



Proposal for internal refurbishment, replacement of the existing conservatory with a new single storey rear extension and reconfiguration of modern bay structures.

Heritage, Design & Access Statement

The Navigator's House,
River Lane, Petersham
TW10 7AG

September 2024

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1. Introduction

This document outlines the proposed works to The Navigator's House, which includes internal refurbishment works, the replacement of the existing conservatory with a replacement infill rear extension and the reconfiguration of the modern bay structures.

The existing building is a large two-storey plus cellar, semi-detached family home in the Petersham Conservation Area No. 6. The building is Grade II Listed and on a plot in excess of a third of an acre.

2. Assessment of the site and the area



Fig 01: Aerial view of the area - plot highlighted in red



Fig 02: Bird view of the area - plot highlighted in red

There are a number of other listed buildings in close proximity to the application site, notably The Manor House, Glen Cottage and Petersham Lodge. The Old Stables to the north and Rutland Cottage to the east are not listed but are included on the Council's local list as a Building of Townscape Merit. To the rear and west / south west of the site, inconspicuous from the wider area, are several new contemporary style houses (built 2004). The buildings along this side of River Lane are generally located on large wide plots with trees and garden planting providing them with well landscaped green surroundings, the buildings frequently partly obscured behind boundary walls, fences and hedges.

a. Conservation Area

The Petersham Conservation Area 6 includes the historic core of Petersham village, located between Richmond Park and the River Thames, on the route between Richmond and Kingston. It adjoins the conservation areas: No.5 Richmond Hill to the north, No.23 Ham House (no.23) to the west, and No.62 Richmond Park to the east. This conservation area was first designated in 1969 and later extended in 1982 to include Petersham Road south to Sandy Lane.

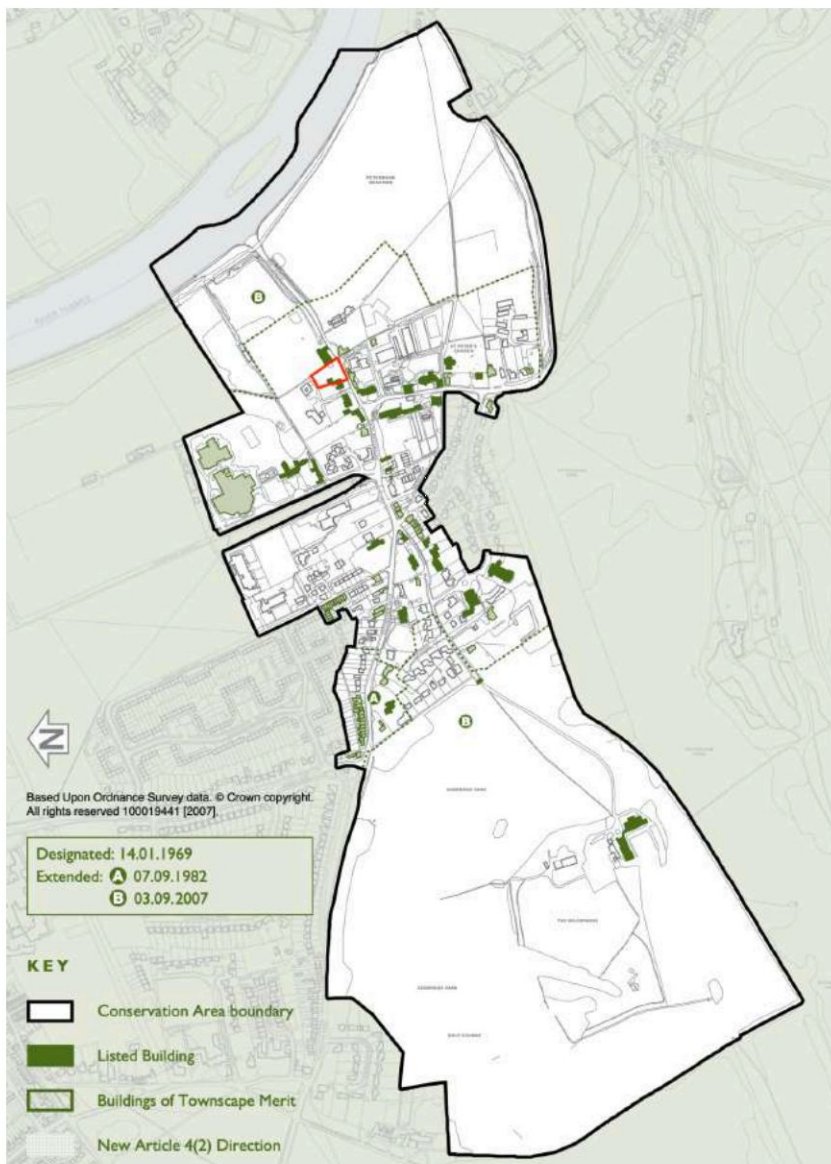


Fig 03: Petersham Conservation Area. Extract image from the Conservation Area Management Plan. Plot highlighted in red

Petersham village predates the Domesday survey and there is evidence of a settlement on the banks of the Thames in this location from at least the Saxon period, linked with Kingston-upon-Thames. It was originally a small agricultural village but in the 17th and 18th centuries it became a desirable location for rich and aristocratic people in connection with the development of Richmond as a fashionable retreat, linked to the Royal Court, from central London.

The view in the illustration "Prospect of Richmond" (1726) shows this bank of the river in the far distance with a few buildings scattered amongst trees and woodland.

Intensification of development occurred only gradually through the C19. Unlike Richmond, the railways never reached these villages and they did not experience a rapid expansion during the Victorian period. At this time the charms of the area continued to attract leading figures such as Charles Dickens and the architect George Gilbert Scott. The historic villages of Ham and Petersham have been supplemented by C20 development, Ham much more so than Petersham, and they are now joined.

Petersham clings to the main Petersham Road connecting Richmond and Kingston, forming the spine of this village. A number of smaller residential roads lead off Petersham Road including Sudbrook Lane, Sandpits Lane, Cedar Heights and River Lane, which winds gently down to the riverside connecting the village to the Thames. The surviving historic alleyways further contribute to the distinctive village character of this area, one flanking the site to the north.

b. Problems and Pressures

There are key problems in the area, to be taken into account in the design process of the proposal:

- Development pressure which may harm the balance of the landscape-dominated setting, and the obstruction or spoiling of views, skylines and landmarks.
- Loss of traditional architectural features and materials due to unsympathetic alterations, like the modern timber clad bay structures and outbuilding design at The Navigators House
- Loss of front boundary treatments and front gardens for car parking.
- Lack of coordination and poor quality of street furniture and flooring.
- Domination of traffic and poor pedestrian safety leading to clutter of signage and street furniture

The above points lead to great enhancement opportunities:

- Improvement and protection of landscape setting to preserve its quality.
- Preservation, enhancement and reinstatement of architectural quality and unity, mainly by using sympathetic materials and architectural details.
- Retain and enhance front boundary treatments and discourage increase in the amount of hard surfacing in front gardens.
- Coordination of colour and design and improvement in quality of street furniture and flooring.
- Improvement of highways conditions and pedestrian convenience, and rationalisation of existing signage and street furniture

c. Grade II Listed Building

The property is a Grade II Listed Building since 1983. The listing states the following:

- I. *The Navigator's House (Formerly listed as Craigmyle) TQ 1773 21/64*
- II. *Formerly one house with Glen Cottage (q.v. below) of C17 date, probably timber-framed and half H in plan. The Navigator's House is the right-hand wing, apparently raised in height. Three windows wide plus 2 modern semi-circular bays and other additions to right. Central first floor 2-light 'Gothick' window.*

d. Site History

The original part of the house, which is the element adjacent to Glen Cottage was once a single house with Glen Cottage and was built in the 17C as a single house named Craigmyle. The first mention believed to be in the manor rolls in 1675.

