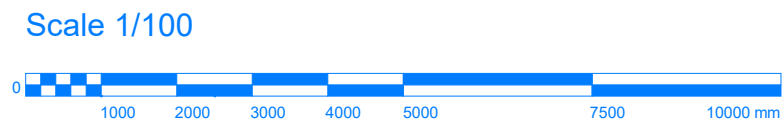


- Notes
- 1 All concrete to be 1:2:4 mix by volume
  - 2 All dimensions are in millimeters
  - 3 All materials used to be half hour fire resistance and used to manufacturers instructions
  - 4 All new gullies to be roddable and back inlet type.
  - 5 New walls bonded to existing using 'Furfix' or similar profiles.
  - 6 The contractor to check all dimensions before commencement of works and inform the Client of any discrepancies.
  - 7 All works to be carried out in accordance with Building regulations and British Standards, all in approval of the LA engineer.
  - 8 All new glazing below 1000 from floor level to be toughened safety glass to BS6206.
  - 9 All structural timber to be tannalised VERMIN
  - 10 Any proposed works likely to be affected by landfill gas to have 0.25 ZEDCOR polymer thermoplastic with ZEDCOR DPM jointing system across the cavity at DPC level with cavity trays over, the floor slab to be vented using herringbone land drains out to air bricks.
  - 11 All dimensions to be double checked on site
  - 12 All steels to be measure on site with built dimensions
  - 13 Steels to have 30 min fire protection
  - 14 All drawings to be approved prior to Build works, any works carried out without approval is at own risk.
  - 15 Any discrepancies to be discussed with our team prior to works, any changes made on site to be submitted to and approved by us in writing



Permitted development

Porch - under 3sqm, max height to match existing eaves no higher than existing

Single storey side extension - less than half the width of the existing property, level to the front of the original property and finishe level to rear rear of the original property

Single storey rear extension - 3 metre in depth, with height no higher than the existing eaves, under 3 metre in maximum height, behind the existing main property only

Loft conversion - hip to gable with a rear roof dormer, in materials to match under 50 cubic sqm as per the permitted development criteria, stepped back from the eaves by 325mm, stepped down from the heighest part of the main roof - juliet balcony internal opening only, with glass railing 1100mm high from internal floor level, with no access to the flat roof extension Velux windows on front roof slope no higher than 150mm off the roofplane.

