

## **PLANNING APPLICATION CONSULTATION PERIOD RESPONSE**

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50°North Architects

Application ref: 24/2104/HOT

Address: 74 Wensleydale Road, Hampton TW12 2LX

Date of issue: September 2024

## ADDITIONAL INFORMATION

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This report is aimed at providing additional information for the application originally submitted 12<sup>th</sup> August 2024. The application is still live at time of writing and has received 1 objection and 1 observation. We are writing to provide additional photos, dialogue and other information to facilitate discussions with neighbours ahead of the case officer considering the design.

We and our clients feel that the case would be better considered with the thoughts of the neighbours and observations by the clients more specifically stated. We understand that neighbours have requested an extension of time and clarity on several matters, these are listed and tackled below.

### 1.0 Sunlight and daylight

Neighbours have suggested the proposals may affect daylight and sunlight to their property and to this end we would point out the orientation as this is critical to this discussion. See below:

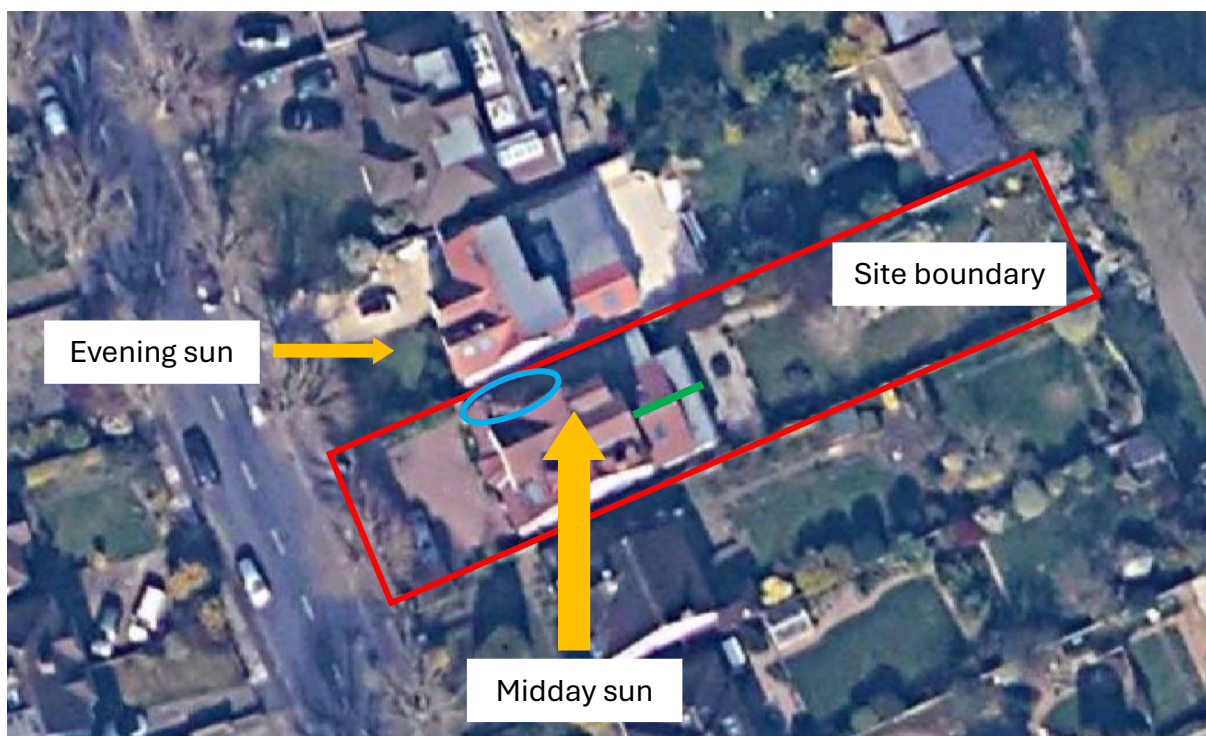


Fig 1

Our proposals are to amend the roof to the existing rear extension so that it has a dual pitch from one end to the rear elevation as above (see green line), and not a part pitched, part flat roof as exists today. This alteration does not affect sunlight in any way and should not be subject to a daylight study. This proximity to the boundary and the overall height of the apex does not constitute a daylight or overshadowing issue for the residents of No. 76 Wensleydale Road. This

amendment will enhance the aesthetic of the host property mirroring the aesthetics of No. 72 as built. In addition to the rear elevation changes we also propose to extend to the first-floor north elevation as below (extension highlighted in red):