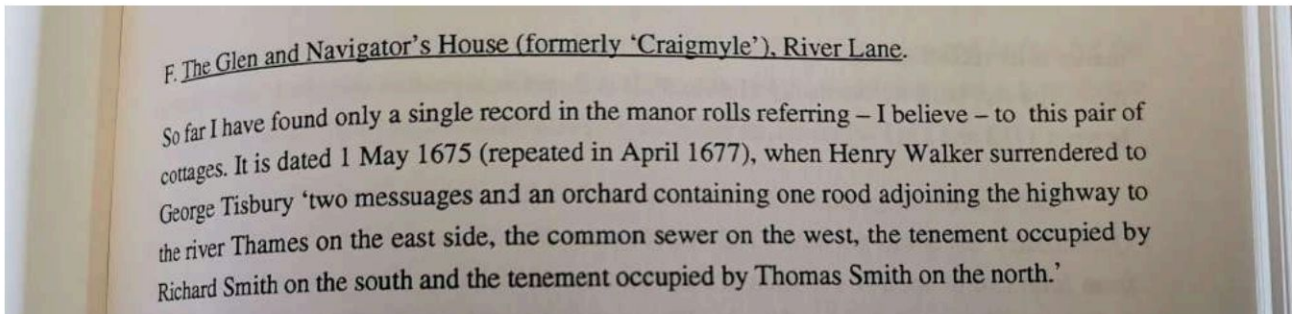


Fig 04: Manor rolls reference in 1994 Richmond History book

It is thought to be visible on the John Roque map of 1746, as a single house.



Fig 05: John Roque 1746



Fig 06: 17C part of the house The modern timber bays were constructed in the 1970s..



Fig 07: 1866 Ordnance Survey Map extract. Plot highlighted in red.

An Ordnance Survey map dated 1866 shows the plot split and a series of victorian extensions incl. two small rear extensions (since demolished),to the rear of the property.



Fig 08. 09, 10: Views of the Victorian element of the House (the middle and right hand images show the junction between the Victorian addition and the original 17C wing).

Note the possible entrance facing the street, with porch roof.



Fig 11: Image of brickwork below window on front elevation showing infill brickwork from earlier entrance door.

Two subsequent Ordnance Survey maps carried out in the 1897 and 1913 indicate a series of further subservient extensions added to the back of the house towards the end of the Victorian Era.

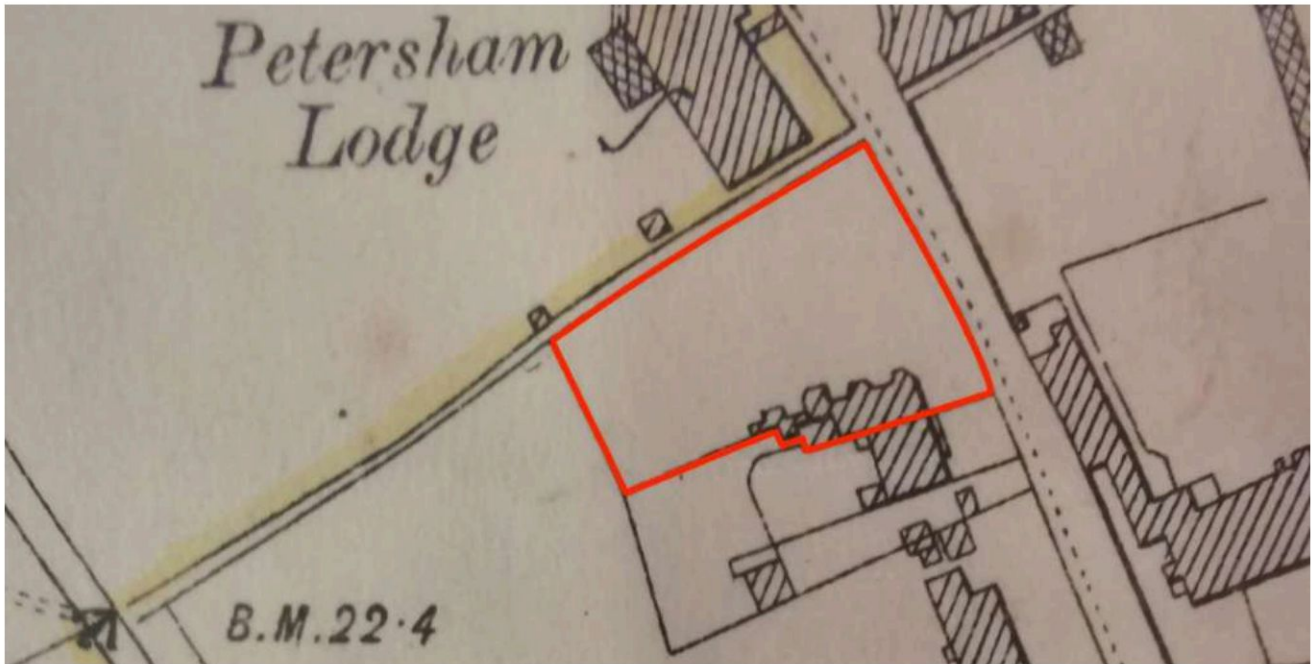


Fig 12: 1897 Ordnance Survey Map extract. Plot highlighted in red

Bays appear in the two maps dated 1866 and 1897 with evident differences in the shape and dimensions, which suggests that they were altered with the time.



Fig 13: 1907 photo of Glen Cottage

The photo above of Glen Cottage shows the likely form of what the original roof of the 17C wing would have been at The Navigators House (i.e the form shown on the left hand side of The Glen). It also shows the use of leadwork roofing on secondary structures and the earlier plain tile roofing finish.

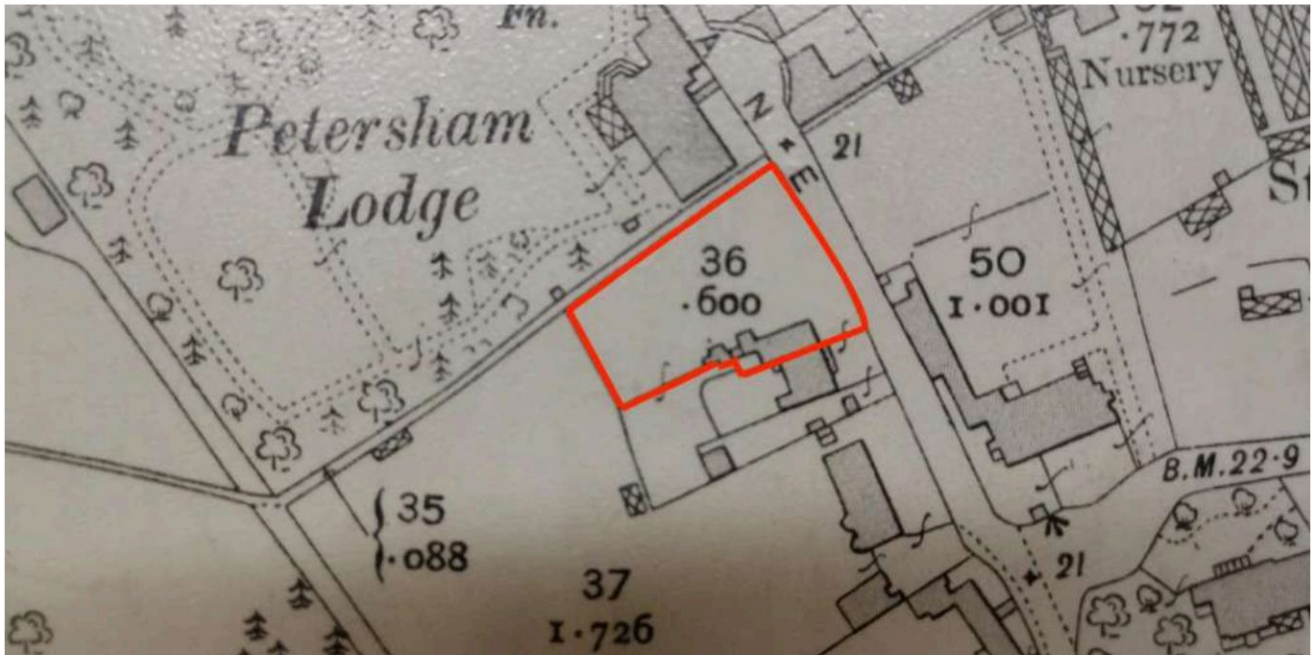


Fig 14: 1913 Ordnance Survey Map extract. Plot highlighted in red

In the 1913 map the bays are removed but otherwise it is as it was in 1897.