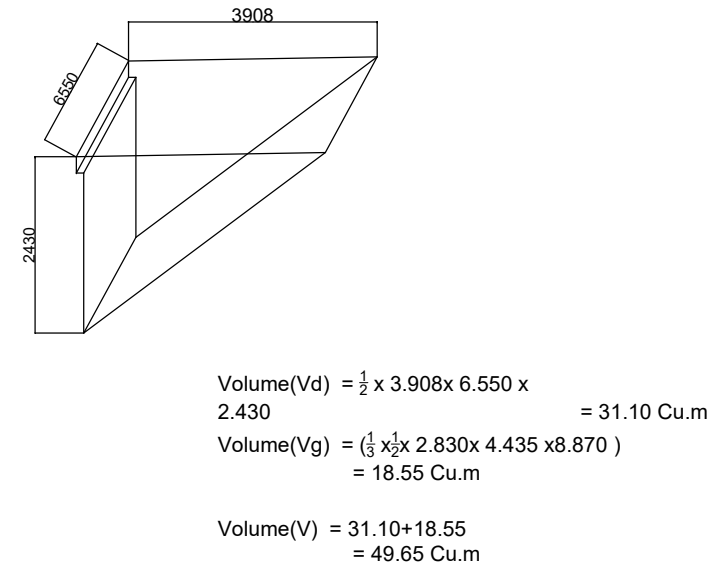
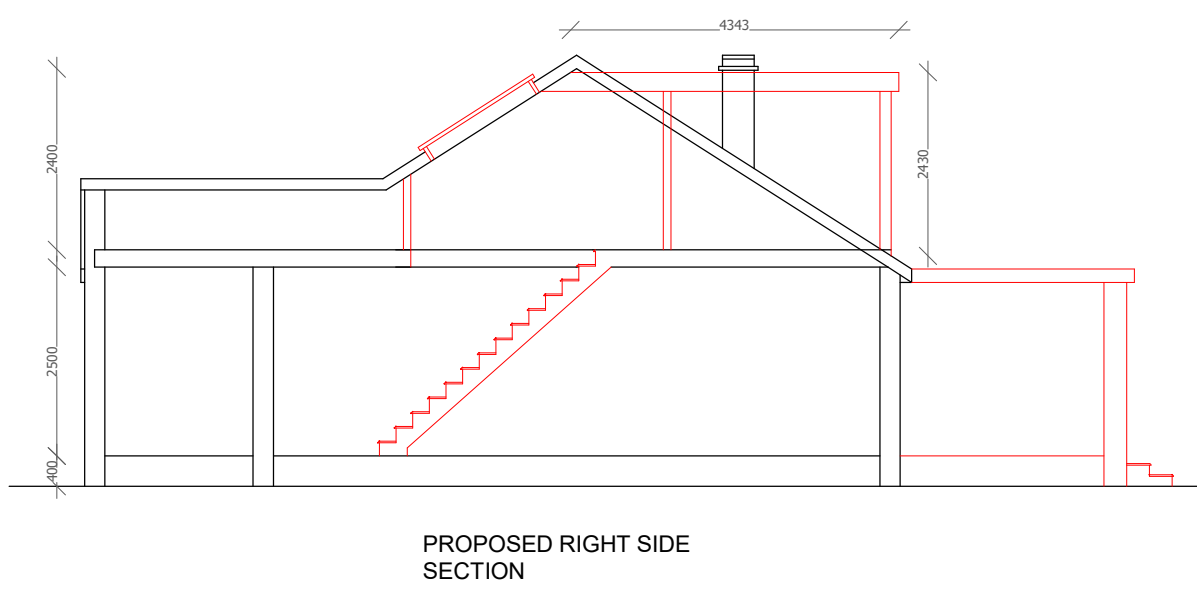
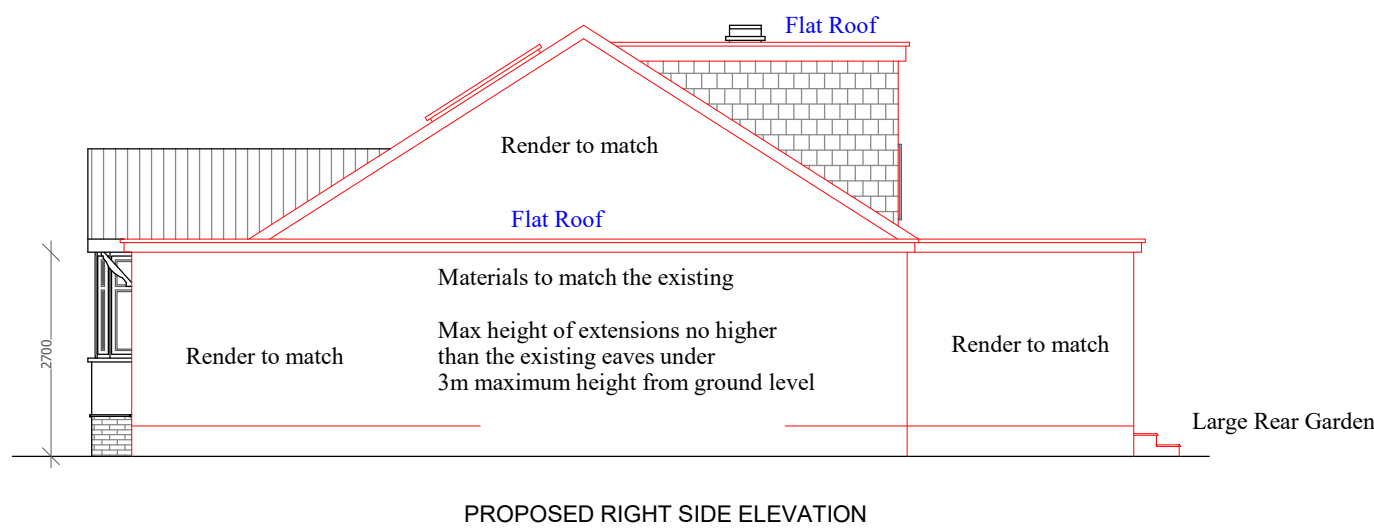
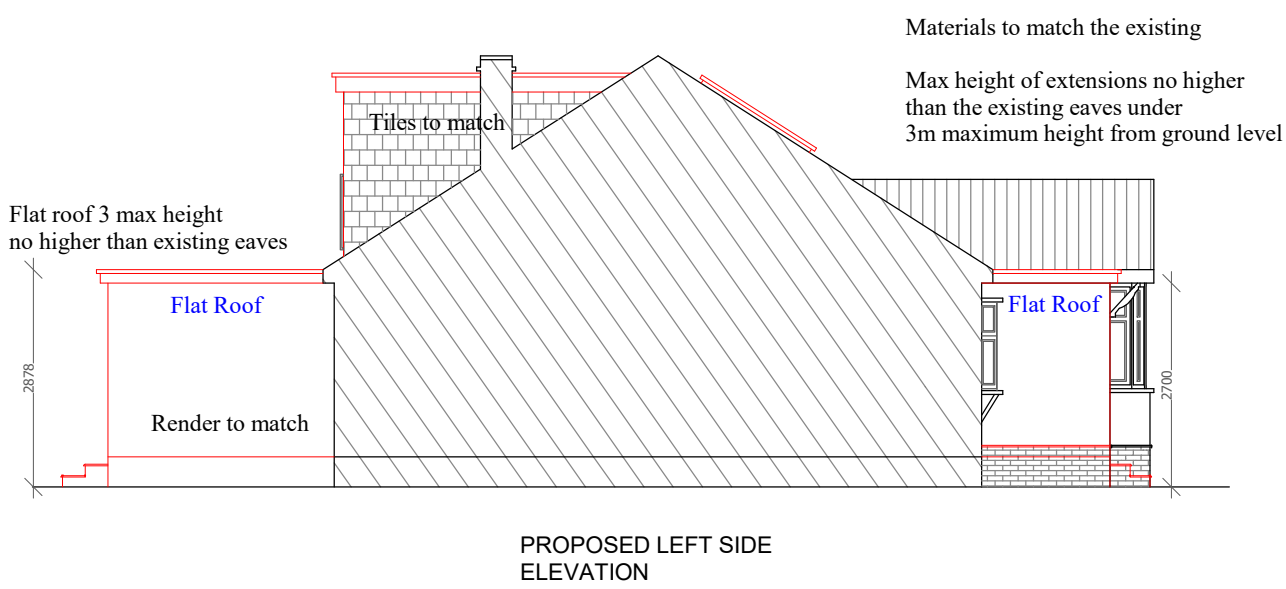