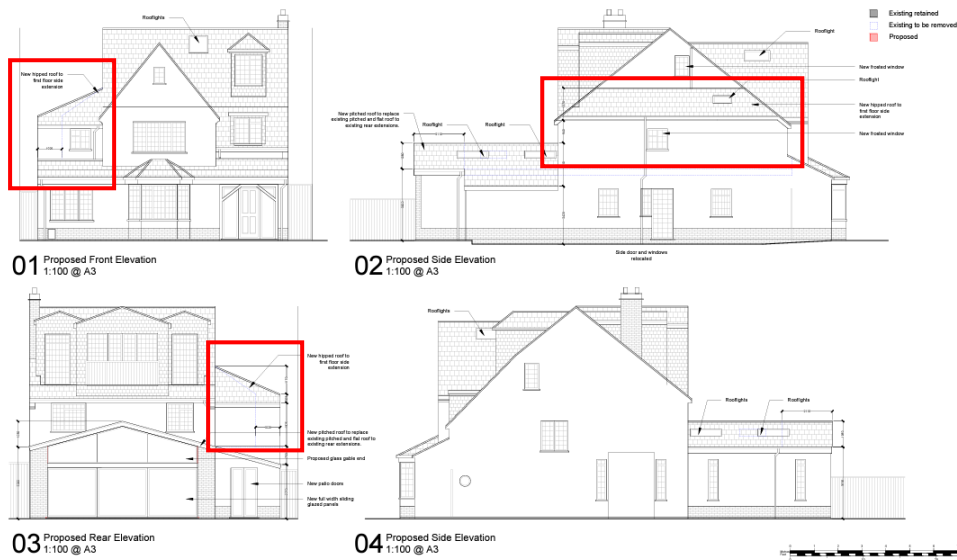


Fig 2

We have proposed an extension that is smaller than previous proposals for the same site (see Fig 4), and most crucially does NOT face any habitable rooms. In addition, we should point out that the adjacent elevation for No. 76 Wensleydale Road is set in from the boundary on their side while our proposals also feature an inset flank elevation, see Fig 3 for details of the site layout and relationship of each to the other – a gap of circa 1.3m exists to the boundary.