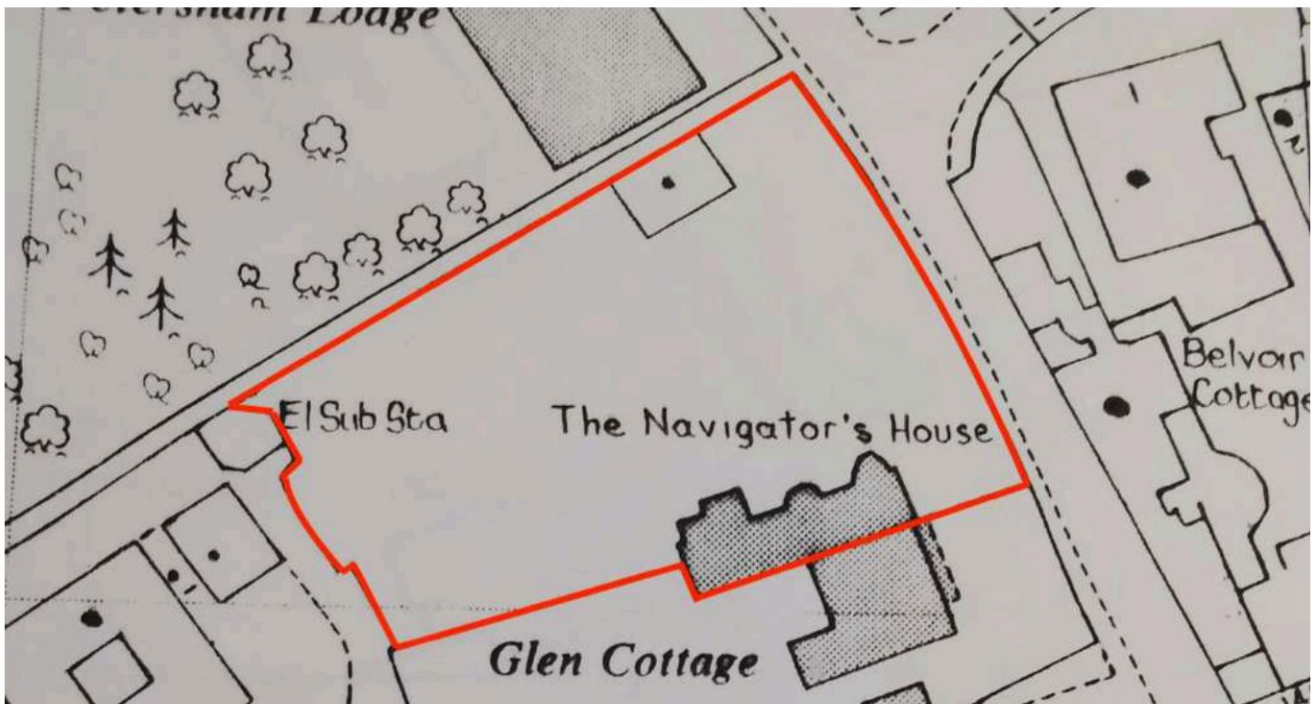


Fig 15: 1978 Ordnance Survey Map extract. Plot highlighted in red

In a more recent survey map dated 1978, the above mentioned rear outbuildings are modified and rationalised and the modern outbuilding appears (consented in 1971) on the other side of the site. Also, the two bay structures are rebuilt in their original location, although in a slightly different shape from 1897.



Fig 16: Side view of the modern bay structures. Note the use of slate roof which differs from the main roof and original plain tiles on Glen cottage. Further to that, the slate roof is at such a shallow angle it is only possible to weatherproof it with the use of sarking felt, a modern roofing material.



Fig 17, 18: Removal of the modern panelling and timber cladding in the bays exposes modern buildups behind.

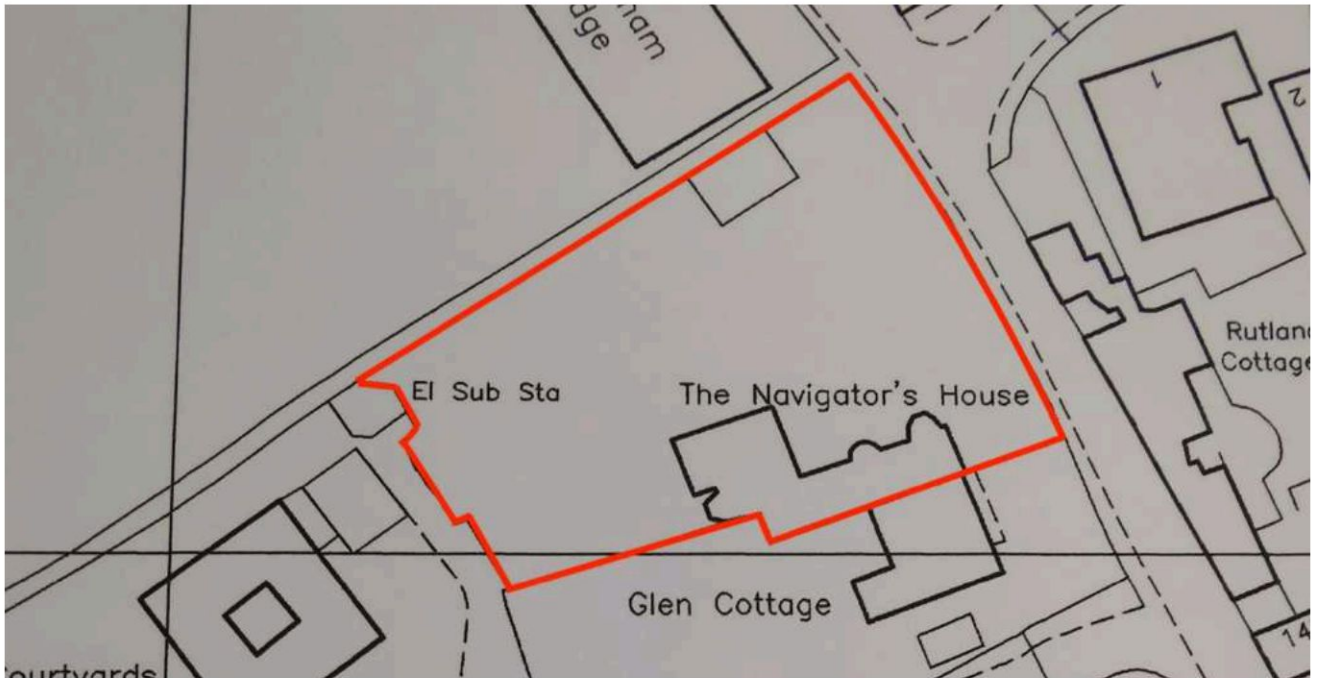


Fig 19: 2001 Ordnance Survey Map extract. Plot highlighted in red

The 2001 Ordnance Survey Map shows the house closer to its current shape, with the two-storey extension and the conservatory to the rear (both consented in 1990). The ground floor bay window to the rear extension and the two-storey timber structure at the corner, however, are not visible, added between 2001 and 2013.



Fig 20: View of the two-storey extension created in the 80s with the side entrance timber structure to the left added in the early 2000s.



Fig 21: View of the two-storey extension created in the 90s with the 17C wing in the background



Fig 22: Rear view of the 1990's extension and conservatory, to the top right of the image the victorian wing is visible.



Fig. 23, 24 : Note the use of modern cement pointing on the 17C wing.

e. Planning History

There are a few relevant applications, granted between the 1970s and the last decade, that have significantly changed the layout and fabric of the house.

- *APP-71/0537 granted on the 24/06/1971 : Erection of two-storey building comprising double garage, sauna and dressing room with study over.*

This is the first recorded application related to the outbuilding to the North of the plot, although its drawings are not available. It is also thought that the bays were added at this time,

- *APP-90/1016/LBC granted on the 29/08/1990: Demolition of existing kitchen and bathroom extension and erection of two storey side extension and conservatory:*

This is the oldest granted application available with relation to the main house, which brings the property to its current external layout.

