

Planning, Design, Access and Heritage Statement – Kneller Hall, Kneller Road, Twickenham, TW2 7DN

Ref: 15750

Date: September 2024

Introduction

1. This Statement accompanies an application for Listed Building Consent at Kneller Hall, Kneller Road, Twickenham, TW2 7DN ('the Site') for:

“Works to Band Practice Hall comprising repair works to cracking to external walls; underpinning works; localised repair works to slate roof; and internally removal of the internal back wall, introduction of new structural truss and structural tie, and raising the existing ties by 800mm.”
2. This application has been submitted on behalf of Dukes Education and Radnor House School Limited (the 'Applicant').
3. This application relates to internal and external repair and maintenance works and internal alterations to the Band Practice Hall only. It does not relate to other parts of the Site. The application has been submitted in addition to a more comprehensive planning and Listed Building Consent application for development across the full site which is currently under consideration (ref: 22/3004/FUL and 22/3005/LBC). These applications are to facilitate the use of the entire site as a senior school. The application has also been submitted in addition to two previous listed building consent (LBC) applications for external repairs works. Application (ref: 23/0639/LBC) was granted in August 2023 and is currently being implemented. Application ref: 24/2175/LBC was submitted for external repair and refurbishment works to the main Kneller Hall building in August 2024 and is currently pending determination at the time of writing.
4. This Statement sets out the planning, design, access and heritage considerations relevant to the proposal.

The Site

5. The Site lies within the administrative boundary of the London Borough of Richmond upon-Thames (LB Richmond upon-Thames) and is located within Twickenham, West London. The Site currently comprises the Grade II listed Kneller Hall.
6. The wider associated site was formally occupied by the Royal Military School of Music (which included residential accommodation (Class C2)) and was formally owned by the Ministry of Defence. The wider site was sold and vacated by the Ministry of Defence in the summer of 2021. The wider has now been acquired by Dukes Education.
7. The wider site extends to approximately 9.7 hectares; however, this application relates only to the existing Kneller Hall building located on the western portion of the site.
8. The Site is not located within a Conservation Area; however, the Rosecroft Gardens Conservation Area is located approximately 300m to the south and is separated from the Site by the A136 and residential roads. The Site comprises the Grade II listed Kneller Hall. The building is set within a wider context of parking and circulation areas, green spaces and sports facilities.
9. The Site has a Public Transport Accessibility Level (PTAL) of 2 (where 1 is low and 6 is high). The Site is best accessed via Kneller Road, to the south, which provides access to Chertsey Road (the ‘A316’) that in turn links Richmond to Central London via Hammersmith and the M3 to the west.
10. In accordance with the Environment Agency, the Site is located in Flood Zone 1 (no/low risk of flooding).

Planning History

11. A Review of the LB Richmond upon-Thames online planning register return the following recent, relevant applications for the Site.

Application Ref.	Description of Development	Decision	Date
24/2175/LBC	External repair works, including re-rendering to match existing, removal of existing and installation of new lightning protection, replacement of stone cills to western elevation, repainting of Coat of Arms to Kneller Hall.	Pending	N/A
23/0639/DD01	Details pursuant to condition U0163199 – Specified Details and Samples of listed building consent 23/0639/LBC.	Granted Permission	03/04/2024

23/2425/LBC	Proposals to carry out repairs to ceilings within Kneller Hall.	Granted Permission	03/05/2024
23/0639/LBC	External repair and restoration works including cleaning, repointing, decorating and removal of redundant modern surface mounted fixtures to Kneller Hall and the curtilage listed buildings.	Granted Permission	18/08/2023
22/0344/DD01	Details pursuant to Condition U0131800 - Methodology for Lifting of Floorboards	Granted Permission	09/09/2022
22/1157/FUL	Temporary use of existing buildings and land for film-making purposes	Granted Permission	13/06/2022
22/1158/LBC	Temporary use of existing buildings and land for film-making purposes	Granted Permission	13/06/2022
22/0344/LBC	Internal works at Kneller Hall associated with investigations, opening up and enabling works, to inform future development proposals	Granted Permission	07/07/2022
15/0080/LBC	Proposed Structural Alterations works at Third Floor of Sergeants Mess Annexe.	Granted Permission	10/03/2015
10/2799/FUL	Installation of above and below ground cables within the Site.	Granted Permission	23/12/2010
08/3983/LBC	Internal modifications to the Existing Guardroom Within Building No.4 To Upgrade Existing Facilities.	Granted Permission	23/12/2008
08/0665/LBC	Installation of small A/C plant, with pipework running thru internal floors and against internal walls, wall mounted chiller unit on lower basement external wall.	Granted Permission	06/05/2008
06/2982/FUL	Provision of Weather Protection to Existing Band Stand in The Grounds of Kneller Hall.	Granted Permission	26/10/2006
06/0614/LBC	Proposed construction of a chair store with forklift garage and fuel store.	Granted Permission	07/04/2006
06/0569/FUL	Construction of Chair Store Incorporating Parking Garage for ForkLift Truck and Fuel Storage.	Granted Permission	07/04/2006

05/0229/C84	Installation of a gatehouse at the main gate.	Subject to Objection	15/03/2005
04/2932/C84	Erection of a single storey office block.	Decided as No Further Action be Taken	28/07/2005
99/2049	Development of New Practice Accommodation for Solo Instrumentalists at Rssm Kneller Hall	Decided the Council raises no objection	27/09/1999
95/1775/C84	Replacement of Bandstand (amendment To Previous Scheme Submitted Under 94/2950/c84).	Decided the Council raises no objection	20/07/1995
94/2950/C84	Replacement Bandstand	Decided as No Further Action be Taken	06/01/1995
94/0358/C84	Replacement of Bandstand	Decided as No Further Action be Taken	21/04/1994
93/1240/C84	Demolition of The Existing Quartermasters Stores Building & 12 No Garages. Construction of new Multi-use Hall, Music Practice Rooms, Officer's Accommodation,5 New Buildings Of 1 2,3-storeys To Accommodate A Quartermasters Stores And 12 No Garages.	Decided the Council raises no objection	28/04/1994
93/0411/C84	Internal Works to West Wing of Kneller Hall.	Decided the Council raises no objection	26/04/1993

12. It is noted that the above is not a comprehensive list of all applications and only a summary of notable applications that are considered relevant to the current development proposals.
13. The applications demonstrate that the wider Kneller Hall site has a long history of applications for works across the Site to facilitate the previous occupier's use.

Proposed Works

14. Full details of the proposed works are detailed on the submitted plans prepared by ADP and structural plans and report prepared by AKS Ward, titled "School Hall (Former Band Practice Hall) – Underpinning Works". AKS Ward's report also details the methodology for the works. The works comprise of:
 - Remedial repair works to visible cracking to Band Practice Hall existing external masonry walls;
 - Underpinning works to Band Practice Hall;
 - Localised repair works to slate roof and removal of chimney;
 - Removal the internal back wall within the Band Practice Hall;
 - Introduction of new structural truss and structural tie, where Band Practice Hall internal back wall has been removed; and
 - Raising the ties by 800mm.
15. All the above works will be carried out in accordance with the recommendations of AKS Ward, the structural consultants.
16. Securing approval for repair works to the cracking that has taken place and is visible on external masonry walls and underpinning works to the Band Practice Hall forms part of the main planning and listed building consent application that is awaiting determination (ref: 22/3004/FUL and 22/3005/LBC). These works are required to prevent further cracking and to ensure the long term structural integrity and protection of this building. It could be several months before these works could take place if the applicant waits to deliver them as part of the main application. AKS Ward has recommended that these works are carried out as a priority item and therefore to allow these works to come forward now, consent is sought for the works via this LBC application.
17. The principle of carrying out underpinning works has already been agreed with officers as part of the discussions that have taken place on the main application. AKS Ward has prepared a report titled "School Hall (Former Band Practice Hall) – Underpinning Works", which accompanies this LBC submission and explains the proposed works, why they are required and why they should be carried out as a priority item. Further site investigations have taken place since the main application was submitted and these works were discussed with officers and, as is explained in the AKS Ward report,

these investigations have led AKS Ward to conclude that a different underpinning strategy is required. The underpinning strategy is set out in AKS Ward's submitted report.

18. In addition to AKS Ward's report submitted with this planning application, further reports and notes have been prepared by them and accompanied the main planning application, to justify the works proposed. Copies of these are provided at **Appendix 1** of this report for information.
19. Whilst it is an offence to carry out works in advance of listed building consent being secured, at Section 9(3) of the Planning (Listed Buildings and Conservation Areas) Act 1990 it confirms that in proceedings for an offence it shall be a defence to prove the following matters:
 - (a) that works to the building were urgently necessary in the interests of safety or health or for the preservation of the building;
 - (b) that it was not practicable to secure safety or health or, as the case may be, the preservation of the building by works of repair or works for affording temporary support or shelter;
 - (c) that the works carried out were limited to the minimum measures immediately necessary; and
 - (d) that notice in writing justifying in detail the carrying out of the works was given to the local planning authority as soon as reasonably practicable.
20. It is considered that the cracking repairs and underpinning works fall into the criteria at Section 9(3). Therefore, whilst listed building consent is being obtained, the applicant may need to consider commencing these works under Section 9(3) ahead of permission being secured. If the applicant does intend to do this, contact will be made with the local planning authority to discuss this.
21. Internally within the Band Practice Hall as part of the main planning application it is proposed to remove the internal back wall and to introduce a new structural truss and structural tie, where the wall has been removed, to create one large open space. In discussions with officers as part of the main application, they have been supportive of these works. Also, internally within the Band Practice Hall the main application proposes the adjustments to the height bars/ ties, with these proposed to be raised by 800mm. Again, officers have been supportive of these works. Although these works form part of the application, to enable them to take place by the Contractor who will be appointed to carry out the cracking repair works and underpinning, LBC is also sought for these works as part of this application to enable them to take place now as a single package of works.
22. In addition, this application proposes localised repair works to the slate roof, these works will be like-for-like and where new slates are needed these will be carefully selected to match the existing slates. The existing chimney is also proposed to be removed.

23. All other works associated with this building will be dealt with as part of the main planning application, that is awaiting determination. This includes the proposals for the extension to the Band Practice Hall. This forms part of the main planning application, and will not be altered as a result of the works proposed by this separate LBC.

Heritage Considerations

Policy Position

24. NPPF Chapter 16 ‘Conserving and enhancing the historic environment’ identifies at paragraph 200 that *“In determining applications, local planning authorities should require an applicant to describe the significance of any heritage assets affected, including any contribution made by their setting. The level of detail should be proportionate to the assets’ importance and no more than is sufficient to understand the potential impact of the proposal on their significance”*.
25. Paragraph 203 states that *“In determining applications, local planning authorities should take account of ... the desirability of sustaining and enhancing the significance of heritage assets and putting them to viable uses consistent with their conservation”*.
26. Local Plan Policy LP3 ‘Designated Heritage Assets’ identifies that Richmond upon Thames will resist the change of use within listed building where their significance would be harmed.
27. Policy LP3 also requires the retention and preservation of the original structure, layout, architectural features, materials and later features and resist the removal and modification of features both internally and externally that contribute to the significance of the asset.
28. London Plan Policy HC1 ‘Heritage conservation and growth’ states that *“Development proposals affecting heritage assets, and their settings, should conserve their significance, by being sympathetic to the assets’ significance and appreciation within their surroundings. The cumulative impacts of incremental change from development on heritage assets and their settings should also be actively managed. Development proposals should avoid harm and identify enhancement opportunities by integrating heritage considerations early on in the design process.”*
29. One of the key visions within the Kneller Hall SPD is to provide *“A long-term viable use for Kneller Hall that secures its future and keeps intact its historic and cultural legacy as a historic home, including for the Royal Military School of Music, whilst contributing to the local community and supporting the vitality of both Whitton and the wider area.”*
30. The Kneller Hall SPD goes on to note *“The Parade Ground’s open character must be retained and, if possible, enhanced to maintain views towards the Hall. It should provide access to the formal entrance on the south side of the Hall, but must be kept free from permanent parking. Any planting in this area*

and adjacent to the boundary wall would need to be carefully designed, so as not to interrupt views from Kneller Road”.

31. Detailed guidance on important heritage assets at the Site is also set out within the Kneller Hall SPD.

Assessment

32. A comprehensive Heritage Statement (April 2023) was prepared by Icení heritage consultants to accompany the wider site planning and listed building consent applications. A copy of this is attached to this report at **Appendix 2**. It provides a detailed site description and assessment of significance and should be read in conjunction with this report.
33. The significance of Kneller Hall resides primarily in the architecture of the Grade II listed building itself, including the Neo-Jacobean frontage onto Kneller Road and first and second floor chapel.
34. The surviving listed boundary walls and curtilage listed gatehouse and band practice room also have some significance as does the sweeping drive to Kneller Hall leading from the lodge gate and the northern part of the Metropolitan Open Land in relation to the historic landscape. The bandstand, whilst of no architectural significance, has communal value as the focus on community events held at Kneller Hall throughout the history of the School.
35. The Band Practice Hall is discussed on page 25 of Icení’s Heritage Statement at **Appendix 2**. The Statement advises that the building dates to c. 1900 and is associated with Kneller Hall’s use as the Royal Military School of Music. Sometime during the late twentieth, possibly early twenty- first century, steel buttresses encased with concrete were introduced to the north and south elevations of the building. These works were likely carried out in response to the building’s structural deterioration. On page 37 of Icení’s Statement at **Appendix 2** they advise that the Guard House and Band Practice Hall derive interest through their grouped association with the historic use of the Site as the former Royal Military School of Music.
36. The repair works comprising of the repair works to cracking to external masonry walls, the underpinning works and localised repair works to slate roof are all required to protect the heritage asset and these works will conserve and enhance the buildings’ significance. The work proposed are sympathetic to the assets’ significance and appreciation within their surroundings. These much needed repair and maintenance works will preserve and enhance the listed building. It has been identified that the cracking and underpinning should be carried out as priority works by the structural consultants, AKS Ward. The works will not cause harm to the buildings or their significance. It is also not considered that the works will affect the special interest of the building. If the works are not undertaken it risks the building further degrading and falling into disrepair. Instead, the works are beneficial to the

buildings' long-term maintenance and protection and support the retention of the buildings' significance.