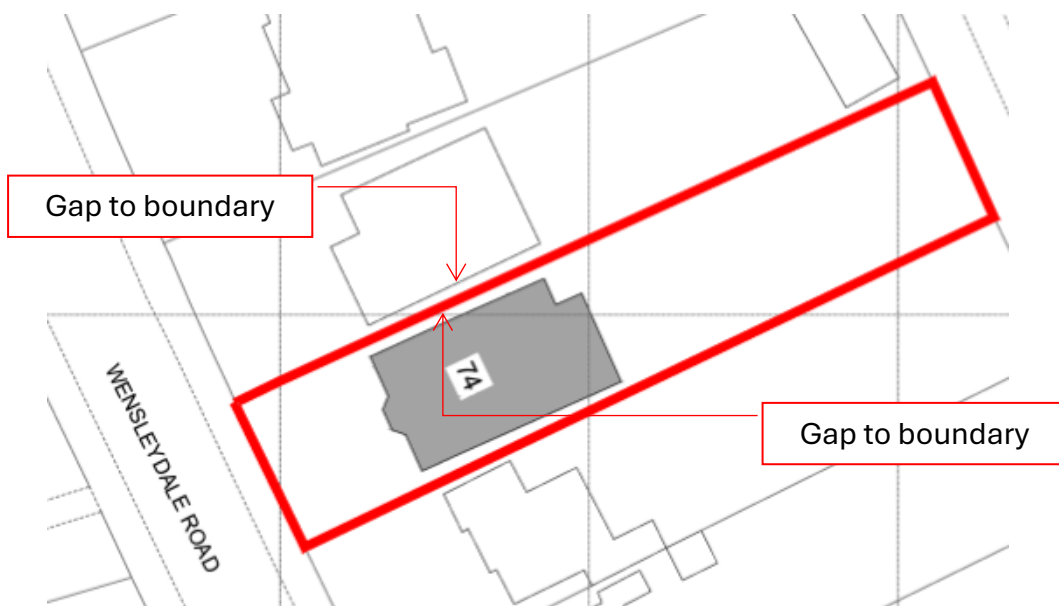


Fig 3



Fig 4 (15/3436/HOT)

Figure 4 above illustrates that **previous** proposals (15/3436/HOT from the previous owner in 2015) for the same site were both taller, less subservient and more impactful than our current proposal which encapsulates an existing first floor side extension and utilizes the wall below at ground floor. See fig 2 for the corresponding proposed elevations to the proposed plans shown below fig 5. On the following page we show the existing plans and elevations for the adjacent building at No76 with its flush elevation facing our site. Please note the lack of habitable windows in this elevation where there were previously habitable rooms compromised by the planning application.