- *APP-13/0548/LBC granted in 16/04/2013: Internal alterations to include removal of and new partitions, new fireplaces and radiators, and secondary glazing:*

The internal layout alterations involve both the ground and the first floor levels, which currently match the approved plans:

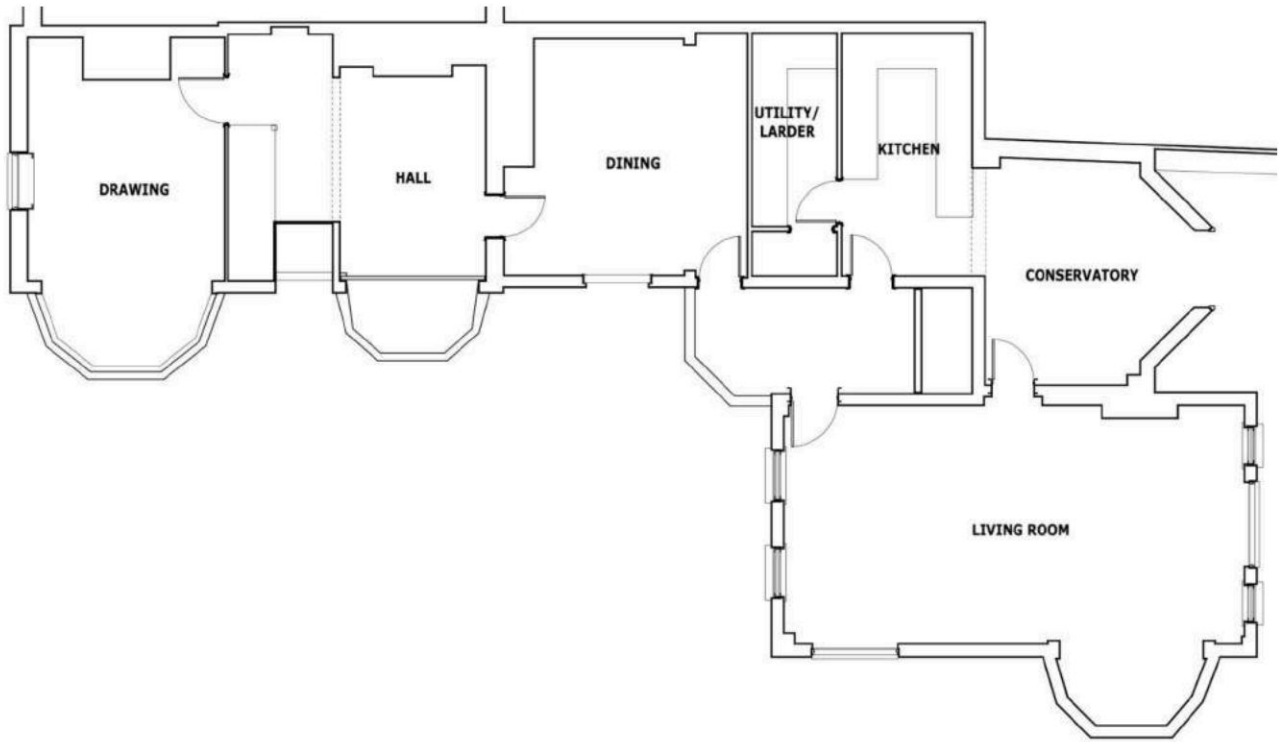


Fig 25: 2013 Planning Application Existing Ground Floor Plan

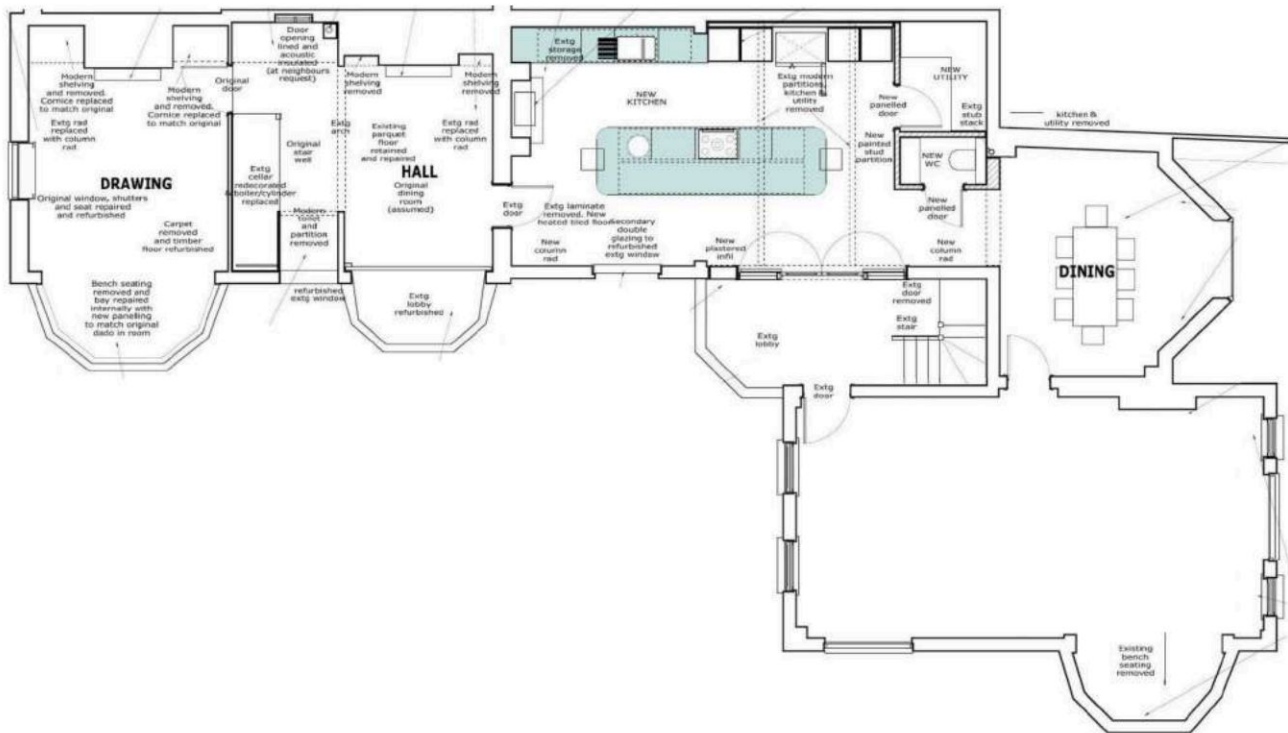


Fig 26: 2013 Planning Application Proposed Ground Floor Plan

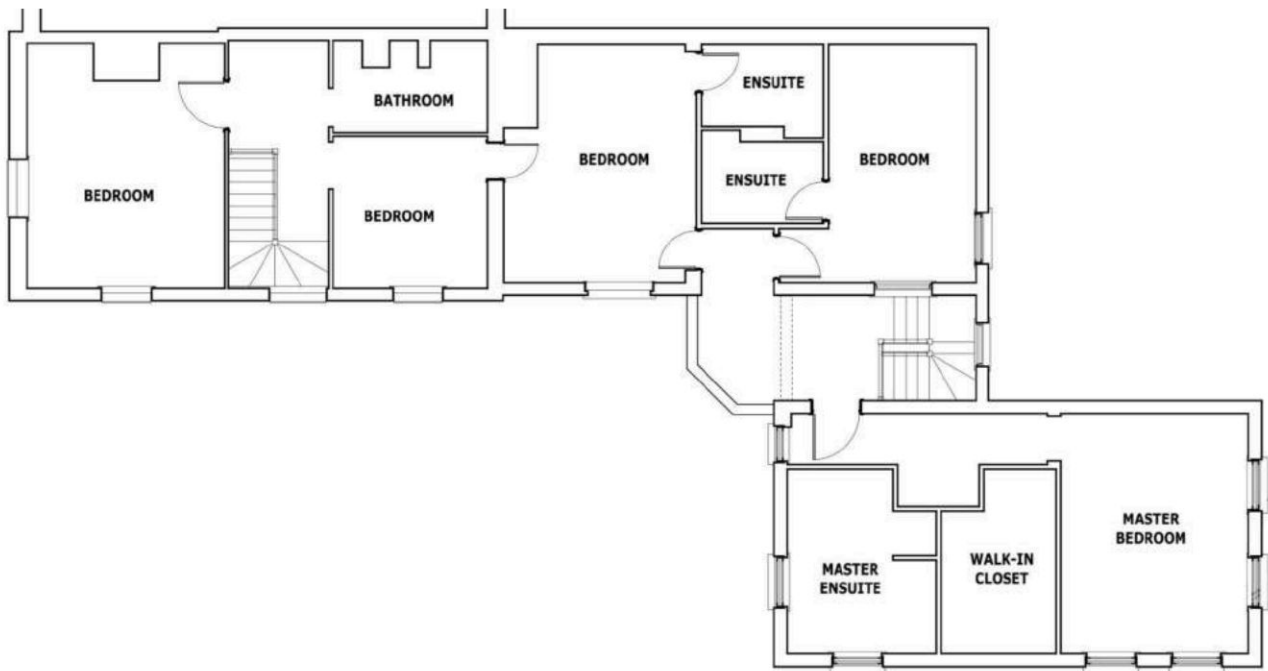


Fig 27: 2013 Planning Application Existing First Floor Plan

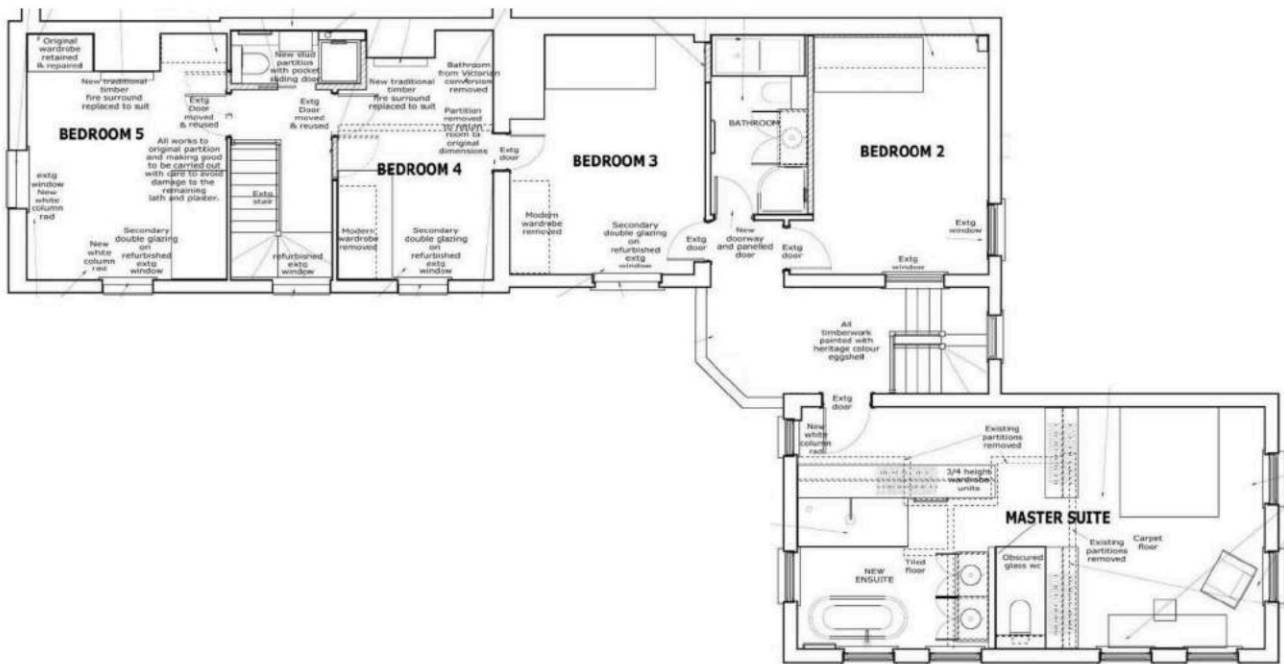


Fig 28: 2013 Planning Application Proposed First Floor Plan

- APP-13/1873/LBC granted in 29/07/2013: Extension of single storey conservatory on rear of property

The approved drawings show the replacement of the existing conservatory structure with a larger extension with a flat roof and a roof lantern which, however, has never been built.

- APP-13/2767/HOT granted in 05/11/2013: Extension to roof of garage block

The approved drawings of this application match the current layout of the outbuilding, with raised pitch on both sides of the roof.

- APP-23/0876/LBC granted in 18/05/2023: Replacement Fencing and Gates

This is the approval to replace the previous timber fence and gates with the ones currently installed along River Lane.



Fig 29, 30: Outbuilding and timber modern timber fencing

f. Site Historical Development and Overlays

Based on the findings above we have built up a historical overlay plan. The house is composed by an overlay of different historical eras: the east wing erected in the 17C, followed by the central part, built in the Victorian era. The bays were rebuilt (albeit in a different style) in the 1970s along with the addition of the outbuilding. The two storey extension rear conservatory, was added in 1990. The two storey bay and bay to the 90s extension were added between 2001 and 2013. The internal work carried out in 2013 included alterations and further loss of original fabric, by demolishing some partitions and creating new modern ones, along with the addition of aluminium framed secondary glazing.

Internally the principal building has been considerably altered and the building is significantly different from its origins.