37. The internal works are required to make the building more functional and useable internally, to open out the space to provide a single room. These works also form part of the main planning application, and have been concluded by officers to be acceptable. Whilst the works will result in the loss of historic fabric, as a result of the removal of the internal wall, these works are considered acceptable on balance when considered alongside the repair works taking place to ensure the long term protection of this building and because these works will make the building far more functional for modern needs.
38. The works that form part of this application are being submitted alongside a more comprehensive site wide application for planning permission and listed building consent. Those applications will enable the use of the wider site as a school, which will facilitate the long-term viable use for Kneller Hall. The use will secure Kneller Hall's future and the retention of its historic and cultural legacy.

Planning Considerations

39. The proposed works are in accordance with local, London wide and national policy requirements which require listed buildings to be protected and their significance conserved. The works do not constitute development, being either internal works or works that are being carried out associated with the building's repair and maintenance and which do not materially affect the external appearance of the building.
40. No new additions are proposed to be introduced to the buildings as part of this application. Where these are proposed by the Applicant, they will be dealt with as part of the wider site planning and listed building consent application refs: 22/3004/FUL and 22/3005/LBC.

Design and Access Considerations

41. The works will not alter the scale, height, mass or form of the existing buildings nor will the works alter accessibility to the buildings.
42. The internal works will not result in any alterations to the building's external appearance. Externally, the underpinning works will take place below ground level and the crack repairs and localised slate repairs will result in only a minor and non material change to the external appearance of the building, to restore the building. These works are not considered to have a material impact on the building's appearance, given that they comprise of repair works to reinstate the building to its former appearance and to prevent an existing crack from worsening.

Summary

43. This application seeks approval for works to Band Practice Hall comprising repair works to cracking to external walls; underpinning works; localised repair works to slate roof; and internally removal of the internal back wall, introduction of new structural truss and structural tie, and raising the existing ties by 800mm.
44. The works have been carefully considered by the project team and are considered necessary and appropriate to enhance the property and ensure its long-term protection.
45. The works that form part of this application also form part of the main planning and listed building consent applications (refs: 22/3004/FUL and 22/3005/LBC), that are currently awaiting determination. These works are also being proposed as part of this separate LBC application, as the structural consultant has identified that the external cracking repair works and underpinning are priority works. The applicant therefore wishes to instruct the contractor, Coniston, to carry these out as soon as possible, to avoid the crack worsening. The works proposed as part of this application have already been assessed by the Council as part of the main application, and found to be acceptable. It is therefore requested that LBC is granted to allow the applicant to commission Coniston to carry these works out, without delay.

Appendix 1: Structural Reports and Advice Notes prepared by AKS Ward that form part of the main planning application

Kneller Hall School

Twickenham

Dukes Education

Condition Report
STRUCTURAL / CIVIL ENGINEERING

L221004-AKSW-ZZ-XX-RP-S-0010

08/09/2022

Revision	Description	By	Checked/Approved	Date
P01	First Issue	AA	AJS	08/09/2022



1.0 Introduction

- 1.1 AKSWard was instructed by Dukes Education to provide a structural condition survey in support of the planning application for the Kneller Hall site, Twickenham.
- 1.2 A review has been carried out of previous condition surveys and reports. Inspections were conducted by AKSWard team between March and August 2022. Limited opening up works have been carried out by ACS contractors. A Geo-environmental investigation prepared by Soil Consultants dated 5th July 2022 has been carried to assess ground conditions and contamination.
- 1.3 Previous reports reviewed include:
 1. Jones Lang LaSalle IP, Condition Survey Report | Kneller Hall, Royal Military School of Music, Kneller Road, Twickenham, TW2 7DN | Dec.2020.
 2. Jones Lang LaSalle IP, Condition Survey Report | Kneller Hall Guard House, Royal Military School of Music, Kneller Road, Twickenham, TW2 7DN | Dec.2020.
 3. Jones Lang LaSalle IP, Condition Survey Report | Practice Hall, Royal Military School of Music, Kneller Road, Twickenham, TW2 7DN | Dec.2020.
 4. McAndrew Martin, Structural Appraisal Report On Third Floor Sergeants Mess Annexe Royal Military School Of Music Kneller Hall Twickenham TW2 7DU | Mar. 2014
 5. WSP, Technical Note 1 | Kneller Hall site visit report | Nov. 2021
 6. WSP, Technical Note 2 | Practice Hall site visit report | Nov. 2021
 7. WSP, Technical Note 3 | Guards Room site visit report | Nov. 2021
- 1.4 This condition survey was collated by Ahmed Alihasan BSc MSc and reviewed by Adam Sisson MEng CEng MIStructE.

2.0 Description

- 2.1 Previously the home of the Royal Military School of Music (RMSM) and Royal Corps of Army Music (RCAM) for almost 170 years, the MOD left the site in August 2021.
- 2.2 This report will cover the three listed buildings on the site: Kneller Hall Main Building, the Guards House, and the Band Practice Hall all of which have been categorised as grade II listed buildings.
- 2.3 The applicant, Dukes Education, proposes to establish a new independent secondary school on the site, including use of the listed buildings.
- 2.4 This report has been compiled to comment on the structural condition of the listed buildings and make recommendations for remediation as appropriate.

3.0 Observations

3.1 Kneller Hall Main Building

Originally constructed in circa 1710, Kneller Hall is thought to have been largely re-constructed and extended in the mid 19th century. The building comprises three-storeys plus a partial basement, with the west wing of the building four storeys. The building is constructed load bearing masonry, with timber floors and brick elevations with decorative stonework in the neo-Jacobean style. The roof is assumed to be of timber construction. A modern single storey extension has been constructed to the rear of the west wing.

The building is generally in good structural condition considering its age. Where opening-up work has revealed floor joists, no signs of degradation have been observed. It should be noted that the roof structure has not been inspected.

Cracking to masonry walls has been observed to the upper floors of the west wing. These walls do not continue down through the building and appear to be blockwork partitions constructed off the timber floors. In some locations, movement gauges have been installed across cracks. Based on the dates noted on the walls adjacent to these, they appear to have been installed approximately 5 years ago and show between 0 and 3mm of movement.

In the basement deterioration to render indicative of water ingress is evident (Jones Lang LaSalle IP, Condition Survey Report - Kneller Hall, 2020).

3.2 Guards House

The Guards House is located adjacent to Kneller Hall building near the entrance to the site. The building is a two-storey structure and was constructed in the mid 19th century. The construction is load bearing masonry with timber joist first floor and tiled pitched roof. Internally, inclined steel angles can be seen below the upper floor ceiling, assumed to be part of a roof support truss.

The building is generally in good structural condition considering its age.

A brick arch above one of the windows at the rear single storey room has failed and cracking can be seen extending from the bottom corner of the window below. There are signs that the adjacent drainage pipe may not have been functioning adequately in staining on the brickwork.

Water ingress is noted near the plant room (Jones Lang LaSalle IP, Condition Survey Report - Kneller Hall Guard House, 2020).

3.3 Band Practice Hall

The Band Practice Hall is a single storey building located just behind the Guards house. The building was constructed early 20th century with solid brick walls and timber pitched roof supported by trusses. The building has been extended to the south with a single storey toilet block constructed mid 20th century. A basement plant roof is located below the rear part of the building, accessed by an external stair.

The building is generally in fair condition, however, there are significant defects to some elements as noted below.

Past remedial work is visible in the form of external piers on the truss lines to both sides of the building. A record drawing from the 1970 shows that the piers are concrete encased steels (back-to-back channels) which anchor remedial ties to the trusses. The concrete encasement to the piers is showing signs of spalling in some locations. Concrete to the top of one of the piers was removed in order to inspect the steel which, in this location, were not significantly corroded.

The structure shows evidence of significant movement as there is a large vertical crack to the rear elevation and a large diagonal crack to the internal dividing wall. These cracks appear to emanate from the interface with the basement wall. Evidence of multiple attempts to repair the crack in the rear elevation can be observed, however, none of these have been successful.

The sit investigation report states that the foundations to this structure do not appear to be functioning adequately and appear to be founded on relatively weak soils.

4.0 Discussion

4.1 Kneller Hall Main Building

The blockwork partition walls appear to be supported by the timber floors. It is likely that the floors have deflected under the weight of the masonry and that this has led to the cracking in the walls. The relatively low movement shown by the movement gauges over a long period of time indicated that the movements are not progressing significantly.

Water ingress to the basement is likely to be due to failed or inadequate waterproofing.

4.2 Guards House

Repair to the failed arch is not thought to be feasible using steel brick ties as there is no masonry above the arch.

Water ingress could be due to inappropriate detailing, failed roofing or non-functioning rainwater goods.

4.3 Band Practice Hall

The existing remedial works (ties and piers) are likely to have been installed in order to prevent spread of the trusses, with the external piers anchoring the ties and, possibly, reinforcing the masonry walls. Although the steel within the piers exposed as part of the opening-up works was not significantly corroded, the spalling would indicate that corrosion may be progressing to lower parts of the piers.

The foundations to the building are not performing adequately across the building. The cracking is likely to be caused by differential settlement between the basement and the adjacent areas, the basement structure likely founded on stronger ground than the adjacent foundations.

5.0 Remedial works & recommendations

5.1 General

- Roofing and weatherproofing to historic buildings are to be maintained in order to prevent water ingress. Any leaks detected are to be investigated and repaired as soon as practical in order to avoid degradation to structural elements.
- Rainwater goods are to be kept clean/clear and adequately maintained in order to ensure water is effectively shed from the building.
- A CCTV drainage survey has been carried out and has identified maintenance required to the drainage system. Below ground drainage is to be adequately maintained in order to ensure continued functionality. Defective drains can cause softening of the subgrade under foundations and so cause building movements leading to cracking.
- The site investigation reported noted that cohesive material is present in the ground. Any proposed tree planting is to be considered in relation to possible impact on building foundations and ground floors. Proposed trees are to be located at an adequate distance from the existing buildings in order to minimise the risk of desiccation affecting the buildings.

5.2 Kneller Hall Main Building

- Masonry walls that are built off timber joist floors and that show signs of cracking to be removed. Any replacement or new internal walls should be of lightweight construction (e.g. stud).
- Access to be gained to roof void and timber roof structure inspected for signs of degradation.
- Waterproofing specialist to examine basement and make recommendations for controlling moisture ingress.

5.3 Guards House

- Failed brick arch to be reconstructed or replaced with a proprietary steel lintel and brick reinstated.
- Cracking to masonry to be repaired.
- Rainwater goods and roofing to be inspected and cleared/repared as appropriate.

5.4 Band Practice Hall

- Underpinning to be carried out to building to prevent further settlement of the foundations. Either traditional mass concrete underpinning to sound, natural ground; or a piled underpinning system (mini-piles/screw piles) adequately fixed to the existing foundations to support the structure.
- Once foundations have been stabilised, the cracking to the masonry should be repaired.
- Spalling concrete encasement to the remedial piers to be removed and the steel inspected for corrosion. Any corrosion to be removed by mechanical means and concrete encasement reinstated with a corrosion inhibited cementitious repair mortar. Alternatively, concrete encasement can be removed entirely and an alternative form of corrosion protection suitable for external steel applied.



Photo 1 Water damage to right side basement stair in the main Kneller Hall west wing building (Photo taken from Jones Lang LaSalle IP, Condition Survey Report - Kneller Hall Guard House, 2020)



Photo 2 Movement gauge showing minimal further movement to one of the solid walls at level 3 Kneller Hall main house (west wing)



Photo 3 Opening up works showing existing floor joists at the first floor in the Guards House



Photo 4 Failed Brick Arch above sash window at the rear storage room in the Guards House



Photo 5 Remedial piers formed of encased steels (back-to-back channels) which anchor remedial ties to the trusses in the Bank Practice Hall



Photo 6 Significant vertical crack to the external gable wall at the rear of the Band Practice Hall

Emma Penson

From: Emma Penson
Sent: 26 May 2023 15:12
To: Grace.Edwards@richmondandwandsworth.gov.uk
Subject: Kneller Hall -Structural Information
Attachments: Band Practice Hall - Current drawings.pdf; Kneller Hall Stair - Current Drawings.pdf

Hi Grace,

Thank you for your and Rob's time yesterday on the call.

Following yesterday's call, please see below and attached from the structural consultant. This looks to provide responses to most of the questions but she has noted where information is to follow.

I'd be grateful if you could pass this on to Stand Consulting Engineers to review. I would also be grateful if Stand could advise whether this information is likely to address their comments or if they have concerns/ expect further information will be required, beyond what AKS Ward has already advised they will provide.

Kind Regards
Emma

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From: Sara Nain Hallett <Sara.NainHallett@aksward.com>
Sent: Friday, May 26, 2023 2:34 PM
To: Emma Penson <emma.penson@dwdllp.com>
Cc: Ahmed Alihasan <ahmed.alihasan@aksward.com>
Subject: FW: L221004 Kneller Hall - Latest Drawings and Note

Emma,

Further to yesterday's meeting please find attached the latest drawings alongside some notes and our proposed actions below. I'd be grateful if you could pass these onto Stand Consultants and the LA. As discussed, the outstanding items noted below will be issued no later than 16th June although we will of course endeavour to expedite this where possible.

Band Practice Hall

Existing Structure

- The existing foundations comprise a shallow 18" (470mm) mass concrete strip footing to the perimeter walls. These foundations are located on made ground comprising weak clay soils interspersed with gravel and brick/ concrete rubble material to a depth of 2-2.5m. The exception to this is the small basement located in the south west corner which appears to be founded on the stiffer River Terrace deposits.
- The roof structure comprises timber trusses at ~3.33m c/c with timber rafters spanning horizontally between. Remedial works were undertaken in 1972 to limit eaves spread by installing steel tension tie rods and external concrete encased PFC columns supported off shallow pad foundations have been used to 'buttress' the existing wall.

