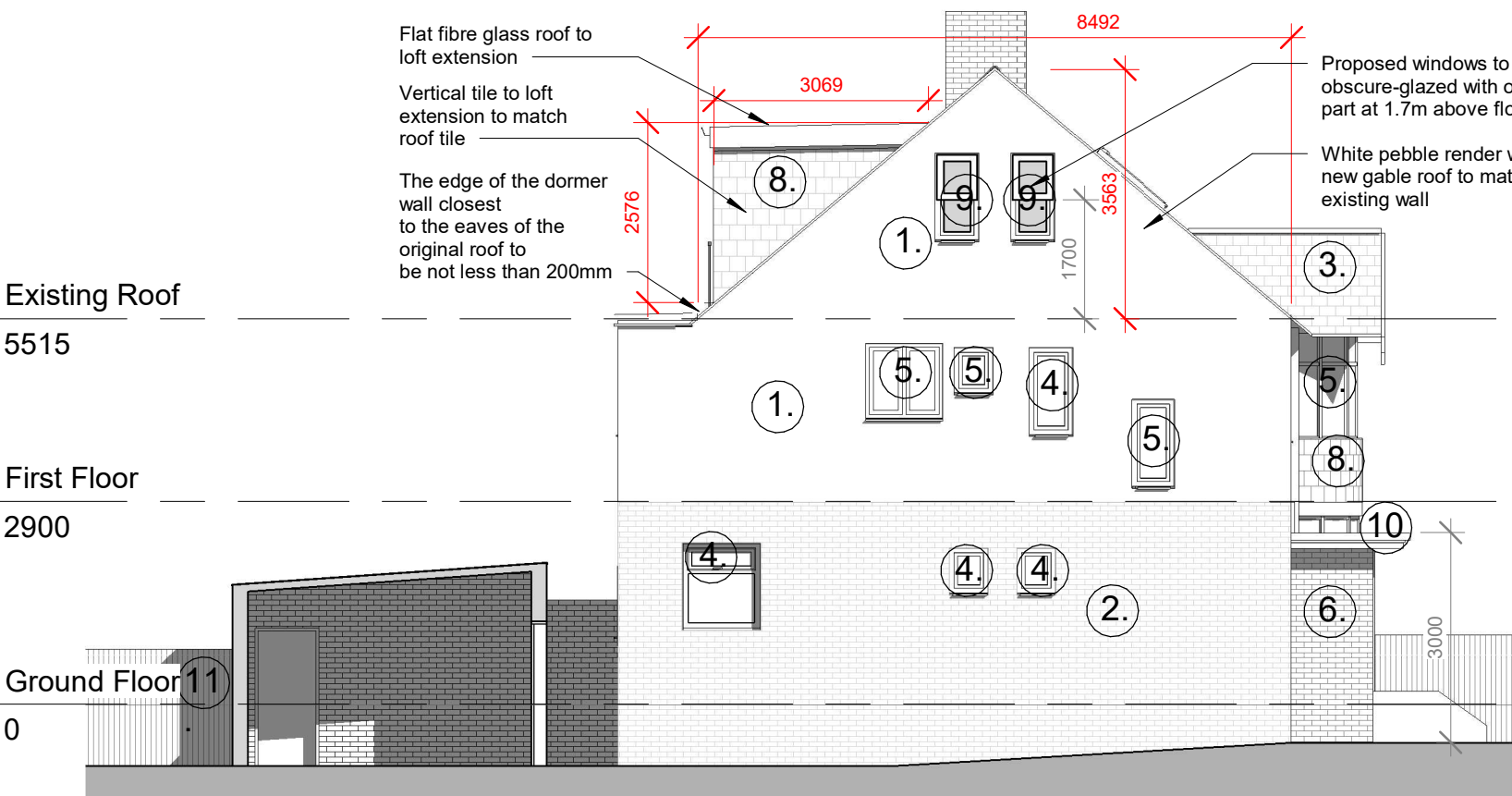


1 Proposed Front Elevation (as existing)
1:100



3 Proposed Rear Elevation
1:100



2 Proposed Side Elevation
1:100

MATERIAL KEY:

1. White pebble render
2. White painted brick
3. Roof tiles
4. White UPVC windows and doors
5. Timber windows and doors
6. Brown brick
7. Rooflight
8. Vertical tiles
9. Chartwell green PVC doors and window
10. Flat roof
11. Timber fence and gate

PERMITTED DEVELOPMENT:

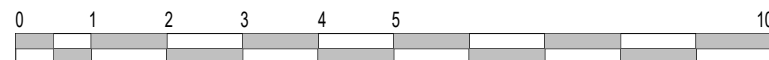
- The external materials of the proposed extension match the external materials of the original dwelling

LOFT CONVERSION VOLUME CALCULATION:

Hip to gable roof:
 $((8.492 \times 3.563) / 6) \times 4.236 = 21.36\text{m}^3$

Dormer:
 $((3.069 \times 2.576) / 2) \times 7.193 = 28.43\text{m}^3$

TOTAL VOLUME: 49.79m³



<div>Terrace Level</div>		<div>NOTES: All items, notes, dimensions and general design contained on this drawing are shown for guidance proposes. Nominated Builder or person responsible for the project should make a thorough check prior to commencement of works against the site, drainage services drawings, current Building Regulations, British Standards, Codes of Practice and appropriate manufacturers recommendations that from time to time shall apply. The Originator (Brooks Architecture) will not accept any liability for mistakes that could occur. Verify all dimensions on site before commencing any work, preparing shop drawings or before materials are ordered. Copyright exists on the designs and information shown on this drawing</div>	<div><div>BA</div><div>Brooks Architecture and Interior Design</div></div>	30 St Katherine's Road, Erith Tel. 07903495352 E-mail: renata@brooksarch.co.uk Web: www.brooksarch.co.uk	
				CLIENT Dmytro Oliinyk	
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				TITLE Proposed Elevations	DRAWING No PL09
				Rev	Date
		PROJECT 257 Staines Road, Twickenham, TW2 5AY		DRAWN RB	SCALE @ A3 1 : 100
		TITLE Proposed Elevations		PROJEC No 240620	DATE 13/09/24
		DRAWING No PL09			