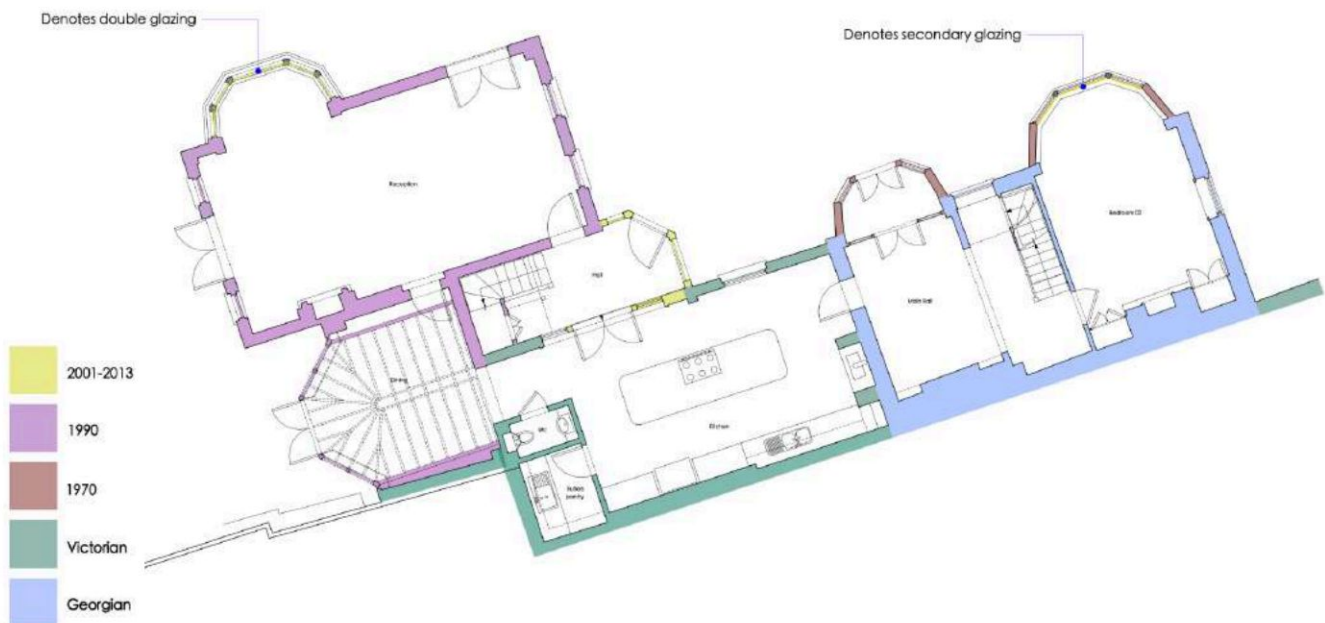


Fig 31: Historical Overlay Ground Floor Plan

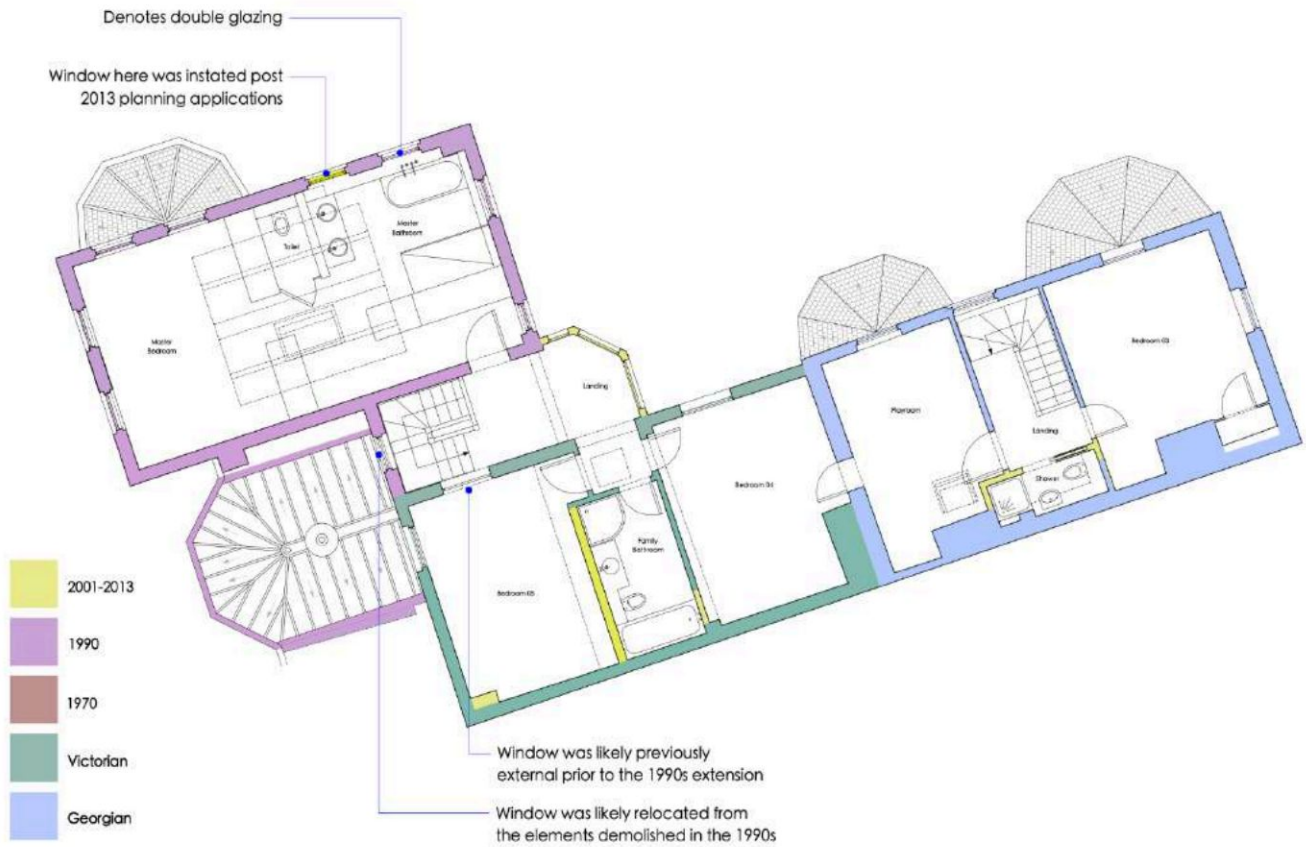


Fig 32: Historical Overlay First Floor Plan

g. Opportunities to enhance the significance of the heritage assets

The above analysis of the site and its history create great opportunities to enhance the heritage assets of the property:

- The reinstatement of traditional architectural features and materials
- The harmonisation of the facades by using sympathetic elements and details
- The reinstatement of doors and walls in original locations.
- Removal of cement mortar and reinstatement of lime mortar
- Removal of modern plasterboard and use of lath and plaster.

3. Development of the Design

a. Use

The property is currently used as a family home and it will remain the same use following the proposed alterations.

b. Design

The proposed works detailed below aim to enhance the authenticity of the building by replacing the modern additions created in the 70s and 90s and preserving its original fabric. The internal alterations proposed to the modern areas only, intend to meet the needs of the new family.

Basement

The proposal for the basement level is to maintain the modern concrete slab and the structural timber posts. The proposed joinery and partition, which includes a small utility room and a storage room, would fit around the posts, without affecting them.