Proposed Structural Interventions (Superstructure)

- It is proposed to construct a single story timber extension to the south side of the existing band practice hall. At high level the new timber roof will be supported directly from the existing concrete encased PFC columns which form 'buttresses' at the existing truss locations.
- New mezzanine floor structures to be installed between gridlines A and C.
- New steel truss installed along gridline B with existing truss and PFC columns demolished.
- Tie rods to existing trusses along gridlines C and D lifted by 800mm to accommodate the new tiered seating. *As requested, AKS Ward will provide force diagram/ calculations showing the revised tie locations have been considered and that the existing structure can accommodate the proposed changes.*
- New plant screen to west elevation of the building. This is to be independent of the existing historic structure. Note, cantilever beams over basement will not be needled through basement wall (high level) and are shown incorrectly on drawing 3011.

Proposed Structural Interventions (Substructure)

- Underpinning is proposed to stabilise the existing building where cracking is visible around the west gable end and along the north elevation. At the west gable a large vertical crack is visible in the external wall. This has been repaired previously but has opened up again and appears to be due to differential settlement caused by the west gable wall being founded on soils of varying stiffness. Along the north elevation cracking is visible to at the corner of two brick arches over windows. Again, this is likely to be due to the variability in stiffness of the made ground. Conversely, the east and south elevations are in relatively good condition with no structural cracking observed. There is an argument that it would be possible to avoid underpinning these elevations however, given the requirements for substructure works directly adjacent to the south elevation (new single story extension) a 'belt and braces' approach has been taken to ensure that all existing building foundations will bear directly into the stiffer River Terrace deposits underlying the made ground. Underpinning is proposed to take the form of helical screw piles to the external elevations rather than traditional mass concrete underpins that would need to be ~2.5m depth to locate suitable stiff ground. Note, the screwpile design is a proprietary item and are still subject to discussion with the SSC to confirm pile spacing and head details.
- Given the weak soils at shallow depth it is proposed to use piled foundations to support the new extension building to the southern elevation. The existing south masonry wall will be supported on a combination of helical screw pile underpins and steel needle beams at gridlines (existing truss locations). Additional load is added onto the PFC column locations and as it is not possible to use a screwfix underpin in these locations (shallow, small pads) steel needle beams have been provided just below ground floor slab level to 'clamp' the existing columns and transfer vertical loads back to new CFA piled foundations. Loads from the existing masonry building are also concentrated in these locations therefore, to ensure that the existing brick wall is continuously underpinned along its length the steel needle beams pass through the wall to pick up the existing wall load and ensure it is supported on firmer ground. New CFA piled foundations will be designed to a similar stiffness profile as the screw piles to limit forming soft spots along the south elevation.

Remedial Works

- As discussed, a package of standard remedial works will be developed once we have access to all areas of the buildings and finishes have been removed. These will likely take the form of helifix crack stitching to the external façade, concrete elbow ties and allowance for removing and replacing areas of damaged brick with new brickwork fully toothed and bonded to the original. Some spalling has been noted to concrete encasement of the PFC columns and this will be removed and replaced. It was discussed on the call that it would be appropriate for these details to be secured by planning condition and that it would be the Council’s heritage officer who would be responsible for reviewing these details.

Kneller Hall

- As discussed, whilst the floor structures have been replaced lateral restraint will be provided at half landing and landing levels. *AKS Ward will provide a mark up of the rear elevation and calculations to show that masonry wall panel can span horizontally under lateral loading.*
- Remedial works as above.

Guards House

- Remedial works as above.

Any queries please call.

Kind Regards

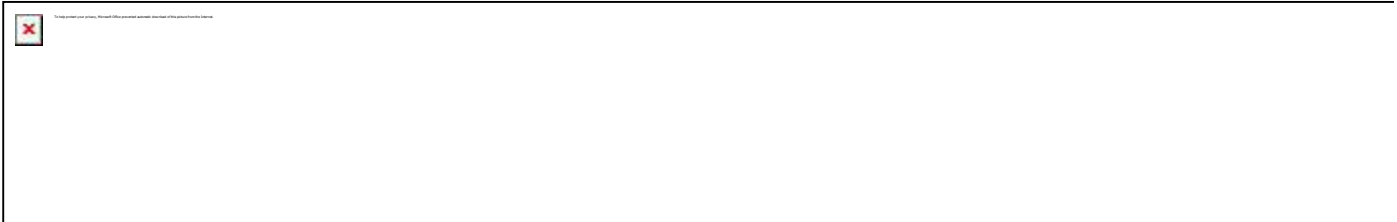
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Project: Kneller Hall, Band Practice Hall

Project No: L211031

By SNH	Date 2023.07.10	Sheet 01	Circulate to	File <input type="checkbox"/>	Action
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Response to Stand Engineering Consultants Queries P2

This file note provides a response to the outstanding queries noted by Stand Consulting Engineers on document ‘Comments on Proposed Structural Works. Rev P2’ received 26th June 2023. Stand’s queries are shown below in red with the AKS Ward response directly under.

230621 - We have not yet received a summary of the historic movements or the pattern of the cracks in the brickwork walls. We had understood from the meeting on the 25th May that this could be made available. AKS Ward should be asked to submit this.

AKS Ward: We have provided a video which captures the visible cracking shown on each elevation. At the west gable a large vertical crack is visible in the external wall. This has been repaired previously but has opened-up again and appears to be due to differential settlement caused by the west gable wall being founded on soils of varying stiffness. Along the north elevation cracking is visible at the corner of two brick arches over windows with some cracking to the spandrel panels at lower level. Again, this is likely to be due to the variability in stiffness of the made ground. Conversely, the east and south elevations are in relatively good condition with no structural cracking observed. A brief summary of repairs to the existing building is provided below based on record information.

Date	Condition
1900	Construction of Band Practice Hall
1967	Cracking to west gable noted. North-west corner of building underpinned to prevent further movement. Assumed that cracks were repaired as part of the works.
1972	Remedial works to new trusses with installation of new steel rod ties and concrete encased steel columns as buttresses to external masonry walls.

Diagonal cracking is visible on the internal wall within the existing building (see photo below). Again, this is indicative of differential settlement with the wall partially founded on the deeper basement at the west end. Note, this wall is proposed to be demolished as part of the refurbishment works.



Figure 1: Cracking to Internal Masonry Wall

230621 – We have received an updated set of drawings from AKS Ward which set out the proposed underpinning works to the Band Practice Hall. The proposal is to underpin the building with a mix of mini-piles (installed adjacent to the existing footings) and support the base of the brickwork walls on cantilevered ground beams (which are in turn supported on piles). The mixed approach to the underpinning is unusual and increases the risk of differential movement that could lead to further damage to the historic fabric. AKS Ward should explain the logic of the underpinning approach adopted, the anticipated movement induced in the building after the works and set out why a traditional approach is not being pursued.

AKS Ward: The SI report notes that the existing foundations are located on made ground comprising weak clay soils interspersed with gravel and brick/ concrete rubble material to a depth of 2-2.5m. The exception to this is the small basement in the south-west corner which appears to be founded on the stiffer River Terrace deposits. Traditional mass concrete underpins would therefore, need to ~2.5m depth to locate suitable stiff ground and would require temporary works to maintain stability of the excavation during construction. Helical screw piles embedded into stiffer strata have been proposed as an alternative. In order to limit further movement, it is proposed to underpin all perimeter walls except for the existing basement which is already founded on the stiffer river terrace deposits.

Concrete encased PFCs on shallow pad foundations were installed in the 1970s to act as 'buttresses' reducing lateral thrust generated by the existing timber roof trusses. Along the south elevation a new timber framed extension is proposed to frame directly into the side of these buttress columns. As this would increase loadings on an already failing foundation it is proposed to install steel needle beams on cantilevered ground beams to transfer load back to new stiff piled foundations. In these locations as the needles pass directly through the base of the existing façade they will pick up both the vertical load from the buttress columns as well as the 'column' of brickwork directly above. Differential settlement due to the new remedial works may occur for two reasons:

- 1) Helical screw piles and major piles founded on different strata
- 2) Deflection at the tip of the cantilever

As both the major pile and the screwpile design are proprietary design items, input from both specialists will be required to verify the relevant support stiffnesses and to confirm proposed limits for differential settlement at the head of the pile under working load. Total settlement of both piled solutions will be limited to 10mm as per standard design guidance which is inclusive of long-term settlement and imposed loading. Our initial appraisal envisages that differential settlement between north and south and south facades will be approximately 5mm. This will be reviewed in conjunction with the specialist designers during the next phase of works.

230621 – The updated drawings indicate that the original truss on Gridline B is to be entirely removed and be replaced with a steel frame comprising steel column sections. The structural logic for the removal of the original fabric in this area is unclear from the drawings, we assume it relates to the need to lower the tie in this location. AKS Ward should be asked to set out their justification for the removal of the original truss and why is it not possible to retain it and design the new structure to be supplementary to the original (e.g. a frames adjacent to original truss line).

AKS Ward: The existing steel rod tie needed to be removed to suit theatre sight lines. As the tie rod had been installed as a remedial item to prevent roof spread, returning the truss to its original configuration would not be suitable for the proposed refurbishment works. A new steel frame is proposed in this location with the rafters connected directly to steel columns rather than being supported on the existing masonry walls. The position of this frame is to suit the Architect's seating arrangements. It cannot be brought forwards without a reduction in the total number of seats.

230621 – The works proposed to the Band Practice Hall are highly intrusive. AKS Ward should also provide a summary of the sequence of construction of works that they have assumed will be adopted during the development of their design and set out any mitigation measures they expect the Contractor to take during the works to mitigate damage to the historic fabric.

AKS Ward: The proposed sequence of works will be developed in conjunction with the Contractor's Temporary Works Engineer and SSCs to ensure stability of the existing building is maintained at all times. An outline sequence of works is proposed as follows however, this will be updated as the design progresses.

- 1) Remedial works to existing masonry walls e.g installation of stitch ties across cracking, making good of existing damaged brickwork, installation of new RC elbow ties etc. Further investigations to be undertaken to review condition of existing roof trusses at high level and exploratory works to inform SSC design
- 2) Helical screwpile underpinning to existing band practice hall building and stabilisation of existing masonry walls.
- 3) Demolition of internal masonry wall and removal of concrete encasement where required to existing buttress columns for both permanent and temporary works.
- 4) Installation of adjacent piled foundations, caps and ground beams
- 5) Installation of temporary works to support and level of existing buttress columns along south façade during needling. Internal props/ties to existing truss on gridline B to allow for removal of adjacent buttress columns.
- 6) Installation of new needle beams through new openings cut into existing masonry wall.
- 7) Installation of new gridline B steel frame.
- 8) Demolition of adjacent roof truss. Making good to adjacent roof structure.
- 9) Install new roof ties. Existing roof ties removed.
- 10) Construction of adjacent timber frame extension building.
- 11) Construction of new plant room frame.

Response to Stand Consulting Engineers Comments dated August 2023

Response prepared by AKS Ward with input from ADP Architects and Icen Heritage Consultants

Issued to LBRuT: 06.09.23

Stand's Outstanding Query:

230815 – AKS Ward have noted that the new extension directly abuts the south elevation of the existing band practice hall and the underpinning strategy changes from helical screw piles to cantilevered ground beams is to address concerns over increasing loads through the existing foundation. We do not understand this statement. Based on AKS Wards comments, we understand the Helical screw piles are intended to underpin the existing foundations and therefore any existing/new loads would by-pass the existing “failing” foundations. Secondly, it would be structurally feasible to have the new extension be entirely structurally independent of the band practice hall to mitigate this issue. AKS Ward note that there is a risk differential settlement between the two underpinning strategies. **Please can AKS Ward set out why it is not feasible to underpin the band practice hall with screw piles alone and design the new extension to be structurally independent to mitigate the risk of differential settlement.**

Response:

During the initial design development for the proposed extension, designing the extension as an independent structure was initially considered. As the design developed the strategy for piled underpinning to the existing building and piled foundations for the extensions was formalised. Ultimately, the existing building and new building will be founded on piled foundations with the pile performance settlement criteria is prescribed by AKSWard and thus the risk associated with differential settlement has been reasonably mitigated. Upon this basis AKSWard concluded that it was not necessary to design the extension building as an independent structure.

The primary reason for using a combination of screw pilea and CFA piles evolved from discussions held with specialist piling contractors. The tensile loads realised where cantilever ground beams are provided could not be sustained by the screw piles. Given both piled elements will be bearing onto stiffer strata, the anticipated differential settlement is considered to be insignificant. As noted previously, this will be reviewed further with the specialist pile designers as part of the next phase of works.

An added benefit of the above conclusion is it negates the need for a structural movement joint between new and existing buildings. Structural movement joints can complicate the detailing of the external building fabric and are often inherent weak points and a source of potential future defects such as water ingress which can be detrimental to the structure beneath.

Furthermore, had it been necessary to design the extension as an independent structure, an additional row of columns set-off from the south elevation would have needed to have been introduced at the detriment of the architectural layouts which would have required increasing the massing of the extension.

Stand's Outstanding Query:

230815 – The proposal set out by AKS Ward to remove the ties and existing truss is structurally feasible. However, it does result in a loss of historic fabric. We do not know if alternative structural proposals mitigate this loss of historic fabric (triggered by the removal of the ties) have been explored. Options could include external buttressing, or stiffening of the existing roof to transfer the spreading load to adjacent frames where the ties are not be removed. **The conservation officer should be asked to comment on the loss of fabric is acceptable or whether AKS Ward should be asked to verify why other structural alterations to enable the retention of the existing truss is not feasible.**

Response:



Photograph taken inside the Band Practice Hall, looking towards the internal wall to be removed

The photograph above shows the internal wall that is being removed. A tie, which is not original nor part of the original building design, is visible. No truss is visible. Discussions with Icen Heritage Consultants and ADP suggest that it may be appropriate to assume that there is no longer a truss in this location. If one was present in this location, it may have been removed when the internal wall was installed. However, with the wall in situ this cannot be confirmed.

