

EXTERNAL ILLUMINATION - U0160158

ON BEHALF OF
THE RICHMOND CHARITIES

MITRE MEWS TO THE REAR OF 20-34 ST MARY'S GROVE,
RICHMOND

(22/2082/FUL)

SEPTEMBER 2024



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1.0 Requirements

1.1 Condition

U0160158 - Prior to installation, details of all external lighting - including locations, technical specifications, horizontal lux plan shall be submitted to and approved in writing by the Local Planning Authority and thereafter constructed in accordance with these details. The details should accord with CIBSE guide LG6 and ILP/BCT Bat guidance note 8; there should be no upward lighting or lighting onto the open sky, buildings, trees and vegetation, or potential roost features.

Reason: To safeguard the ecology of the site and neighbour amenity.

2.0 Development Description

The proposed Mitre Mews development is for 5 No. 1- bed single-storey dwellings (Use Class C3 (a)) with associated landscaped amenity, providing 100% affordable housing for the over 65s. All the units are designed to 'Passivhaus' standards, with four units to be M4(3) wheelchair user dwellings and one to M4(2) wheelchair accessible and adaptable standards.

3.0 Location

Refer to drawing: SMGG-105 C11 External Works Plan.

3.1 Technical Specification

Bollard downlighter:

Stratton Single Eco Timber Bollard – Larch

IP67 rated

1.3w LED lamp (240v)

3000k – Warm white

140 Lumens



Recessed wall downlighter:

Lucande Jaano LED recessed wall light outdoors
graphite

IP65 rated

11w LED lamp (230v)

2700k – Warm white

390 Lumens



Surface wall mounted downlighter:

Lucande Lengo LED wall lamp 25cm graphite

IP65 rated

9w LED lamp (230v)

3000k – Warm white

600 Lumens



Under canopy downlight spot:

Concord Sylvania Myriad V

IP65 rated

10w LED lamp (240v)

4000k – Neutral white

1050 Lumens



3.2 External Lighting Controls

External lighting to be on a timer, with the exception of the canopy lights which are on internal hall switches.

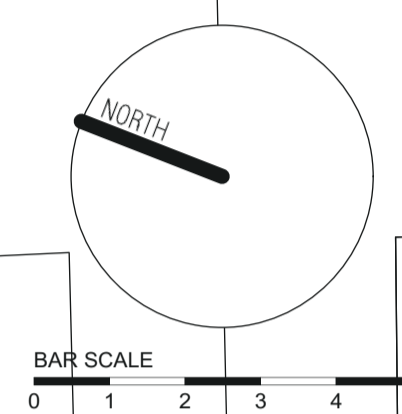
EXTERNAL WORKS PLAN (BOUNDARY / HARD LANDSCAPING)

ACCOMMODATION SCHEDULE

SELF-CONTAINED DWELLINGS FOR THE OVER 65s
 4 No. 1 BED / 2 PERSON WHEELCHAIR ACCESSIBLE M4(3) UNITS @ 60M²
 1 No. 1 BED / 2 PERSON ACCESSIBLE & ADAPTABLE UNIT WITH WET ROOM M4(2) @ 50M²
 5 No. UNITS TOTAL

PARKING:
 1 No. BLUE BADGE DISABLED PARKING BAY (ELECTRIC CHARGING)
 2 No. VISITOR BAYS

NOTE:
 DRY RISER REQUIRED FOR FIRE BRIGADE ACCESS.
 EXISTING NEIGHBOUR GATE AND GARAGE ACCESS RETAINED.
 BOUNDARY FENCE REPLACEMENT SUBJECT TO CONSULTATION WITH NEIGHBOURS.



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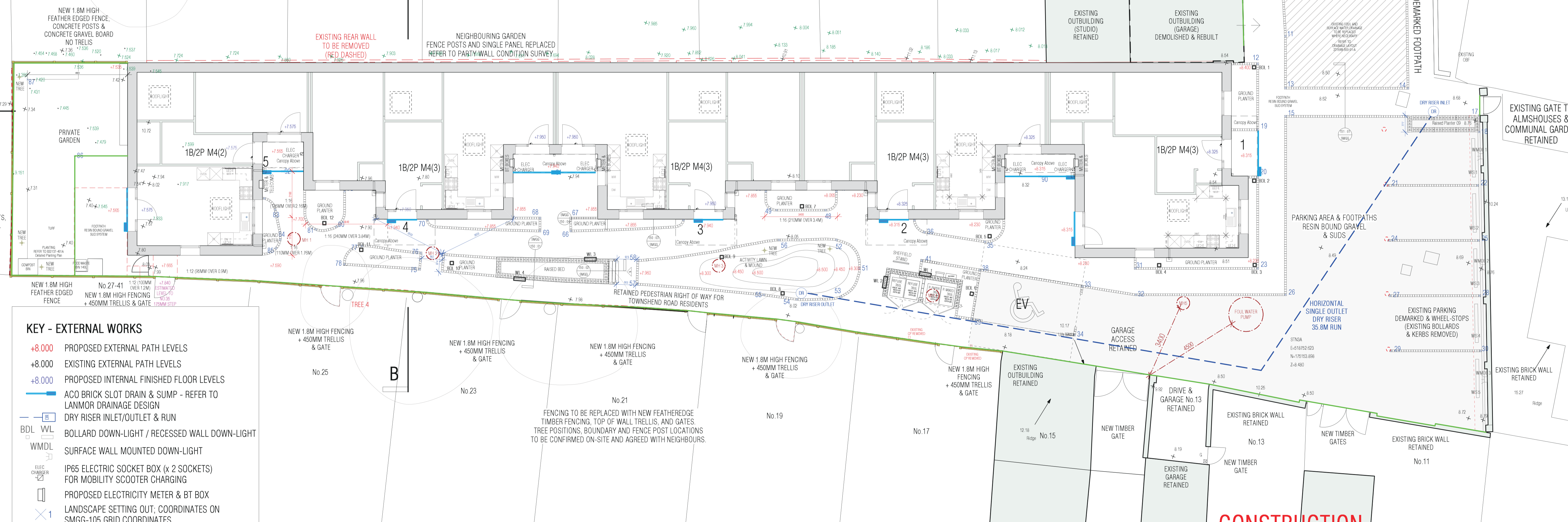
GRID OS CO-ORDINATES