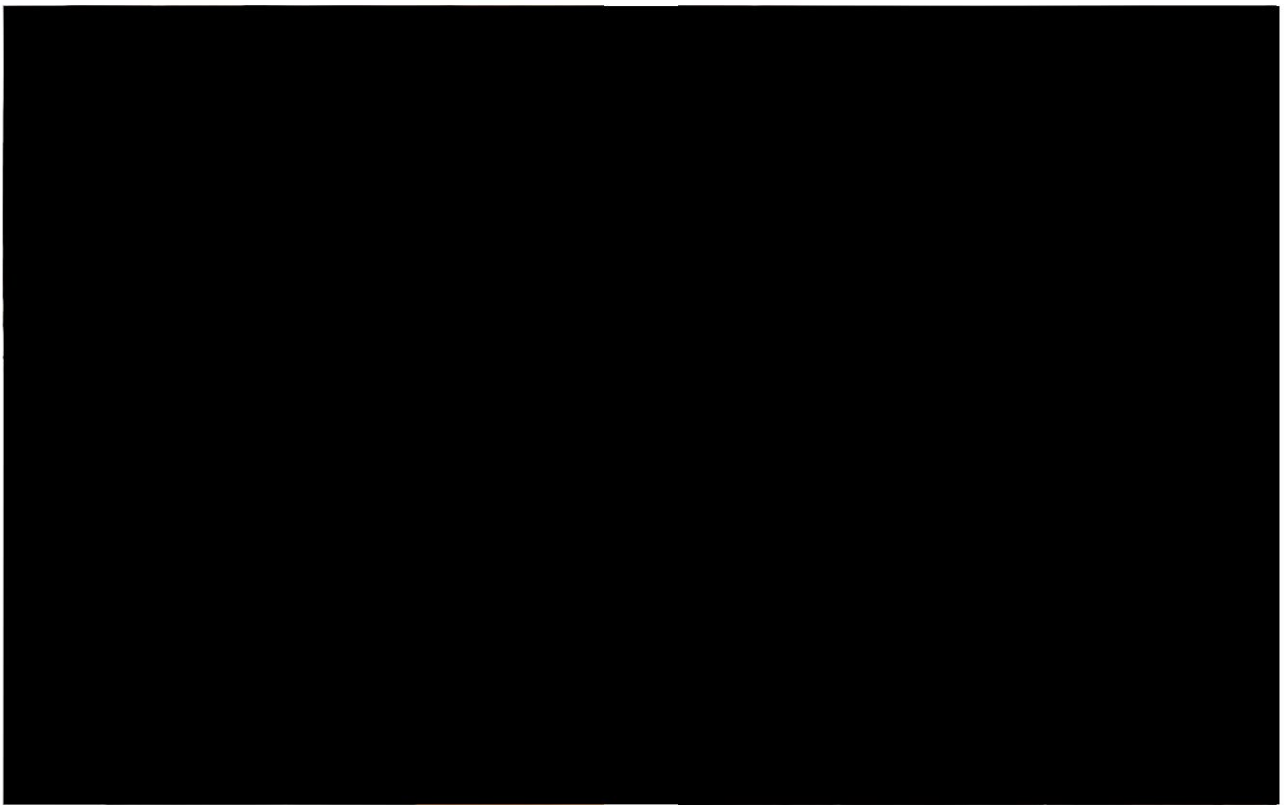


Fig 33, 34: Existing Basement

Ground Floor

The proposal includes the replacement of the existing laminate flooring in the bedroom with a more appropriate timber flooring, as well as the removal of the modern glazing partition in front of the smaller modern bay structure and the reduction of the opening in the victorian wall between the existing kitchen and the stairway, to reinstate the Victorian plan form.

Minor alterations are proposed to the partitions erected in 2013 around the existing kitchen.



Fig 35: Modern glazing partition to be removed

Fig 36: Modern glazed doors in existing kitchen , to be removed and the opening reduced.

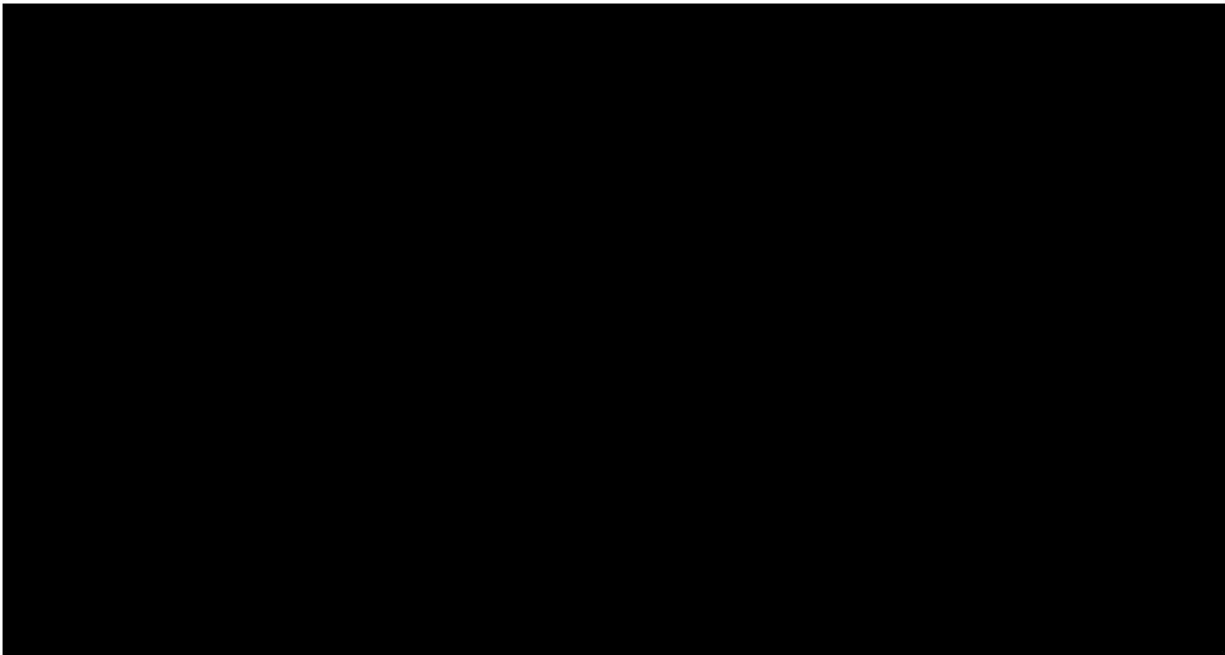


Fig 37: Ground Floor bedroom with laminate flooring

Fig 38: Modern partition between kitchen and utility room

First Floor

No changes are proposed to the 17C wing of this floor. It is proposed to relocate the existing door in the Victorian wing bathroom created in 2013 to its earlier location, to make it en-suite to the adjoining bedroom. The 2013 layout of the master suite area, in the two-storey extension erected in the 1990's, would be improved to accommodate the master bedroom and ensuite bathroom.