If a truss does exist in this location, concealed within the wall, given the designated status of the building, it is necessary to assess the potential for the removal of this fabric to affect its significance. As the building is curtilage listed, it derives its significance from its appreciable association with the listed Kneller Hall, and the hall's use as a Royal Military School for Music. The truss is not considered to contribute to an appreciation of this association. It is not presently visible, though likely comprises a standard design; if it is historic, four potential replicas already exist within the space and will be retained. Furthermore, the truss does not directly support the expressed former use of the building as a band practice hall.

The removal of this feature, if it does exist, will thereby maintain legibility of the historic form and function of the building and preserve its significance as a curtilage listed building to the listed hall. As such, this proposed change is considered to have no heritage impact.

The removal of this wall and potentially the truss concealed within the wall, if it does exist, together with the introduction of a new steel frame is necessary to provide the new theatre seating and the requirement for clear site lines to the front of the hall (the stage area) at mezzanine level. The design for this area has been developed alongside the Architect, Heritage Consultant and the design team, to ensure that the alterations of this building, meet the school's requirements, whilst also being sympathetic to the building's historic significance.

Appendix 2: Iceni Heritage Statement (April 2023)

Kneller Hall, 65 Kneller Road Twickenham

HERITAGE STATEMENT | APRIL 2023

On behalf of Dukes Education

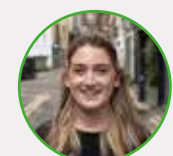


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Section 1

Introduction.

1.1 This Heritage Statement is supplied to provide an assessment of the significance of Kneller Hall, 65 Kneller Road, Twickenham (henceforth 'the Site') and the impact of the proposal upon this significance. The proposal comprises the redevelopment of the Site for educational use and involves the demolition, construction and conversion of existing buildings and structures within the Site boundary. In particular, it is proposed that alterations be carried out to the main hall to improve its functionality as an educational building.

1.2 The Site includes the Grade II listed 'Kneller Hall and Boundary Walls, Royal School of Music', as well as the associated Grade II listed 'Gate Piers to Royal School of Music', located at the Site's southern entrance. The Band Practice Hall, Guard Room, surviving garden wall and boundary wall are considered to be curtilage listed. The Site is not located within a conservation area, nor are there any locally listed buildings located within the Site boundary.

1.3 The Site has been allocated within the Kneller Hall Masterplan Supplementary Planning Document ('MSPD'). This document was produced by the London Borough of Richmond upon Thames (LBRuT) to guide the future development of the Site - including the uses it could facilitate - so that it can support the vitality and viability of the local area as a whole. A Heritage Assessment has also been prepared on behalf of the LBRuT by Alan Baxter Associates, which provided the basis for the LBRuT's MSPD. Both of these documents have been reviewed and have informed an assessment of the proposed redevelopment scheme.

1.4 This report will:

- Set out the relevant legislative and policy framework within which to understand the proposed redevelopment scheme;
- Provide a proportionate and robust analysis of the Site and its historic development, including the Site's landscaping;
- Describe the Site and its associated heritage assets and appraise their heritage significance; and,

- Assess the impact of the proposed redevelopment scheme on the significance of the Site. This assessment will focus on three key elements of the proposal; the masterplan, alterations to the main hall and the conversion and alteration of curtilage listed buildings.

1.5 The Site and surrounding area have been appraised during multiple Site visits carried out between July 2021 and September 2022. Archival research has involved the analysis of material held by Richmond Local Studies and the London Metropolitan Archives, as well as digitised material sourced at Archive.org and British History Online. A desk-based study has been undertaken and included a review of the Kneller Hall MSPD, the report prepared by Alan Baxter and Ordnance Survey map regression. Further historic research has been undertaken with consultation and guidance by local historian and author, Ed Harris.

1.6 This proposed development scheme has been informed by discussions with Officers at LBRuT during pre-application consultations held in December 2021 and March, July and August 2022. Consultation with the LBRuT Design Review Panel in March and July 2022 has also been undertaken as part of the proposal development process and has likewise steered design progression, as has consultation feedback from the Greater London Archaeological Advisory Service.

1.7 Additional consultation with Officers at LBRuT has been carried out as part of a separate, though associated, application process for enabling works at the Site. This application related to on-site investigations involving structural surveys and opening up works which have supplemented research and have provided a better understanding of the condition of existing built fabric.

1.8 The report is by Icen Projects. Specifically, it is authored by Georgina Mark MSt (Cantab) BA (Hons) Senior Consultant, with review by Rebecca Mason, Associate Consultant of the Heritage and Townscape Team at Icen Projects.

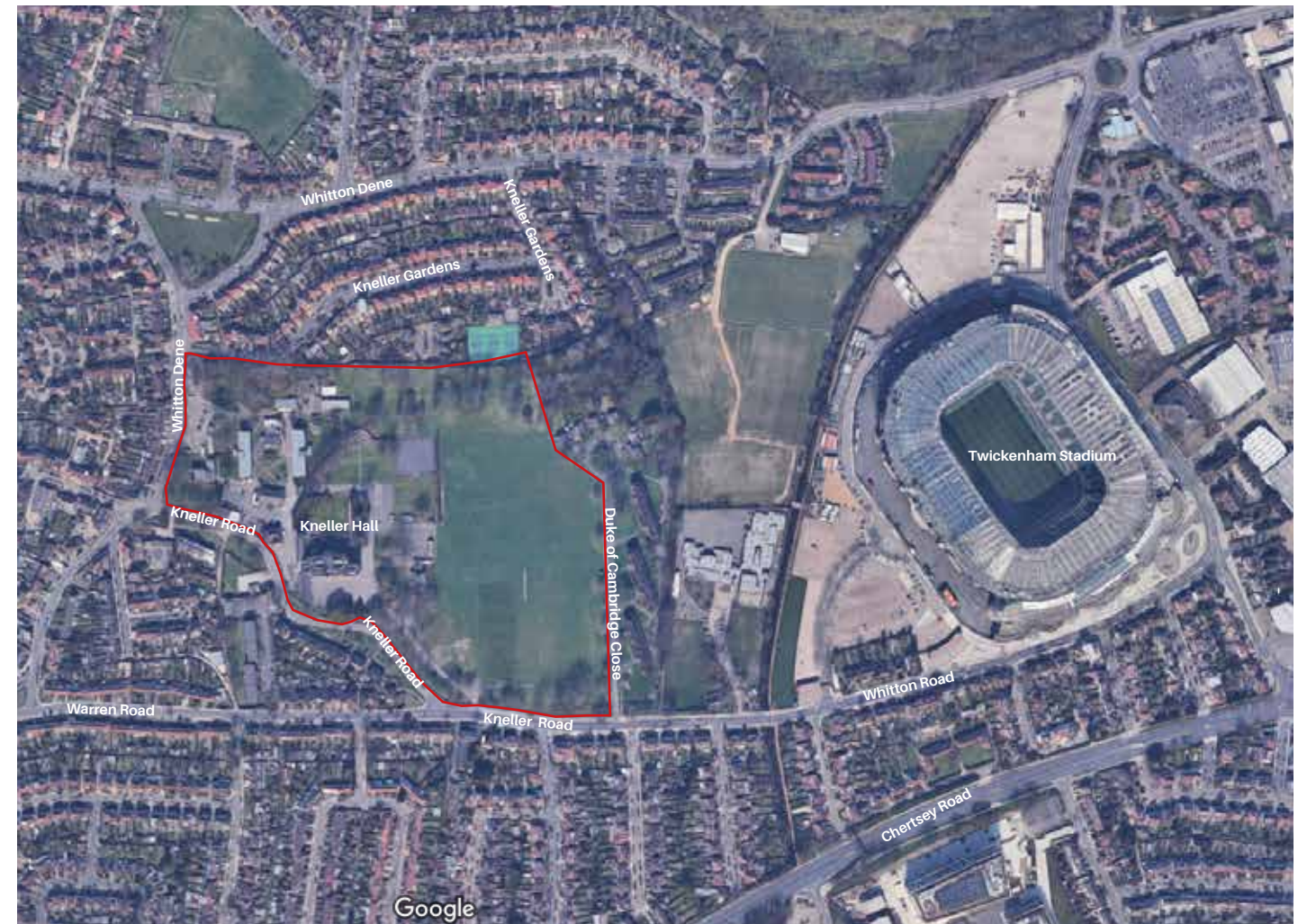


Figure 1.1 Site location

Section 2

**Planning, Legislation, Policy &
Guidance.**

2 Planning, Legislation, Policy & Guidance

Legislation

- 2.1 Where any development may have a direct or indirect effect on designated heritage assets, there is a legislative framework to ensure the proposals are considered with due regard for their impact on the historic environment set out in Planning (Listed Buildings and Conservation Areas) Act 1990.
- 2.2 Section 72(1) of the Act, meanwhile, states that:
- ‘In the exercise, with respect to any buildings or other land in a conservation area, of any functions under or by virtue of any of the provisions mentioned in subsection (2), special attention shall be paid to the desirability of preserving or enhancing the character or appearance of that area.’

National Policy

National Planning Policy Framework (July 2021) (As amended)

- 2.3 In July 2018, the government published the updated National Planning Policy Framework (“NPPF”), which was again updated in February, June 2019 and July 2021. This maintains the focus on sustainable development that was established as the core of the previous, 2012, NPPF.
- 2.4 This national policy framework encourages intelligent, imaginative and sustainable approaches to managing change. Historic England has defined this approach, which is reflected in the NPPF, as ‘constructive conservation’: defined as ‘a positive and collaborative approach to conservation that focuses on actively managing change...the aim is to recognise and reinforce the historic significance of places, while accommodating the changes necessary to ensure their continued use and enjoyment’ (Constructive Conservation in Practice, Historic England, 2009).
- 2.5 Section 12, ‘Achieving well-designed places’, reinforces the importance of good design in achieving sustainable development, by ensuring the creation of inclusive and high quality places. This section of the NPPF affirms, in paragraph 130, the need for new design to function well and add to the quality of the surrounding area, establish a strong sense of place, and respond to local character and history, including the surrounding built environment and landscape setting, while not preventing or discouraging appropriate innovation or change (such as increased densities).
- 2.6 The guidance contained within Section 16, ‘Conserving and enhancing the historic environment’, relates to the historic environment, and developments which may have an effect upon it.
- 2.7 Heritage Assets are defined in Annex 2 of the NPPF as: ‘A building, monument, site, place, area or landscape identified as having a degree of significance meriting consideration in planning decisions, because of its heritage interest. It includes designated heritage assets and assets identified by the local planning authority (including local listing).’ Listed buildings and Conservation Areas are both designated heritage assets.
- 2.8 ‘Significance’ is defined as ‘The value of a heritage asset to this and future generations because of its

- heritage interest. The interest may be archaeological, architectural, artistic or historic. Significance derives not only from a heritage asset’s physical presence, but also from its setting. For World Heritage Sites, the cultural value described within each site’s Statement of Outstanding Universal Value forms part of its significance.’
- 2.9 The ‘Setting of a heritage asset’ is defined as ‘The surroundings in which a heritage asset is experienced. Its extent is not fixed and may change as the asset and its surroundings evolve. Elements of a setting may make a positive or negative contribution to the significance of an asset, may affect the ability to appreciate that significance or may be neutral.’
- 2.10 Paragraph 192 requires local authorities to maintain or have access to a historic environment record. This should contain up-to-date evidence about the historic environment in their area and be used to assess the significance of heritage assets and the contribution they make to their environment.
- 2.11 Paragraph 194 states that, when determining applications, local planning authorities should require applicants to describe the significance of the heritage assets affected and any contribution made by their setting. The level of detail provided should be proportionate to the significance of the asset and sufficient to understand the impact of the proposal on this significance. According to Paragraph 190, local planning authorities are also obliged to identify and assess the significance of any heritage asset that may be affected by a proposal and should take this assessment into account when considering the impact upon the heritage asset.
- 2.12 Paragraph 197 emphasises that local planning authorities should take account of: the desirability of sustaining and enhancing the significance of heritage assets and putting them to viable uses consistent with their conservation; the positive contribution that conservation of heritage assets can make to sustainable communities including their economic vitality; and the desirability of new development making a positive contribution to local character and distinctiveness.
- 2.13 Paragraph 199 states that when considering the impact of a proposed development on the significance of a designated heritage asset, great weight should be given to the asset’s conservation.

- It emphasises that the weight given to an asset’s conservation should be proportionate to its significance, and notes that this great weight should be given irrespective of whether any potential harm amounts to substantial harm, total loss or less than substantial harm to its significance.
- 2.14 Paragraph 200 states that any harm to, or loss of, the significance of a designated heritage asset (from its alteration or destruction, or from development within its setting), should require clear and convincing justification.
- 2.15 Paragraphs 201 and 202 address the balancing of harm against public benefits. If a balancing exercise is necessary (i.e. if there is any harm to the asset), considerable weight should be applied to the statutory duty where it arises. Proposals that would result in substantial harm or total loss of significance should be refused, unless it can be demonstrated that the substantial harm or loss is necessary to achieve substantial public benefits that outweigh that harm or loss (as per Paragraph 201). Whereas, Paragraph 202 emphasises that where less than substantial harm will arise as a result of a proposed development, this harm should be weighed against the public benefits of a proposal, including securing its optimum viable use.
- 2.16 Paragraph 203 requires a balanced judgment for proposals that affect non-designated heritage assets, having regard to the scale of any harm or loss and the significance of the heritage asset.
- 2.17 Paragraph 206 encourages opportunities for new development within, and within the setting of, Conservation Areas and World Heritage Sites, to enhance or better reveal their significance. It requires favourable treatment for proposals that preserve those elements of the setting that make a positive contribution to the asset or which better reveal its significance.
- 2.18 Paragraph 207 notes that not all elements of Conservation Areas and World Heritage Sites will contribute to their significance, but that, if harm to their significance is caused, decisions should follow the balancing exercise set out in paragraph 201 and 202, as appropriate.