NO.	Easting	Northing
Telecom Locations; Openreach, C/L on brick face		
5	518743.684	175201.508
4	518745.132	175196.584
3	518751.416	175180.655
2	518753.555	175175.234
1	518758.675	175166.858
Telecom Locations; Virgin Media, C/L on brick face		
5	518743.345	175201.374
4	518745.043	175196.808
3	518751.505	175180.431
2	518753.467	175175.458
1	518758.587	175167.082
GSHP Locations, C/L		
TBC		
Meter Box Locations, C/L		
5	518743.515	175201.441
4	518748.733	175190.922
3	518750.181	175187.250
2	518757.157	175169.574
1	518758.358	175166.530
Manhole Locations, C/L		
5	518741.684	175199.138
4	518743.433	175192.862
3	518747.792	175180.235
2	518750.163	175170.436
1	518753.177	175162.491

NO.	Easting	Northing
WMDL, C/L		
1	518765.616	175148.990
2	518760.824	175146.993
3	518755.991	175144.988
Wheel Stops, C/L		
1	518765.408	175149.315
2	518763.029	175148.327
3	518760.652	175147.340
4	518758.273	175146.352
5	518755.892	175145.363
BDL, C/L		
1	518765.579	175160.397
2	518760.655	175158.444
3	518757.005	175156.979
4	518755.356	175161.123
5	518753.711	175168.979
6	518750.906	175168.769
7	518751.799	175177.641
8	518747.903	175176.083
9	518748.217	175180.252
10	518743.337	175191.864
11	518742.361	175196.023
12	518742.887	175198.083
WL C/L		
1	518750.747	175171.074
2	518749.711	175172.686
3	518745.874	175185.918
4	518743.805	175188.648

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 'THE MITRE' PUBLIC HOUSE

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KEY - EXTERNAL WORKS

- +8.000 PROPOSED EXTERNAL PATH LEVELS
- +8.000 EXISTING EXTERNAL PATH LEVELS
- +8.000 PROPOSED INTERNAL FINISHED FLOOR LEVELS
- ACO BRICK SLOT DRAIN & SUMP - REFER TO LANMOR DRAINAGE DESIGN
- DRY RISER INLET/OUTLET & RUN
- BDL W/L BOLLARD DOWN-LIGHT / RECESSED WALL DOWN-LIGHT
- WMDL SURFACE WALL MOUNTED DOWN-LIGHT
- IP65 ELECTRIC SOCKET BOX (x 2 SOCKETS) FOR MOBILITY SCOOTER CHARGING
- PROPOSED ELECTRICITY METER & BT BOX
- LANDSCAPE SETTING OUT; COORDINATES ON SMGG-105 GRID COORDINATES

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<p>Notes: Levels on this drawing are adjusted to OS GPS and Ordnance Datum; refer to Twickenham Survey's drawing 23119LSx, dated OCT 2023 & MAY 2012. Please refer to Twickenham Survey's drawing 1272LSa, dated MAY 2012, for previous arbitrary datum levels.</p> <p>Landscaping coordinates as per numbered points are on sheet 'SMGG-105 Grid Coordinates'.</p>	<p>Revisions</p> <p>CB - 06.08.2024: Resin bonding added, additional levels for No.18 forecourt, & minor layout change to dry riser. C9 - 08.08.2024: Setting out dimensions added to raised planter. C10 - 12.09.24: Dry riser cabinet to brick planter and brick enclosure added. C11 - 17.09.24: Planter changed to single brick thick & coordinates changed. C12 - 26.09.24: Dry-riser inlet position moved due to pipework below ground. Dry-riser brick enclosures removed.</p>	<p>Revisions</p> <p>CS - 17.07.2024: Lighting and wheel-stoppers setting out added onto drawing. Landscaping setting out points located, coordinates on complementary sheet 'SMGG-105 Grid Coordinates'. ACO sump locations added. Extent of highways updated as per drawing no.182 C2. C6 - 18.07.2024: Manhole 5 & sump chamber relocated away from No.15 Townshend Road. C7 - 25.07.2024: Raised planter, granite set ground planter adjusted & bin store moved. Check coordinates with Architect.</p>	<p>Revisions</p> <p>C1 - 16.01.2024: Private garden fence pushed to boundary. Electric scooter chargers and meter/BT boxes located. Proposed levels updated to OS GPS. C2 - 21.02.2024: External proposed levels updated in red. Compost/Food waste added. Manhole location coordinates added. C3 - 21.03.2024: Manhole positions updated as on site & dry-riser ground boxes added. Concrete surface outside of dentist surgery (No.18) removed from works. C4 - 19.04.2024: Extent of Highways works (s.27B) to crossover added.</p>
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CONSTRUCTION

Project: ST MARY'S GROVE GARAGES, RICHMOND TW9
 Drawing: EXTERNAL WORKS PLAN (BOUNDARY / HARD LANDSCAPING)
 Drawing No: SMGG-105 C12
 Scale: 1:100 @ A1
 Date: 09.11.2023