The infill of the partition will be finished in lath and plaster.

The stair and entrance would be refurbished to the 1980's extension (the stairs were replaced recently) which aims to improve light levels following reinstatement of some or the original wall location to the victorian wing. The ceiling is vaulted as per the adjacent room to allow rooflights to supply natural light to the space.



Fig 39, 40: The ceiling of the hall to the 90s wing is clearly modern with use of modern timber, chipboard, insulation and plasterboard.

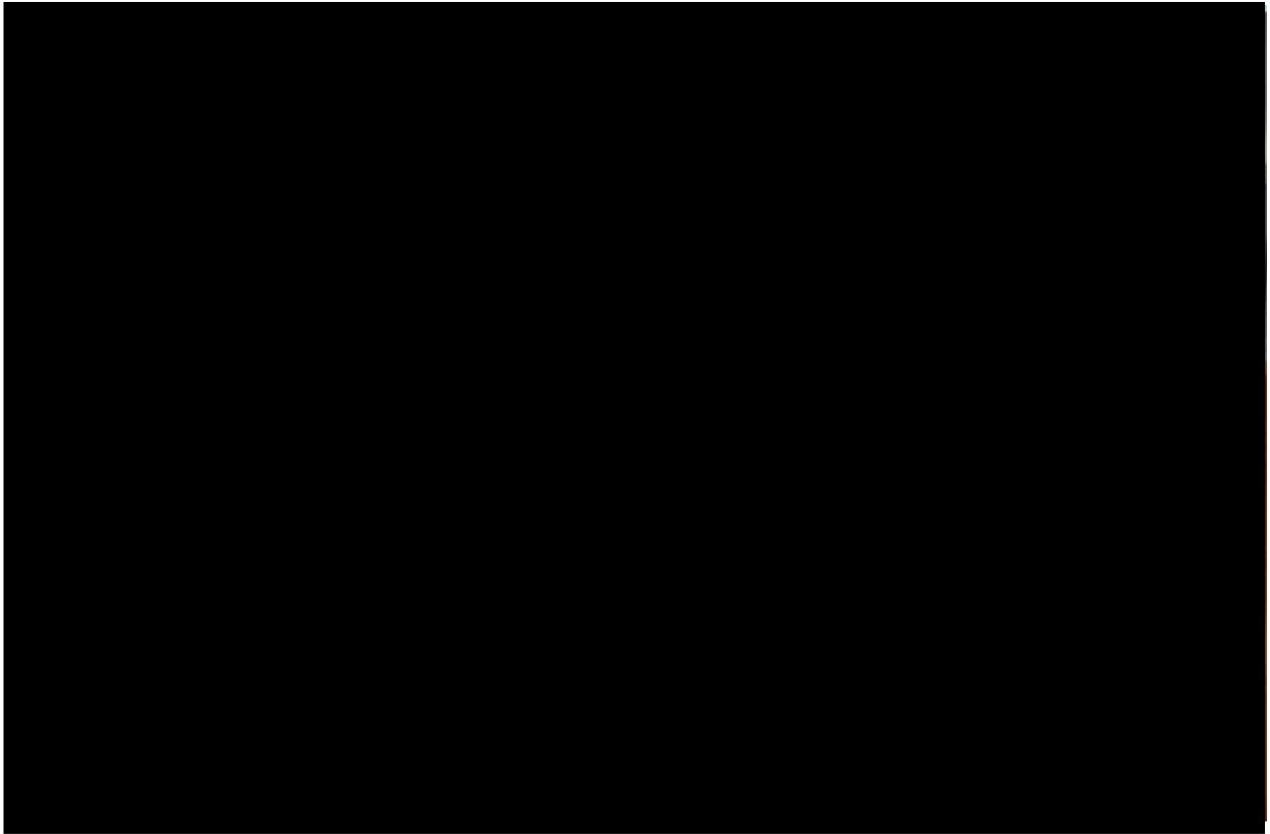


Fig 41: Existing bathroom door to be relocated

Fig 42: Existing Master En-suite

Rear Elevation

It is proposed to replace the existing conservatory to the rear of the house with a single storey infill extension with a flat roof. It is also proposed to remove the modern chimney stack erected between the conservatory and the 1980's two-storey extension, since it would be redundant in the proposed layout and it doesn't make any significant contribution to the character of the house.

The existing conservatory, erected in the 1990's, affects the internal comfort of the house because, given the large amount of glazing, it makes it difficult to regulate the internal temperature, especially in winter and summer times.

Also, the glazing design of the conservatory is completely different from any of the other external glazing around the property, adding more visual confusion to the already non-uniform look of the house.

The proposed infill extension would be more sympathetic to the existing house, by using matching stock bricks to match the existing and glazed doors with vertical and horizontal glazing bars, similarly to the other windows and doors along the rear elevation. The proposed extension would accommodate the new kitchen, currently confined to the darker area of the house and with minimal connection to the generous garden. The kitchen connects to the proposed dining and living area and directly to the rear garden allowing more enjoyment of the verdant setting.



Fig 43: Existing Conservatory



Fig 44: Modern chimney stack



Fig 45: Proposed Rear Elevation with infill extension and no modern chimney stack

Side Elevation

The proposal includes the replacement of the modern single storey bay structures and the two-storey corner structure along the side elevation of the house with new brick structures.

The existing bay structures, built against the 17C part of the house, as well as the two-storey side entrance structure between the Victorian and the modern wings of the house, have been erected in the 70's and 2000s and create visual inconsistency due to their material make up and details. The timber slats on the walls and the slate tiles on the roof are in contrast with the rest of the house, which is constructed with facing brick, lime mortar and clay tile roof. The glazing within the three elements is inconsistent too, with the 70s bays hosting casement windows with internal aluminium secondary glazing and the two storey bay contains sash windows and fixed panels. The bay window in the modern part of the house instead, is made in bricks, with sash windows and flat lead roof but holds a lot of glazing which is not in keeping with construction methodologies of the 17 and 19th century.

The proposed bay structures will be built in facing bricks to match the existing, with painted timber, Georgian style sash windows with arched brick lintels. The sash windows would replicate the existing ones within the Georgian area of the house, increasing the visual consistency throughout the property. Their flat roof is proposed to be finished in lead, with a standing seam to allow more space between the bay and the first floor window. A pitched roof, like the existing, would make the bays too prominent and not very subservient to the main structure of the house.

The new bay structures, as well as the modern two storey extension, would be finished with a traditional lime mortar penny roll brick pointing, instead of the modern cement pointing used for the 1990's wing.