National Design Guide (September 2019)

2.19 In September 2019, the Ministry of Housing, Communities and Local Government (MHCLG) produced a National Design Guide illustrating how well-designed places that are beautiful, enduring and successful can be achieved in practice. It forms part of the Government's collection of planning practice guidance, alongside the separate planning practice guidance on design process and tools.

2.20 The Guide recognises that well-designed places have individual characteristics which work together to create its physical Character. It introduces 10 specific characteristics that would need to be considered when considering new development. These are:

- **Context** - An understanding of the context, history and the cultural characteristics of a site, neighbourhood and region influences the location, siting and design of new developments.
- **Identity** - The identity or character of a place comes from the way that buildings, streets and spaces, landscape and infrastructure combine together and how people experience them. It is not just about the buildings or how a place looks, but how it engages with all of the senses.
- **Built form** - Built form is the three-dimensional pattern or arrangement of development blocks, streets, buildings and open spaces. It is the interrelationship between all these elements that creates an attractive place to live, work and visit, rather than their individual characteristics.
- **Movement** - Patterns of movement for people are integral to well-designed places. They include walking and cycling, access to facilities, employment and servicing, parking and the convenience of public transport. They contribute to making high quality places for people to enjoy. They also form a crucial component of urban character.
- **Nature** - Nature contributes to the quality of a place, and to people's quality of life, and it is a critical component of well-designed places. Natural features are integrated into well-designed development. They include natural and designed landscapes, high quality public open spaces, street trees, and other trees, grass, planting and water.
- **Public spaces** - The quality of the spaces between buildings is as important as the buildings themselves. Public spaces are streets, squares, and other spaces that are open to all. They are the setting for most movement. The design of a public space encompasses its siting and integration into the wider network of routes as well as its various elements.

- **Uses** - Sustainable places include a mix of uses that support everyday activities, including to live, work and play. They need to include an integrated mix of tenures and housing types that reflect local housing need and market demand. They are designed to be inclusive and to meet the changing needs of people of different ages and abilities.
- **Homes and buildings** - Well-designed homes and buildings are functional, accessible and sustainable. They provide internal environments and associated external spaces that support the health and well-being of their users and all who experience them. They meet the needs of a diverse range of users, taking into account factors such as the ageing population and cultural differences.
- **Resources** - Well-designed places and buildings conserve natural resources including land, water, energy and materials. Their design responds to the impacts of climate change. It identifies measures to achieve: mitigation, primarily by reducing greenhouse gas emissions and minimising embodied energy; and; adaptation to anticipated events, such as rising temperatures and the increasing risk of flooding.
- **Lifespan** - Well-designed places sustain their beauty over the long term. They add to the quality of life of their users and as a result, people are more likely to care for them over their lifespan. They have an emphasis on quality and simplicity.

2.21 MHCLG further intend to publish a National Model Design Code, setting out detailed standards for key elements of successful design. This will intend to consider the findings of the Building Better, Building Beautiful Commission and recommendations to the Government on how to promote and increase the use of high-quality design for new build homes and neighbourhoods.

2.22 The Guide acknowledges that quality design does not look the same across different areas of the country, for instance, that by definition local vernacular differs. MHCLG, therefore, expects that local planning authorities develop their own design codes or guides, taking in to consideration the National Model Design Code. These would be expected to set clear parameters for what good quality design looks like in their area, following appropriate local consultation.

2.23 In support of Paragraph 130 of the National Planning Policy Framework, which states requires local authorities to refuse "permission for development of poor design that fails to take the opportunities available for improving the character and quality of

an area and the way it functions, taking into account any local design standards or style guides."; MHCLG expects that in the absence of local design guidance, local planning authorities will defer to the illustrated National Design Guide and National Model Design Code.

Planning Practice Guidance ("PPG") (Department for Communities and Local Government, March 2014)

2.24 The guidance in the PPG supports the NPPF. It reiterates that conservation of heritage assets in a manner appropriate to their significance is a core planning principle. Paragraph 002 states that conservation is an active process of maintenance and managing change that requires a flexible and thoughtful approach, and that neglect and decay of heritage assets is best addressed through ensuring that they remain in active use that is consistent with their conservation.

2.25 Paragraph 006 sets out how heritage significance can be understood in the planning context as archaeological, architectural, artistic or historic, defined as follows:

- **archaeological interest:** As defined in the Glossary to the National Planning Policy Framework, there will be archaeological interest in a heritage asset if it holds, or potentially holds, evidence of past human activity worthy of expert investigation at some point.
- **architectural and artistic interest:** These are interests in the design and general aesthetics of a place. They can arise from conscious design or fortuitously from the way the heritage asset has evolved. More specifically, architectural interest is an interest in the art or science of the design, construction, craftsmanship and decoration of buildings and structures of all types. Artistic interest is an interest in other human creative skill, like sculpture.
- **historic interest:** An interest in past lives and events (including pre-historic). Heritage assets can illustrate or be associated with them. Heritage assets with historic interest not only provide a material record of our nation's history, but can also provide meaning for communities derived from their collective experience of a place and can symbolise wider values such as faith and cultural identity.

2.26 The PPG emphasises in paragraph 007 the importance of assessing the nature, extent and importance of a heritage asset in understanding the potential impact and acceptability of development proposals.

2.27 Paragraph 018 explains that, where potential harm to designated heritage assets is identified, it needs to be categorised as either less than substantial harm or substantial harm (which includes total loss) in order to identify which policies in the National Planning Policy Framework (paragraphs 194-196) apply. It goes on to state that whether a proposal causes substantial harm will be a judgment for the decision-maker, having regard to the circumstances of the case and the policy in the National Planning Policy Framework. In general terms, substantial harm is a high test, so it may not arise in many cases. For example, in determining whether works to a listed building constitute substantial harm, an important consideration would be whether the adverse impact seriously affects a key element of its special architectural or historic interest.

2.28 Harm may arise from works to the heritage asset or from development within its setting. Setting is stated to include the surroundings in which a heritage asset is experienced, and may be more extensive than its curtilage. A thorough assessment of the impact on setting needs to take into account, and be proportionate to, the significance of the heritage asset and the degree to which proposed changes enhance or detract from that significance and the ability to appreciate it.

2.29 The PPG also provides clear guidance in paragraph 020 on the meaning of 'public benefits', particularly in relation to historic environment policy, including paragraphs 193 to 196 of the NPPF. The PPG makes clear that public benefits should be measured according to the delivery of the three key drivers of sustainable development: economic, social and environmental outcomes, all of which are reflected in the objectives of the planning system, as per Paragraph 8 of the NPPF. Public benefits include heritage benefits, and do not always have to be visible or accessible to the public in order to be genuine public benefits, for example, works to a listed private dwelling which secure its future as a designated heritage asset could be a public benefit.

Historic Environment Good Practice Advice in Planning

2.30 To support the national policies, three separate Good Practice Advice in Planning Notes (GPA's) have been published by Historic England.

GPA 1: The Historic Environment in Local Plans [March 2015]

2.31 This advice note focuses on the importance of identifying heritage policies within Local Plans. The advice stresses the importance of formulating Local Plans that are based on up-to-date and relevant evidence about the economic, social and environmental characteristics and prospects of the area, including the historic environment, as set out by the NPPF.

2.32 The document provides advice on how information about the local historic environment can be gathered, emphasising the importance of not only setting out known sites, but in understanding their value (i.e. significance). This evidence should be used to define a positive strategy for the historic environment and the formulation of a plan for the maintenance and use of heritage assets and for the delivery of development including within their setting that will afford appropriate protection for the asset (s) and make a positive contribution to local character and distinctiveness.

2.33 The document gives advice on how the heritage policies within Local Plans should identify areas that are inappropriate for development as well as defining specific Development Management Policies for the historic environment.

GPA 2: Managing Significance in Decision-Taking in the Historic Environment [March 2015]

2.34 This document provides advice on numerous ways in which decision-taking in the historic environment could be undertaken, emphasising that the first step for all applicants is to understand the significance of any affected heritage asset and the contribution of its setting to its significance. In line with the NPPF and PPG, the document states that early engagement and expert advice in considering and assessing the significance of heritage assets is encouraged. The advice suggests a structured staged approach to the assembly and analysis of relevant information and is as follows:

- Understand the significance of the affected assets;
- Understand the impact of the proposal on that significance;
- Avoid, minimise and mitigate impact in a way that meets the objectives of the NPPF;
- Look for opportunities to better reveal or enhance significance;
- Justify any harmful impacts in terms of the sustainable development objective of conserving significance and the need for change;
- Offset negative impacts on aspects of significance by enhancing others through recording, disseminating and archiving archaeological and historical interest of the important elements of the heritage assets affected.

2.35 The advice reiterates that heritage assets may be affected by direct physical change or by change in their setting. Assessment of the nature, extent and importance of the significance of a heritage asset and the contribution of its setting at an early stage can assist the planning process in informed decision-taking.

2.36 The document sets out the recommended steps for assessing significance and the impact of development proposals upon it, including examining the asset and its setting and analysing local policies and information sources. In assessing the impact of a development proposal on the significance of a heritage asset the document emphasises that the cumulative impact of incremental small-scale changes may have as great an effect on the significance of a heritage asset as a larger scale change. Crucially, the nature and importance of the significance that is affected will dictate the proportionate response to assessing that change, its justification, mitigation and any recording which may be necessary.

GPA 3: The Setting of Heritage Assets (2nd Edition) [December 2017]

2.37 This advice note focuses on the management of change within the setting of heritage assets. It replaces The Setting of Heritage Assets: Historic Environment Good Practice Advice in Planning Note 3 - 1st edition, (2015) and Seeing the History in the View: A Method for assessing Heritage Significance within Views (English Heritage, 2011).

2.38 The advice in this document, in accordance with the NPPF, emphasises that the information required in support of applications for planning permission and listed building consent should be no more than is necessary to reach an informed decision, and that activities to conserve or invest need to be proportionate to the significance of the heritage assets affected and the impact on the significance of those heritage assets. At the same time those taking decisions need enough information to understand the issues.

2.39 This note gives assistance concerning the assessment of the setting of heritage assets and the statutory obligation on decision-makers to have special regard to the desirability of preserving listed buildings and their settings; and that settings can contribute to the significance of a heritage asset.

2.40 This note gives general advice on understanding setting and how it may contribute to the significance of heritage assets. It also provides a staged approach to taking decisions on the level of the contribution which setting and related views make to the significance of heritage assets. It suggests that, at the pre-application or scoping stage, the local authority, having due regard to the need for proportionality:

- indicates whether it considers a proposed development has the potential to affect the setting of (a) particular heritage asset(s), or
- specifies an 'area of search' around the proposed development within which it is reasonable to consider setting effects, or
- advises the applicant to consider approaches such as a 'Zone of Visual Influence' or 'Zone of Theoretical Visibility' in relation to the proposed development in order to better identify heritage

assets and settings that may be affected.

2.41 Particularly for developments that are not likely to be prominent or intrusive, the assessment of effects on setting may often be limited to the immediate surroundings, while taking account of the possibility that setting may change as a result of the removal of impermanent landscape or townscape features, such as hoardings or planting.

2.42 This should be followed by an analysis to assess whether the setting of an affected heritage asset makes a contribution to its significance and the extent and/or nature of that contribution; both setting, and views which form part of the way a setting is experienced, may be assessed additionally for the degree to which they allow significance to be appreciated.

2.43 The next stage is to identify the effects a development may have on setting(s) and to evaluate the resultant degree of harm or benefit to the significance of the heritage asset(s).

2.44 At the proposal stage, ways to maximise enhancement and avoid or minimise harm should be considered. Enhancement (see NPPF, paragraph 137) may be achieved by actions including:

- removing or re-modelling an intrusive building or feature
- replacement of a detrimental feature by a new and more harmonious one
- restoring or revealing a lost historic feature or view
- introducing a wholly new feature that adds to the public appreciation of the asset
- introducing new views (including glimpses or better framed views) that add to the public experience of the asset, or
- improving public access to, or interpretation of, the asset including its setting.

Regional Policy

The London Plan

2.45 Regional policy for the London area is defined by the London Plan. The New London Plan has now been adopted (March 2021) and deals with heritage issues in Chapter 7 Heritage and Culture, covering policies HC1 – HC7, London’s Living Spaces and Places – Historic environment and landscapes.

2.46 Policy HC1 Heritage Conservation and Growth requires boroughs to develop evidence that demonstrates a clear understanding of London’s historic environment. It further requires Boroughs to use this knowledge to inform the effective integration of London’s heritage in regenerative change by:

1. setting out a clear vision that recognises and embeds the role of heritage in place-making;
2. utilising the heritage significance of a site or area in the planning and design process;
3. integrating the conservation and enhancement of heritage assets and their settings with innovative and creative contextual architectural responses that contribute to their significance and sense of place; and,
4. delivering positive benefits that conserve and enhance the historic environment, as well as contributing to the economic viability, accessibility and environmental quality of a place, and to social wellbeing.

2.47 Part C - E of Policy HC 1 state that:

C “Development proposals affecting heritage assets, and their settings, should conserve their significance, by being sympathetic to the assets’ significance and appreciation within their surroundings. The cumulative impacts of incremental change from development on heritage assets and their settings should also be actively managed. Development proposals should avoid harm and identify enhancement opportunities by integrating heritage considerations early on in the design process”.

D “Development proposals should identify assets of archaeological significance and use this information to avoid harm or minimise it through design and appropriate mitigation. Where applicable, development should make provision for the protection of significant archaeological assets and landscapes. The protection of undesignated heritage assets of archaeological interest equivalent to a scheduled monument should be given equivalent weight to designated heritage assets”.

E “Where heritage assets have been identified as being At Risk, boroughs should identify specific opportunities for them to contribute to regeneration and place-making, and they should set out strategies for their repair and reuse”.