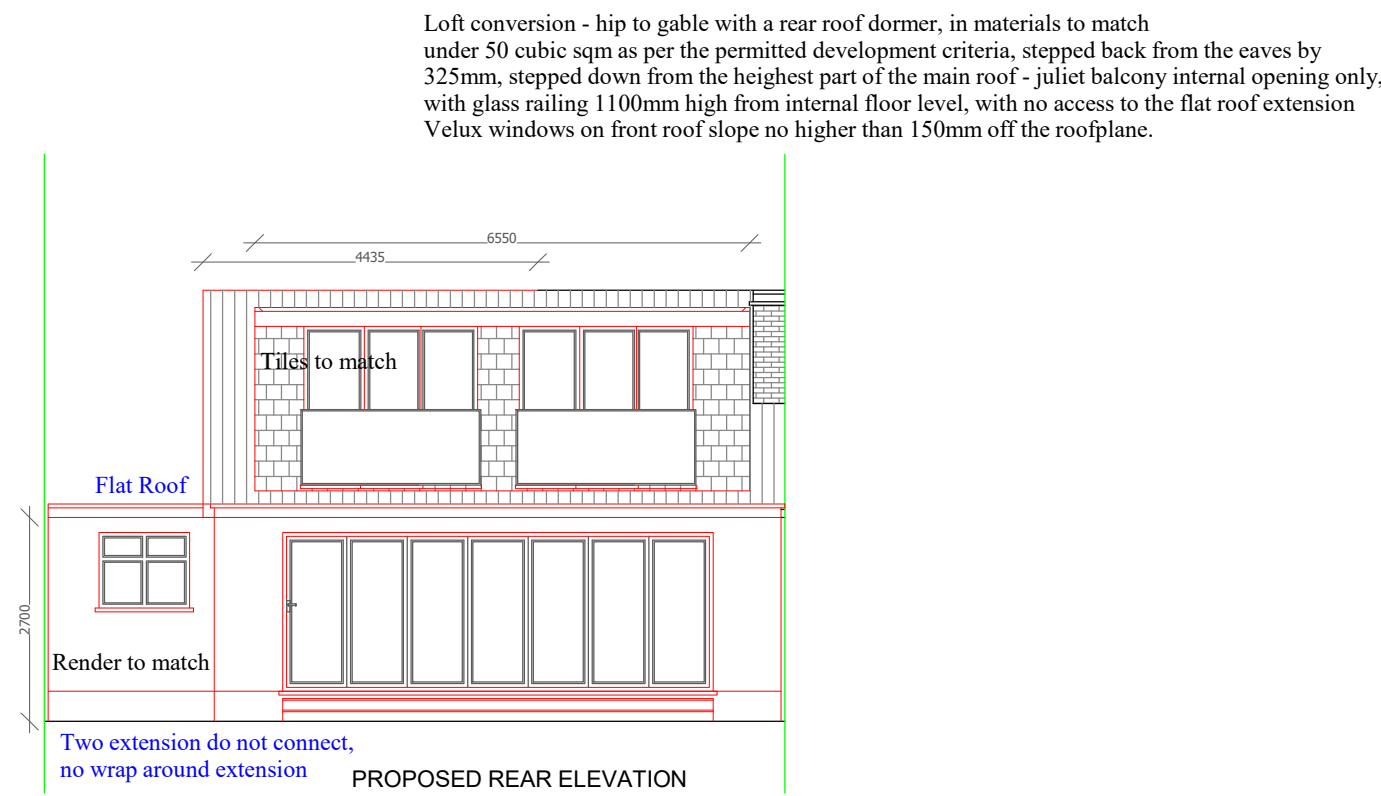
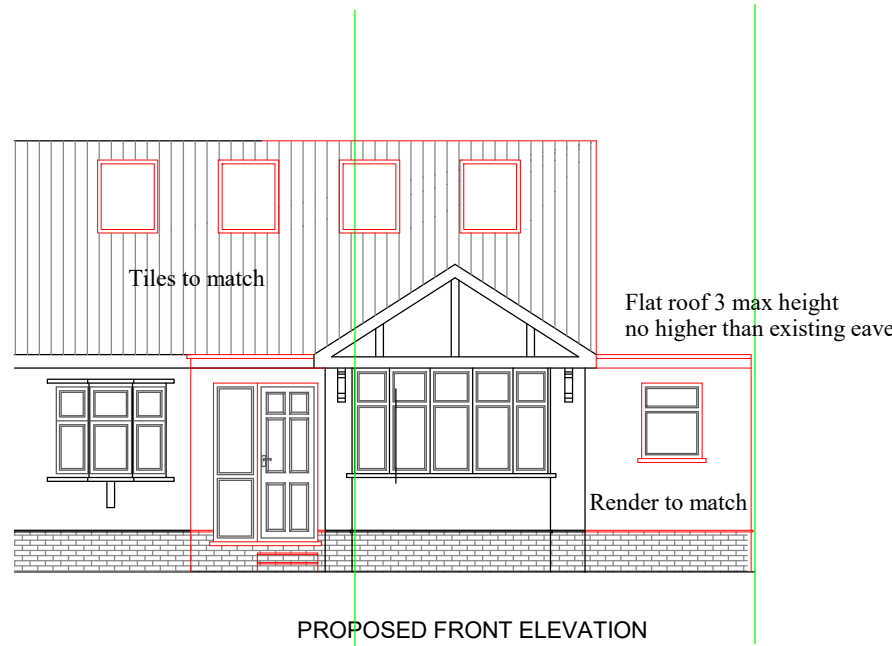
All under the permitted development criteria

In materials to match the existing property

Doors and windows to match

Render to match

Tiles and flat roofing to match



**AsB Architecture Ltd**

PLANNING - ENGINEERING - MANAGEMENT

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