Fig 46: Modern bay on 17C wing

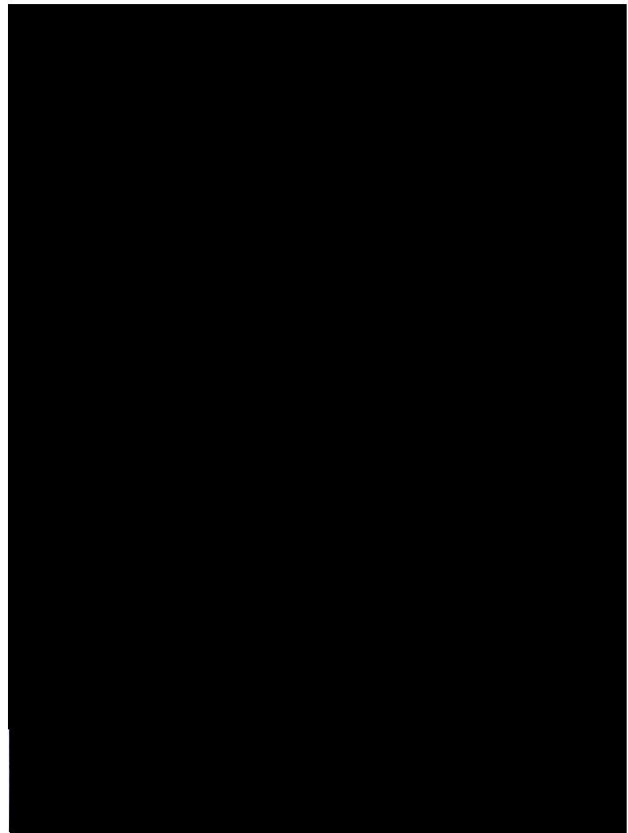


Fig 47: Secondary glazing on bay windows



Fig 48, 49: Modern entrance door bay on 17C wing



Fig 50: Proposed 17C wing side elevation with replacing bays



Fig 51: Existing entrance bay structure



Fig 52: Proposed replacement entrance bay structure



Fig 53: Existing entrance bay structure



Fig 54: Proposed Side Elevation detail with entrance bay



Fig 55: Existing side elevation



Fig 56: Proposed Side Elevation



Fig 57: Existing Rear Elevation



Fig 58: Proposed Rear Elevation

We are also going to remove the cement pointing repairs on the 17th and 19th century wings and repoint them in lime mortar with penny roll brick pointing.



Fig 59: Cement pointing repairs on 17C wing.

c. Amount/Layout

The proposed works consist predominantly of the replacement of the modern bay structures with new ones of similar dimensions and the erection of a new infill extension in place of the existing conservatory. Therefore, the proposed building is largely on the same footprint.

The existing Gross Internal Area of the property, including the main house and the outbuilding, it's 368.5 sq.m. whereas the proposed one is 373.8 sq.m.

d. Appearance and Materials

The materials and appearance of all alterations to the original house are to match existing, such as the new bay structures and glazing elements. The alterations as a whole create a unified and consistent form, sympathetic in appearance to the main house.

The proposed replacement infill extension to the rear, given its secluded location, would not be visible from River Lane, nor from the neighbouring properties.

The recently installed close board timber fence and gates along River Lane and the numerous mature trees in the garden screen the view to the house from the road, especially its ground floor. Therefore, none of the proposed works are visible from the public realm

e. Access

The access from the road and into the property will be unaltered by the proposals.

f. Landscape

The generous size garden surrounding the main house and the outbuilding is to remain as existing. It is proposed to slightly increase the paved area in front of the two-storey corner structure, since this represents the main entrance to the house.

g. Impact on Heritage Asset - Listed Building and Conservation Area

The character of the building derives from its design and materials that retain the nature of its origins as a small, fashionable house in this riverside location close to Richmond. It makes a positive contribution to the special architectural and historic interest of the Conservation Area through its historic character and appearance.

Things like chimney stacks, the 17th century wing and 70s outbuilding are visible as a set back structure from River Lane, with a verdant setting.

The building's significance as a listed building lies largely in its historic value with 17th century and 19th century elements. The proposal does not alter these elements.

The works proposed to the property seek to provide a layout for the necessities of its new owner, taking the opportunity to reinstate architectural details and enhancing the Grade II listed building and its setting in the Conservation Area.

The replacing infill extension would not be visible from the public realm and by materially matching the original house it will enhance the significance of the heritage asset.

The bay structures are modern, of poor quality and not in keeping with the existing material palette and poorly built and detailed. There is significant opportunity via replacement to enhance the significance of the heritage asset and conservation area via sensitively detailed and high quality bays.

Our proposal looks to enhance the listed building and the Conservation Area in the following ways:

- Simplifying the reading of the side elevation to make it unified and more consistent by using materials that match existing, i.e. matching reclaimed facing bricks, lime mortar, painted timber sash windows and the lead roofing.
- Harmonising the rear elevation by replacing the odd conservatory structure with a more sympathetic rear extension in its proportions, materials and details.
- Tweaks to restore original walls and openings in the Victorian wing to improve the reading of the building's development.
- Restoration of pointing with removal of cement mortar and use of lime mortar.
- Use of lath and plaster in the older parts of the house.
- Removal of laminate flooring and use of hardwood flooring or original flooring where possible.

4. Conclusion

Our clients have bought the house with a view of making The Navigator's House and Petersham their family home for them and their two young children. Their brief was to sensitively restore and refurbish the house to create their long term family home.

The Navigators House is a Grade II listed building in the Petersham Conservation Area. It was originally constructed in the 17th century as a single house along with Glen Cottage, likely manorial and called Craigmyle. It was split in the 18th or early 19th century to form two dwellings, Glen Cottage and The Navigators House.

The dwelling was extended in the 19th Century and the roof modified (to its current form). Much later, in the 1970s a timber outbuilding was added on the other side of the plot along with two bay windows to the 17th century wing, all poorly built and clad in closeboard treated timber. Major extensions took place in the 1990s including a part single and part two storey extension to the rear (including a two storey linking timber clad structure and bay window shortly after) and installation of double glazing in places. In 2013 the house was significantly remodelled and not much of the original features remain internally.

The reading of the house and its development are visible and show its evolution over the centuries.

Its significance is due to its origins in Petersham's early development and an example of 17th century manorial architecture and fabric.

The proposed works look to remove the unsightly modern bay window structures, which are constructed with materials incongruous to the material palette of the 17th century original elements and replace them, on the same footprint, with matching facing brick, lime mortar penny roll brick pointing and a standing seam lead roof, with painted single glazed georgian sash windows, brick arched lintels and a leaded roof. Further works include a subservient infill replacement rear extension. Externally this is combined with removal of cement mortar and replacement with lime mortar to match the existing penny roll pointing.

Internally the house is refurbished and restored, the bulk of the proposed work is located in the 1990s two storey extension but reinstatement of some of the earlier elements of the victorian wing are proposed.

There is no loss of original fabric proposed and all alterations are related to the 1970s, 90s and 2013 alterations. All the proposals look to enhance the significance of the listed fabric and the conservation area via the replacement of unsympathetic elements with designs and a material palette that matches the original materials and methods of construction.

For the reasons stated above, we believe the works can be supported by the council.

5. Drawings

Existing

2038.00.03.Exg.001 Existing Location Plan
2038.01.03.Exg.002 Existing Site Plan

2038.01.03.Exg.021 MH - Existing Basement Floor Plan
2038.01.03.Exg.022 MH - Existing Ground Floor Plan
2038.01.03.Exg.023 MH - Existing First Floor Plan
2038.01.03.Exg.025 MH - Existing Roof Plan

2038.01.03.Exg.060 MH - Existing North Elevation
2038.01.03.Exg.061 MH - Existing East Elevation
2038.01.03.Exg.062 MH - Existing West Elevation

2038.01.03.Exg.201 - Existing Sashed Window Detail

Historical Overlay

2038.03.03.Skt.022 MH - Existing Ground Floor Plan Historical Overlay
2038.03.03.Skt.023 MH - Existing First Floor Plan Historical Overlay

Demolition

2038.04.03.Dem.021 Demolition Basement Floor Plan
2038.04.03.Dem.022 Demolition Ground Floor Plan
2038.04.03.Dem.023 Demolition First Floor Plan
2038.04.03.Dem.025 Demolition Roof Plan

Proposed

2038.03.03.PlIn.001 Proposed site Plan

2038.03.03.PlIn.021 Proposed Basement Floor Plan
2038.03.03.PlIn.022 Proposed Ground Floor Plan
2038.03.03.PlIn.023 Proposed First Floor Plan
2038.03.03.PlIn.025 Proposed Roof Plan

2038.03.03.PlIn.060 Proposed North Elevation
2038.03.03.PlIn.061 Proposed East Elevation
2038.03.03.PlIn.062 Proposed West Elevation

2038.03.03.PlIn.063 Proposed North Elevation Watercolour
2038.03.03.PlIn.064 Proposed East Elevation Watercolour
2038.03.03.PlIn.065 Proposed West Elevation Watercolour

2038.03.03.PlIn.01.202 - Proposed Front Door Detail
2038.03.03.PlIn.01.203 - Proposed Ancillary Door Detail
2038.03.03.PlIn.01.204 - Proposed Conservation Rooflight Detail
2038.03.03.PlIn.01.205 - Proposed GF Flooring Build-up Detail
2038.03.03.PlIn.01.206 - Proposed Basement Tanking Detail