London Borough of Richmond Planning Policy

Local Plan 2018

2.48 The Local Plan for London Borough of Richmond upon Thames was adopted July 2018 and 3 March 2020 in relation to two legal challenges.

2.49 The Council’s Local Plan will set out policies and guidance for the development of the borough over the next 15 years. It looks ahead to 2033 and identifies where the main developments will take place, and how places within the borough will change, or be protected from change, over that period.

2.50 Policy SA 14 identifies Kneller Hall as a key site to assist with the delivery of the Spatial Strategy of the Local Plan as follows.

“Appropriate land uses include residential (including affordable housing), employment (B uses) and employment generating uses as well as social infrastructure uses, such as health and community facilities. Any proposal should provide for some employment floor space, including B1 offices. The Council will expect the playing fields to be retained, and the provision of high quality public open spaces and public realm, including links through the site to integrate the development into the surrounding area as well as a new publicly accessible green and open space, available to both existing and new communities.”

POLICY P1: LOCAL CHARACTER AND DESIGN QUALITY

2.51 A. The Council will require all development to be of high architectural and urban design quality. The high quality character and heritage of the borough and its villages will need to be maintained and enhanced where opportunities arise. Development proposals will have to demonstrate a thorough understanding of the site and how it relates to its existing context, including character and appearance, and take opportunities to improve the quality and character of buildings, spaces and the local area.

2.52 To ensure development respects, contributes to and enhances the local environment and character, the following will be considered when assessing proposals:

1. compatibility with local character including the relationship to existing townscape, development patterns, views, local grain and frontages as well

as scale, height, massing, density, landscaping, proportions, form, materials and detailing;

2. sustainable design and construction, including adaptability, subject to aesthetic considerations;

3. layout, siting and access, including making best use of land;

4. space between buildings, relationship of heights to widths and relationship to the public realm, heritage assets and natural features;

5. inclusive design, connectivity, permeability (as such gated developments will not be permitted), natural surveillance and orientation; and

6. suitability and compatibility of uses, taking account of any potential adverse impacts of the collocation of uses through the layout, design and management of the site.

2.53 All proposals, including extensions, alterations and shopfronts, will be assessed against the policies contained within a neighbourhood plan where applicable, and the advice set out in the relevant Village Planning Guidance and other SPDs relating to character and design. [...]

POLICY LP2: BUILDING HEIGHTS

2.54 The Council will require new buildings, including extensions and redevelopment of existing buildings, to respect and strengthen the setting of the borough’s valued townscapes and landscapes, through appropriate building heights, by the following means:

1. require buildings to make a positive contribution towards the local character, townscape and skyline, generally reflecting the prevailing building heights within the vicinity; proposals that are taller than the surrounding townscape have to be of high architectural design quality and standards, deliver public realm benefits and have a wholly positive impact on the character and quality of the area;
2. preserve and enhance the borough’s heritage assets, their significance and their setting;
3. respect the local context, and where possible enhance the character of an area, through appropriate:

- a. scale
 - b. height
 - c. mass
 - d. urban pattern
 - e. development grain
 - f. materials
 - g. streetscape
 - h. Roofscape and
 - i. wider townscape and landscape;
4. take account of climatic effects, including overshadowing, diversion of wind speeds, heat island and glare;
 5. refrain from using height to express and create local landmarks; and
 6. require full planning applications for any building that exceeds the prevailing building height within the wider context and setting.

POLICY LP3: DESIGNATED HERITAGE ASSETS

- 2.55 A. The Council will require development to conserve and, where possible, take opportunities to make a positive contribution to, the historic environment of the borough. Development proposals likely to adversely affect the significance of heritage assets will be assessed against the requirement to seek to avoid harm and the justification for the proposal. The significance (including the settings) of the borough's designated heritage assets, encompassing Conservation Areas, listed buildings, Scheduled Monuments as well as the Registered Historic Parks and Gardens, will be conserved and enhanced by the following means:
1. Give great weight to the conservation of the heritage asset when considering the impact of a proposed development on the significance of the asset.
 2. Resist the demolition in whole, or in part, of listed building. Consent for demolition of Grade II listed buildings will only be granted in exceptional circumstances and for Grade II* and Grade I listed

buildings in wholly exceptional circumstances following a thorough assessment of the justification for the proposal and the significance of the asset.

3. Resist the change of use of listed buildings where their significance would be harmed, particularly where the current use contributes to the character of the surrounding area and to its sense of place.

4. Require the retention and preservation of the original structure, layout, architectural features, materials as well as later features of interest within listed buildings, and resist the removal or modification of features that are both internally and externally of architectural importance or that contribute to the significance of the asset.

5. Demolitions (in whole or in part), alterations, extensions and any other modifications to listed buildings should be based on an accurate understanding of the significance of the heritage asset.

6. Require, where appropriate, the reinstatement of internal and external features of special architectural or historic significance within listed buildings, and the removal of internal and external features that harm the significance of the asset, commensurate with the extent of proposed development.

7. Require the use of appropriate materials and techniques and strongly encourage any works or repairs to a designated heritage asset to be carried out in a correct, scholarly manner by appropriate specialists.

8. Protect and enhance the borough's registered Historic Parks and Gardens by ensuring that proposals do not have an adverse effect on their significance, including their setting and/or views to and from the registered landscape.

9. Protect Scheduled Monuments by ensuring proposals do not have an adverse impact on their significance.

B. Resist substantial demolition in Conservation Areas and any changes that could harm heritage assets, unless it can be demonstrated that:

1. in the case of substantial harm or loss to the significance of the heritage asset, it is necessary to

achieve substantial public benefits that outweigh that harm or loss;

2. in the case of less than substantial harm to the significance of the heritage asset, that the public benefits, including securing the optimum viable use, outweigh that harm; or

3. the building or part of the building or structure makes no positive contribution to the character or distinctiveness of the area.

C. All proposals in Conservation Areas are required to preserve and, where possible, enhance the character or the appearance of the Conservation Area.

D. Where there is evidence of intentional damage or deliberate neglect to a designated heritage asset, its current condition will not be taken into account in the decision-making process.

- 2.56 E. Outline planning applications will not be accepted in Conservation Areas. The Council's Conservation Area Statements, and where available Conservation Area Studies, and/or Management Plans, will be used as a basis for assessing development proposals within, or where it would affect the setting of, Conservation Areas, together with other policy guidance, such as Village Planning Guidance SPDs.

Design Quality SPD (February 2006)

- 2.57 This document provides the overall context for design guidance for LBRuT and applies to the design of all new buildings regardless of use or size. The advice contained within it should be taken into consideration including when designing individual buildings, groups of buildings, and redevelopment proposals.

2 | Planning Legislation, Policy & Guidance

Kneller Hall Masterplan SPD (March 2020)

2.58 This document provides guidance to support the development of Kneller Hall which respond to the Site's existing constraints and future opportunities whilst conserving, and where possible, enhancing the historic and cultural legacy of Kneller Hall. The document identifies individual sub-areas within the Site and provides design guidance for the development of these areas.

-  Site boundary
-  Buildings to be retained
-  Metropolitan Open Land
-  Deciduous Woodland identified as Priority Habitat Inventory by Natural England
-  Grade II listed building
-  Grade II listed structure
-  Curtilage listed building
-  Below 300 mm surface water floodrisk
-  300-900 mm surface water floodrisk
-  Over 900 mm surface water floodrisk
-  Main access
-  Secondary access (Lodge Gate)
-  Listed gate (not in use)
-  Closed gate
-  Trees covered by TPO to be retained
-  Contours
-  Key Views

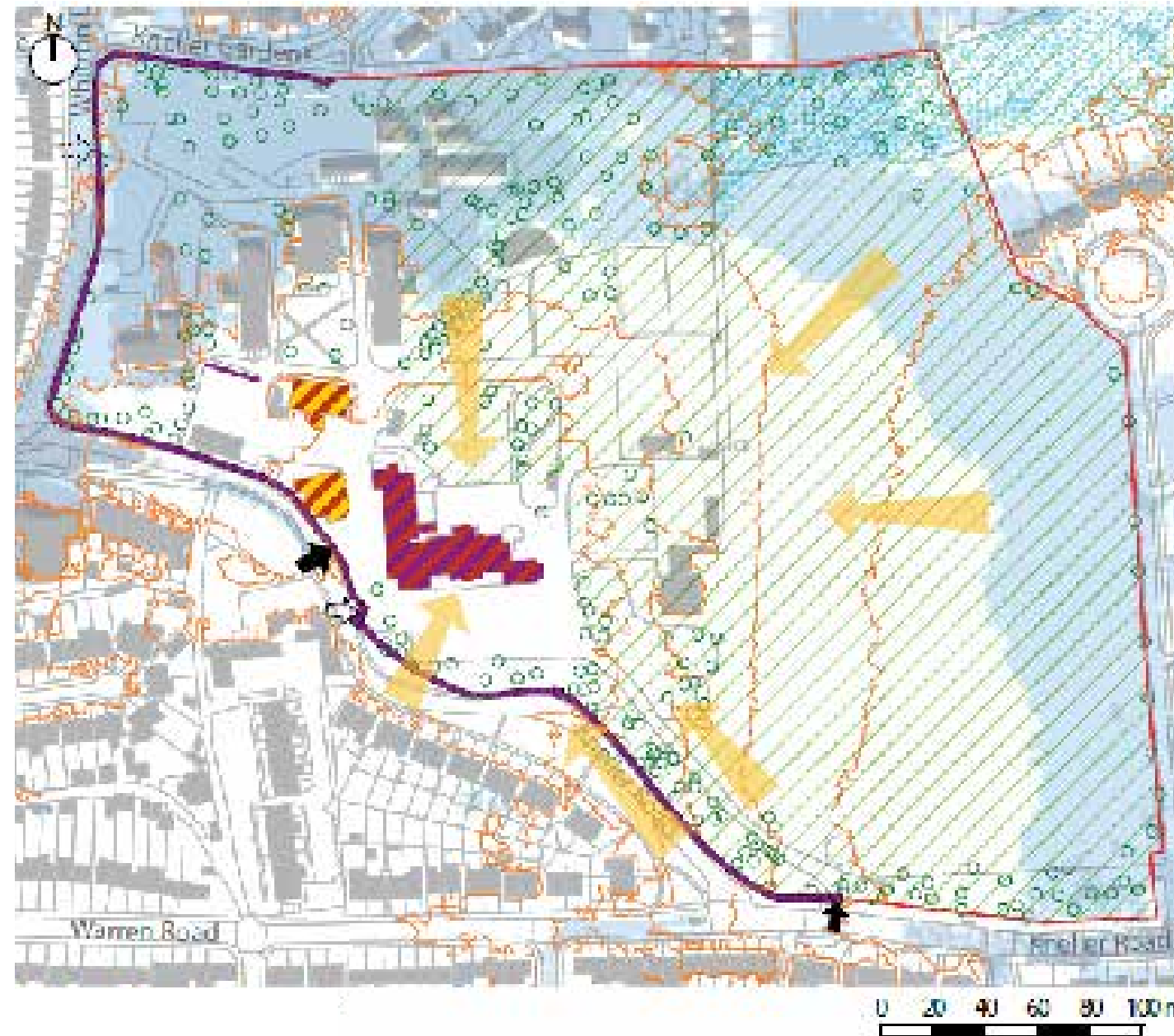


Figure 2.1 Constraints Map
Source: Kneller Hall Masterplan SPD

Historic England: Easy Access to Historic Buildings

2.59 This document provides guidance on access solutions for historic buildings that combine conservation with excellent and innovative modern design. This guidance states that the overall aim should be, as far as reasonably possible, to remove any disadvantage faced by disabled people when experiencing historic buildings.

The Equalities Act 2010

2.60 This Historic England guidance advises that in determining reasonableness, consideration be given to the dignity of disabled people and the extent to which they are caused inconvenience or anxiety. This guidance refers to The Equalities Act 2010, which anticipates the duty of service providers to take positive steps to provide a standard of access for disabled people that is equal to that enjoyed by the rest of the public. It acknowledges that this duty may require service providers to make reasonable adjustments to any physical features present in historic buildings.

2.61 This guidance advises that sensitive alteration of physical features for the improvement of accessibility will have due regard for what it is that makes a particular building special or significant. It emphasises the importance for features within historic buildings to be understood, both in their own right and in the context of the whole building.

The Building Regulations 2010

2.62 This Historic England guidance also refers to Document M of The Building Regulations 2010, which states, 'The need to conserve the special characteristics of such historic buildings must be recognised [...] the aim should be to improve accessibility where and to the extent that it is practically possible, always provided that the work does not prejudice the character of the historic building or increase the risk of long-term deterioration to the building fabric or fittings.'¹

¹ The Building Regulations 2010, Access to and use of Buildings, Approved Document M: Volume 2 Buildings Other than Dwellings

Section 3

Historic Development of the Site and Surroundings.