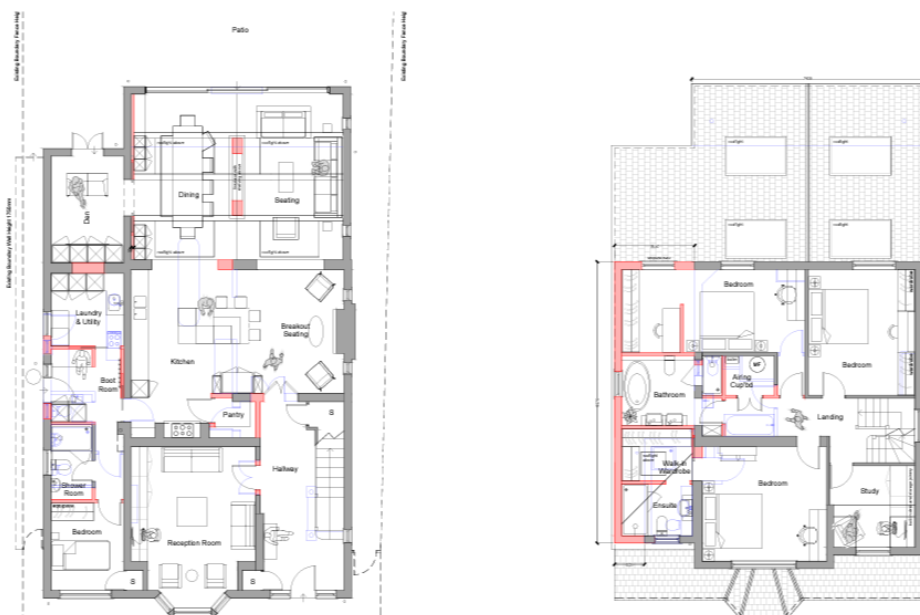


Fig 5

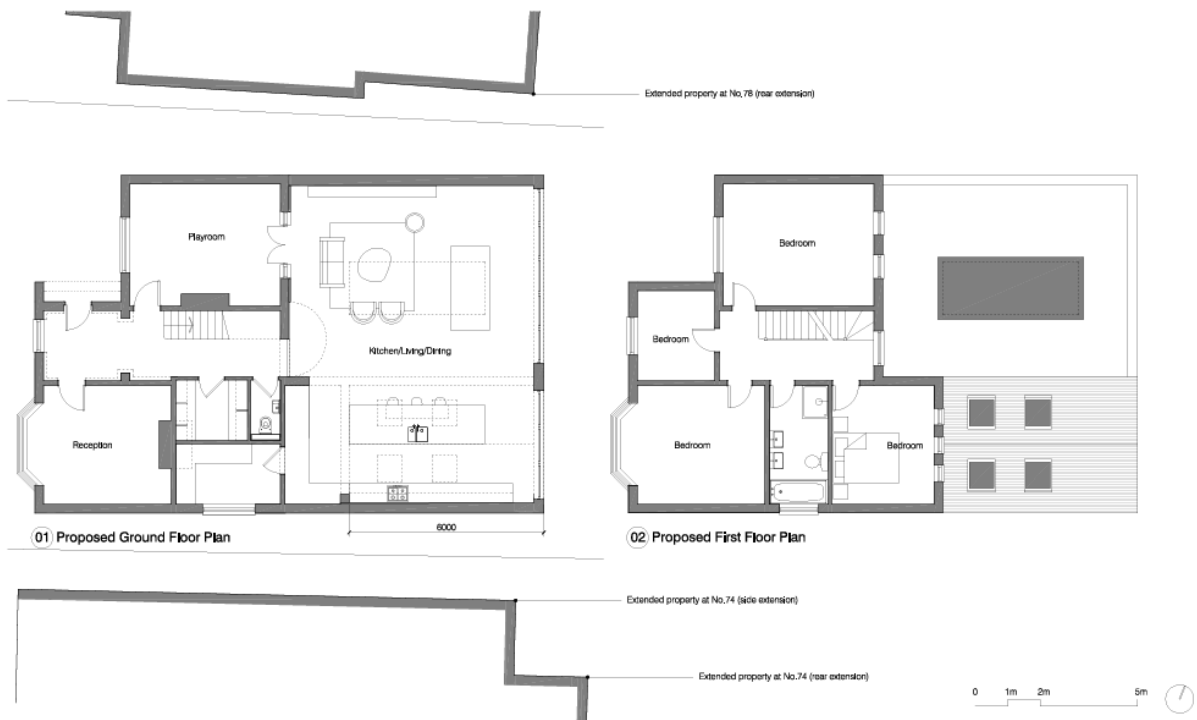


Fig 6 – No.76 existing floor plans



Fig 7 – No.76 existing elevations (relevant elevation highlighted)

In addition to our observations and comments above we would draw the officer's attention to the scale and type of development most recently approved along the street. The pattern of development has changed radically since the previous application for this property. Full width, 3 storey extensions are now the norm though we have steered clear of 3 storey extensions and excessive roof alterations. Our side facing elevation is stepped and subservient.



**Fig 8 – The east side of Wensleydale Road, development pattern**



**Fig 9 – The west side of Wensleydale Road, development pattern**

To conclude - These proposals have been drawn to much better respect the amenity of No.76 and address the reason for refusal of a much larger more imposing application back in 2015, submitted by the previous owners of our home. Since that time both neighbouring properties at No.72 and No.76 Wensleydale Road have undergone substantial redevelopment themselves. The habitable rooms previously assessed during the 2015 application at No.76 are no longer habitable rooms.

No74 was refurbished and extended several years ago by the previous owners (our clients moved in 2 years ago). They have found the quality of the works completed to be extremely poor and the design ill conceived. There exists a substantial amount of unnecessary flat roof which leaks and is a security threat, they were burgled last December.

Our purpose with this application is sensitive modifications to improve the living accommodation and light penetration into the house and reduce the volume of flat roof, whilst not adversely impacting our neighbours. Our clients have been in regular contact with their neighbours at No76 Wensleydale Road both before submission and during the consultation process. They understand what further information is required and have instructed us to ensure the case officer is comfortable with this proposal.

We have instructed a daylight sunlight assessment which will subsequently be shared next week. Our client is also happy for additional time to be given to help the neighbours at No.76.