3 Historic Development of the Site and Surroundings

Historic Development of Whitton and the Surrounding Area

- 3.1 Whitton may have been in existence in 704 as a separate settlement claiming all the lands north of river Crane, but it is not named until the late twelfth century, when assarts (conversion of forest lands to arable fields) were being made to the south of the hamlet. The first precise reference came from an undated grant by Thomas de Valery, the Lord of the Manor who died in 1219. Mention is made to Radulfus, son of Gilbert of Whitton, indicating ownership going back to the 12th century (Twickenham Local History Society). Whitton was located in the parish of Twickenham as part of the Isleworth Hundred, along with the village of Heathrow.
- 3.2 As late as the seventeenth century most of Whitton's fields lay to north, east, and south, with comparatively small clearances from the heath on the west. The original village was centred around 200m north of Kneller Hall, marked by White Hart Inn, an inn dating back at least to the mid-seventeenth century and possibly much earlier. Records relating to this inn seem to suggest that Whitton had an importance that was not well recorded, or that travellers passed through it in considerable numbers.
- 3.3 Apart from a few larger houses to the south, the hamlet consisted of cottages grouped round several lanes where the road coming across the fields from the east (Whitton Road-Kneller Road) met that which ran along the edge of the heath from Hounslow over Whitton Bridge (later Hospital Bridge) to Hanworth.
- 3.4 During the Victorian era, Whitton was renowned as a 'market garden', known for its roses, narcissi, lilies of the valley and for its apple, plum and pear orchards. A Local Board for Twickenham, including Whitton, was formed in 1868, becoming an Urban District Council in 1895. Market gardening in Twickenham and Whitton reached a peak in the 1870s. The area at that time was later recalled as "The road to Whitton and Kneller Hall then lay between fields and agriculture of all kinds
- 3.5 There was a modest building boom in the first decade of the twentieth century and two small parades of shops were built in 1906-7 in Nelson Road and Hounslow Road to serve the increased population. However, expansion was restricted because

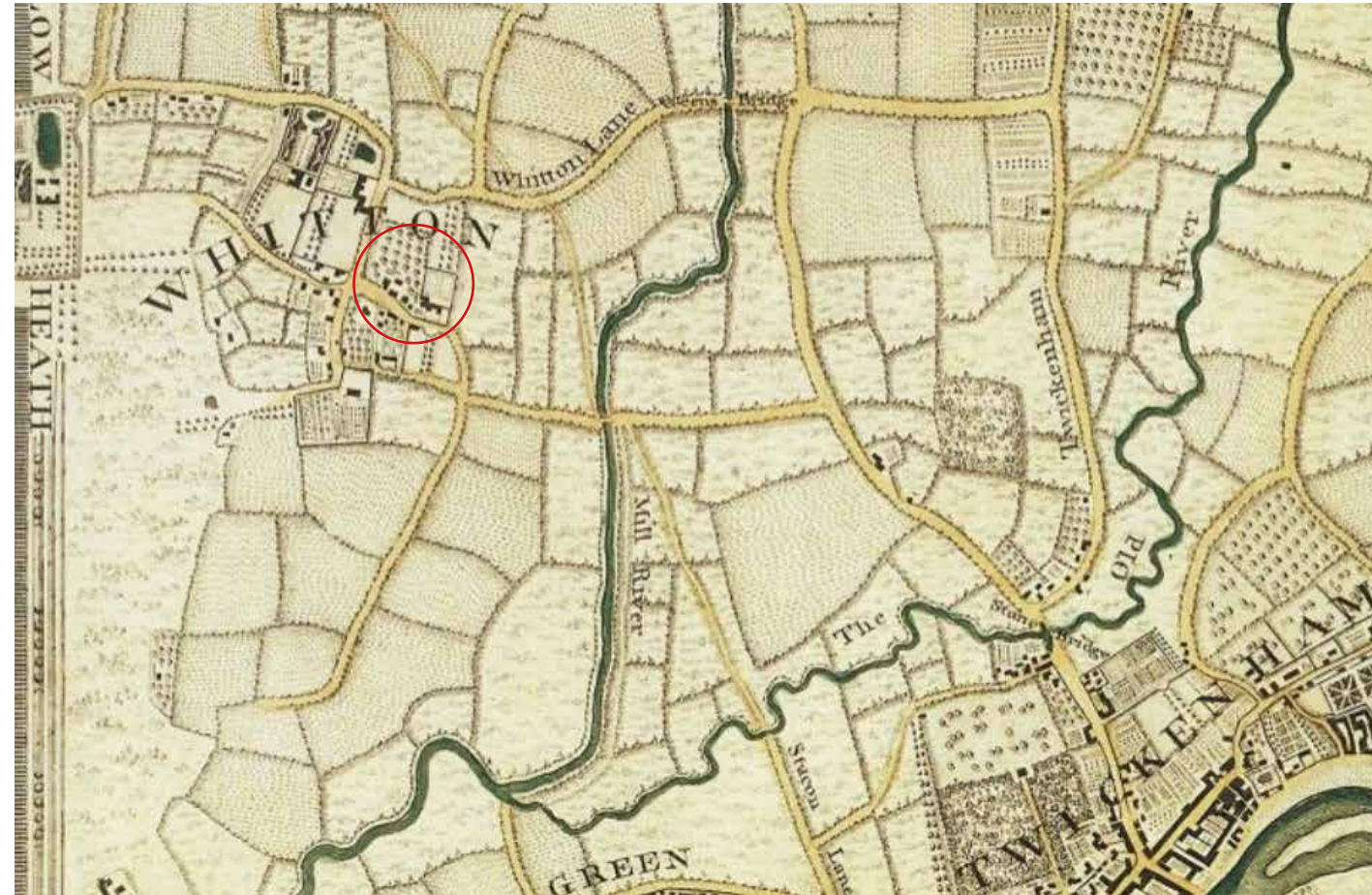


Figure 3.1 John Rocque's Map of 1761 showing Whitton (Site highlighted on red) as a small Hamlet north-west of Twickenham. Source: British Library

transport links were poor. Improvement started with the compulsory purchase of Chase Bridge in 1928 and the first omnibus route linking Twickenham with Hounslow was then introduced. Next, in 1930, Whitton railway station opened and in 1933 the Great Chertsey Road was built as far as Hospital Bridge Road.

- 3.6 Between 1930 and 1939 the village was transformed out of all recognition. Part of Percy Road, then a country lane, became a new High Street running between the Nelson public house and the railway. The first shops opened in late 1931 and by 1939 there were 96 businesses in operation.
- 3.7 In a few short years in the 1930s, virtually the whole of the parish was covered with mainly three-bedroom semi-detached houses. Further development of vacant plots in High Street took place in the 1950s and 1960s.

3|Historic Development of the Site and Surroundings

Historic Development of the Site and its Landscape

Edmund Cooke (1635-1709)

- 3.8 The Site has a recorded historic use as a residence dating from c.1635, at which time Whitton Hall was constructed for Edmund Cooke, a local gentleman and member of the vestry. Construction of Cooke's house was completed in 1646 and the building - noted as having twenty hearths in the 1663 Hearth Tax - was the fourth-largest residence in Twickenham parish.¹
- 3.9 Following the death of Cooke, Whitton Hall came into the ownership of several gentlemen, including Charles Pitcairne, Sir Thomas Mackworth and Henry Kempe Esq.

Sir Godfrey Kneller (c.1709-1757)

- 3.10 Whitton Hall is believed to have been purchased by Sir Godfrey Kneller, a German-born painter for the royal court of William and Mary, in c.1709. Kneller's position based at Hampton Court Palace made Whitton a convenient location for the painter to set up residence.
- 3.11 Upon purchasing the Site, Kneller commissioned the demolition of the existing house and its replacement with a new building. Kneller's initial occupation and alteration of the Site possibly occurred prior to 1709; a letter produced by Sir John Vanbrugh in 1703 recorded how Kneller had got, 'a country house near Hampton Court, and [was already] so busy about fitting it up'.² Nevertheless, construction of the new house - still named Whitton Hall - was completed in 1711.
- 3.12 The earliest complete illustration of Kneller's estate at Whitton was produced in 1715 [Figure 3.2]. This print presents a tall, two-storey (plus basement) residence, flanked by symmetrical pavilion buildings, set within an expansive formal garden. The area comprising the formal gardens and residence are shown to have been enclosed by a tall wall and further surrounded by an expanse of parkland, bordered by an iron railing fence.
- 3.13 Multiple ancillary buildings are also shown to have been distributed within the walled grounds of the

estate. Such buildings included stables, garden pavilions, storage areas and heated potting sheds. Curated gardens decorated with sculptures and topiary were situated to the immediate front and rear of the hall, whilst kitchen gardens and allotments were located beyond.

- 3.14 The true extent to which the 1715 illustration accurately reflects the contemporary layout of the Site is unclear, however a map of the area dated 1761 [Figure 3.3] presents a similar scene. In this map, the hall is shown to have been bordered by an enclosed formal garden and further surrounded by parkland, percolated by various ancillary buildings.



Figure 3.2 Illustrative print of the Whitton Hall produced in 1715 by Kip, showing the Hall situated amongst a curated landscape, at the head of a long, formal vista.
Source: Richmond Local Studies Library and Archive



Figure 3.3 1761 Map of the area by John Roque. Red = the Site. Green = houses demolished by Prime to make way for new ancillary buildings and a walled garden.

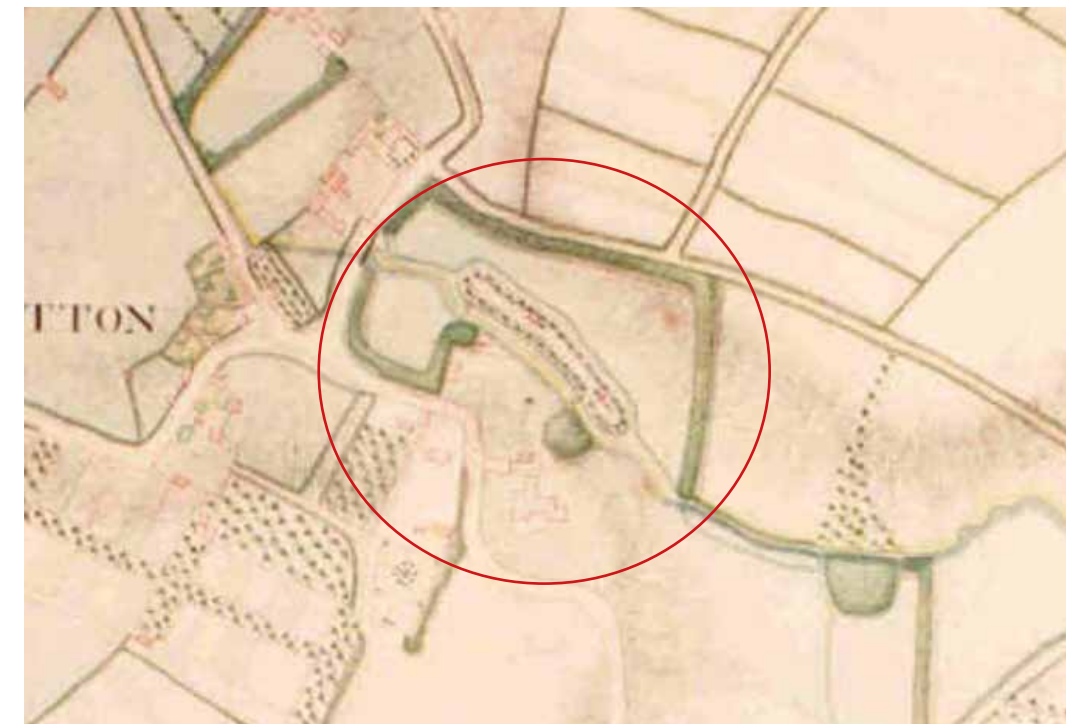


Figure 3.4 1786 Estate map of Whitton Park by C.J Sauthier

¹ Twickenham Museum
² Kathleen Lynch, *Jacob Tonson Kit-Cat Publisher*, 1971, p 42

3 | Historic Development of the Site and Surroundings

Samuel Prime (1757-1813)

- 3.15 In 1722, Kneller moved out of Whitton Hall and died the following year at his house on Great Queen Street. The estate was renamed Kneller Hall by Kneller's widow and purchased by the lawyer Samuel Prime in 1757.
- 3.16 It is possible that Prime was responsible for the creation of the west wing to the hall to provide additional service accommodation for his large family. However, the exact date of the wing's construction is uncertain. Historic maps suggest that an extension to the hall in this north-west corner existed during Prime's occupancy [Figures 3.3 and 3.4], however an illustration of the house dated 1796 omits this element [Figure 3.7].
- 3.17 It is nevertheless likely that the new wing was actually an adaption of an existing outbuilding, identified by the illustrative print of the estate by Kip in 1715 [Figure 3.2]. As such, the existing west wing is considered to retain some of the oldest fabric amongst the hall - potentially dating to the eighteenth century.

Humphry Repton's Landscape Designs Under Prime, 1796

- 3.18 Humphry Repton's Red Book for Whitton Hall has been digitised by the LuEsther T. Mertz Library, New York. It provides a primary record for Repton's involvement in the conception of designs for improvements to the landscape of Whitton Hall.
- 3.19 In his Red Book, Repton describes how he was invited by Prime to present designs for prospective alterations to the estate's grounds. Local historian Ed Harris suggests that Repton had been consulted almost casually, being brought over from nearby Whitton Park, where he was already engaged.
- 3.20 Certainly, Repton himself describes how his Red Book presented initial ideas for landscape designs and he left many blank pages in which to, 'resume the subject [of designs] and add some farther hints'. These pages remained notably blank and there is no evidence for Repton's further consultation by Prime. Repton's proposed landscape designs and the extent to which they were likely implemented and survive are discussed below.

- 3.21 In his Red Book for the estate, Repton noted the non-conformity of the existing landscape to the emerging picturesque style. He mused at how *'this delightful spot furnishes the most striking proof that where nature does not produce the most bold features... the mind may be amply satisfied with that species of beauty which arises from the combination of wood, lawn, shrubs and water.'*³

Repton's Suggested Alterations

- 3.22 A man-made lake located at the north end of the estate provided an almost exclusive source of ornamentation within the estate's simple grounds. The lake with its long island was first illustrated in 1786 [Figure 3.4], but was captured in detail by Repton a decade later [Figure 3.5]. Repton's improvements to the estate's grounds were centred around the lake.
- 3.23 Repton criticised the lack of uniformity between the two 'canals' of the lake which ran parallel to the island. He admonished their distraction from views looking north from the house. Repton proposed to widen the river and divide the existing long island into two [Figure 3.6]. He proposed infilling the north 'canal' only so much as to create a ha-ha and proposed two different bridges on either side of the largest new island.
- 3.24 A new bridge was to be constructed over the lake's source at the west boundary to the Site. A boat house was also to be built underneath this bridge and was covered in climbing plants with a thatched roof so as to be less conspicuous. Finally, a new pavillion building was proposed to be constructed in the north-east corner of the Site to provide a convenient place of shelter and setting for appreciative views of the house and island.

Evidence for Repton's Executed Changes

- 3.25 The extent to which Repton's landscape designs were implemented is revealed by contemporary maps. Certainly, the lake and its island were altered according to Repton's proposals and various maps suggest a building was indeed constructed in the location of the proposed boat house [Figure 3.10]. A photograph of one of eighteenth-century bridges to the larger island provides a rare glimpse of the

3 Humphry Repton, Whitton, seat of Samuel Prime Esqr, 1796, pg. 8

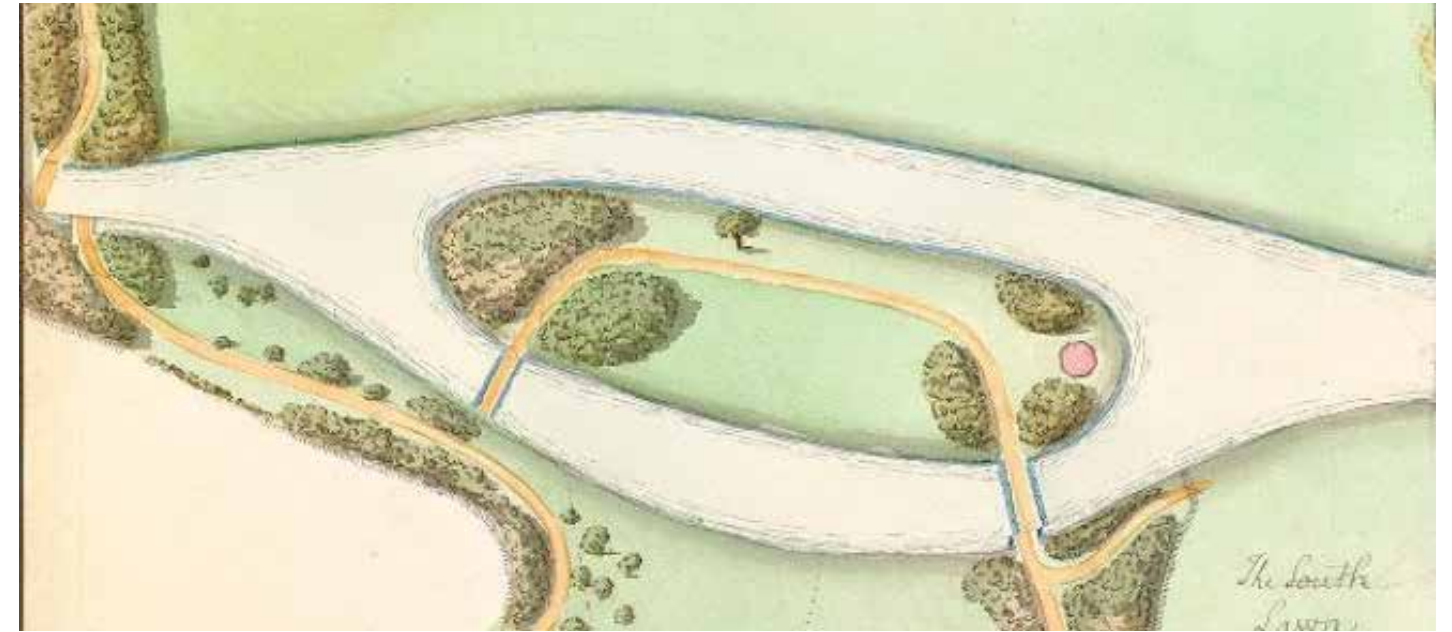


Figure 3.5 1796 Existing lake configuration, Humphry Repton
Source: Humphry Repton, Whitton: Seat of Samuel Price Esq.

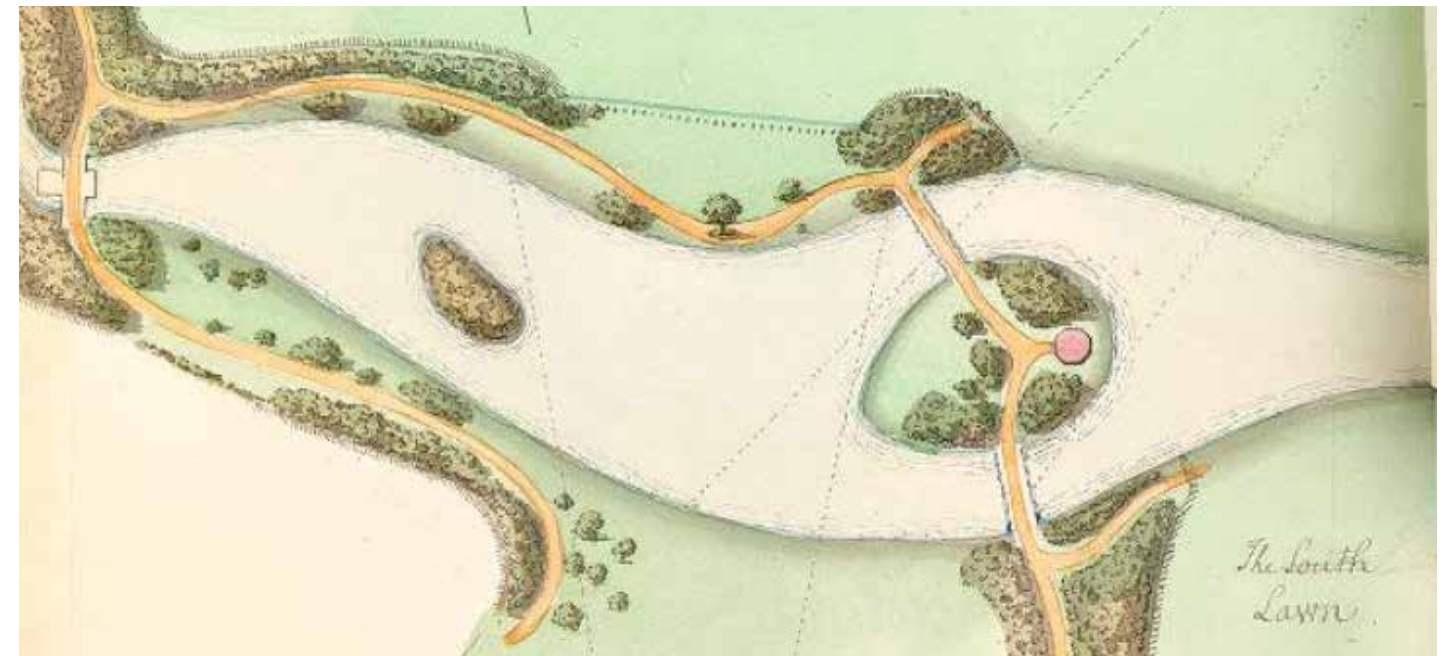


Figure 3.6 1796 Proposed lake configuration, Humphry Repton
Source: Humphry Repton, Whitton: Seat of Samuel Price Esq.

3 | Historic Development of the Site and Surroundings

realised improvements by Repton [Figure 3.8]. No evidence for the construction of the pavillion building has been uncovered.

3.26 In summary, evidence for Repton's proposed landscape designs having been implemented is limited to cartographic record. Historic maps suggest that Repton's proposed changes to the lake, the introduction of lake bridges, the construction of a boat house were carried out. His proposal to construct a pavillion is not believed to have been executed. No above-ground evidence for any of the constructed elements inspired by Repton survive to present-day.

Other Landscape Alterations Under Prime

3.27 Other alterations to the estate's grounds - dissociated from Repton - were carried out during the 1790s. Houses located south of the hall's driveway [Figures 3.3 and 3.9] were demolished, resulting in the extension of the front garden to the present boundary of the A316 for the creation of plantations.⁴ Prime's, 'considerable alterations' were described in detail by Edward Ironside in 1797;

*'The house, which was before hid by high walls and trees, is now very conipicuous, the walls removed, and the whole thrown quite open. On the opposite side of the road he has taken down some old houses, and has opened a prospect into Surrey and the adjacent country, and into his own grounds and extensive plantations on that site. There is a handsome lawn to the road, with a coach way around it to the house, and guarded by a half-circular range of iron work, at each end of which are two gates with dwarf stone piers, with antique vases on the top [...] The plantations in all the grounds are considerable and extensive; and there is a gravel walk quite round them agreeably shaded from the sun in the summer season.'*⁵

⁴ Edward Ironside's History and Antiquities of Twickenham (1797)

⁵ Ibid



Figure 3.7 1796 Proposed view of the rear elevation of the main hall, Humphrey Repton
Source: Humphrey Repton, Whitton: Seat of Samuel Price Esq;

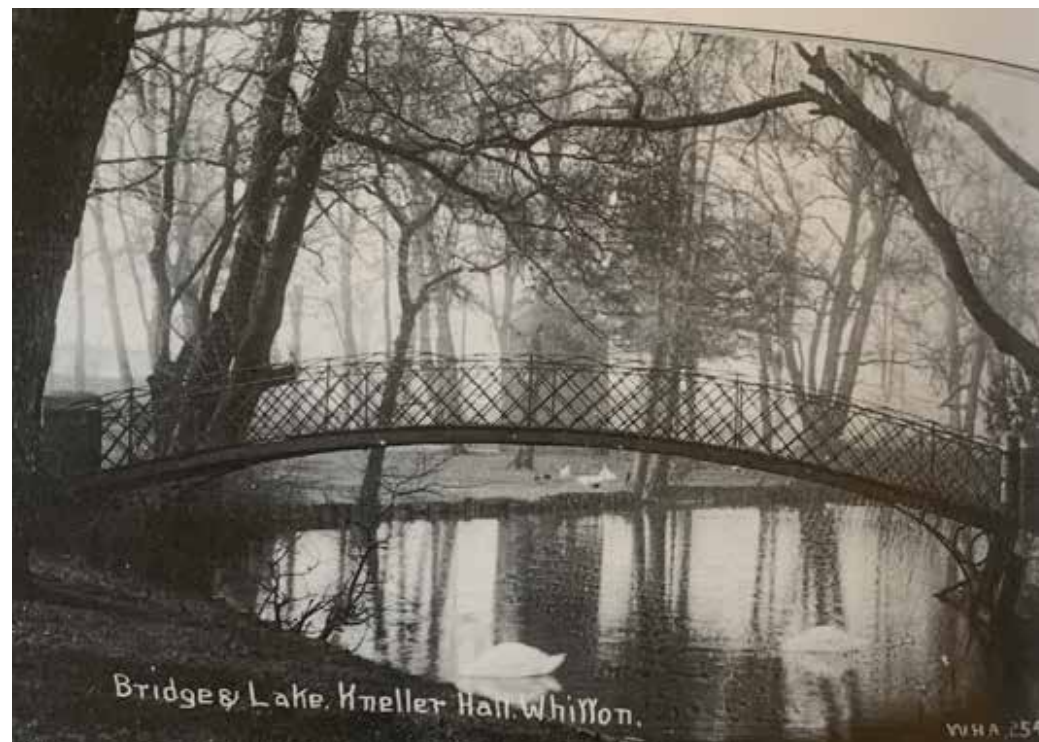


Figure 3.8 1 Photograph of a bridge over the lake, as designed by Repton. Likely taken in the mid-nineteenth century.

Source: Ed Harris, Whitton Brook, A Small Journey Through Whitton History

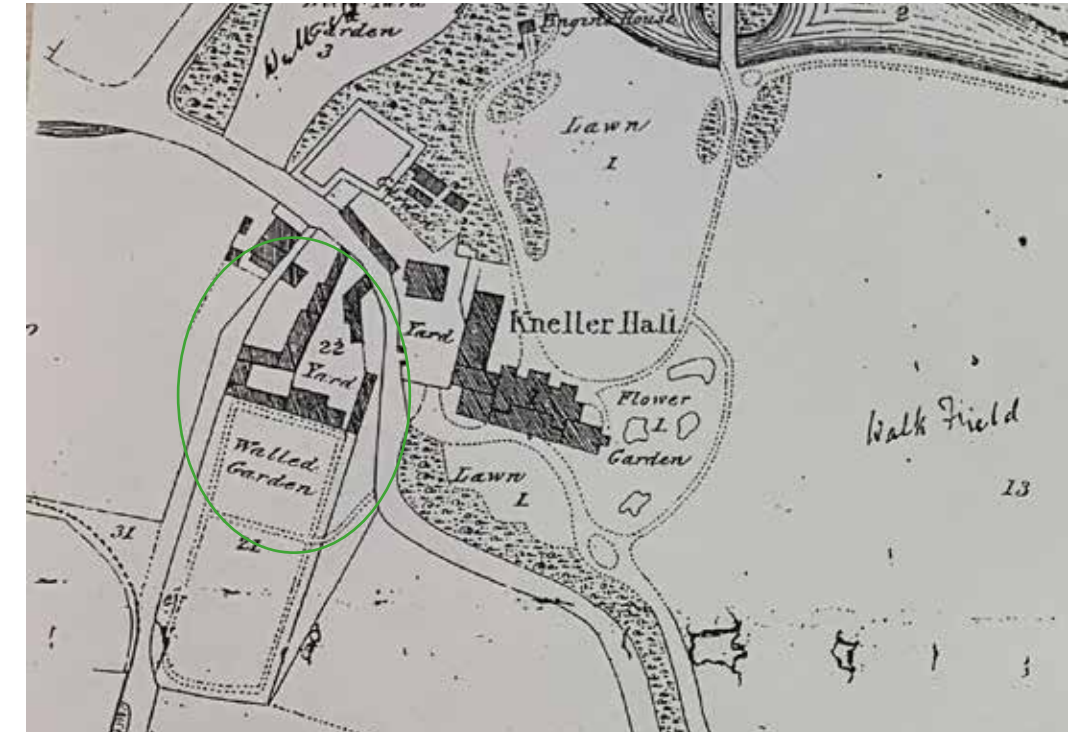


Figure 3.9 1841 Map of the Site included in a Sales Catalogue. Green = ancillary buildings and a walled garden constructed under Prime on the site of former houses
Source: Richmond Local Studies Library and Archive

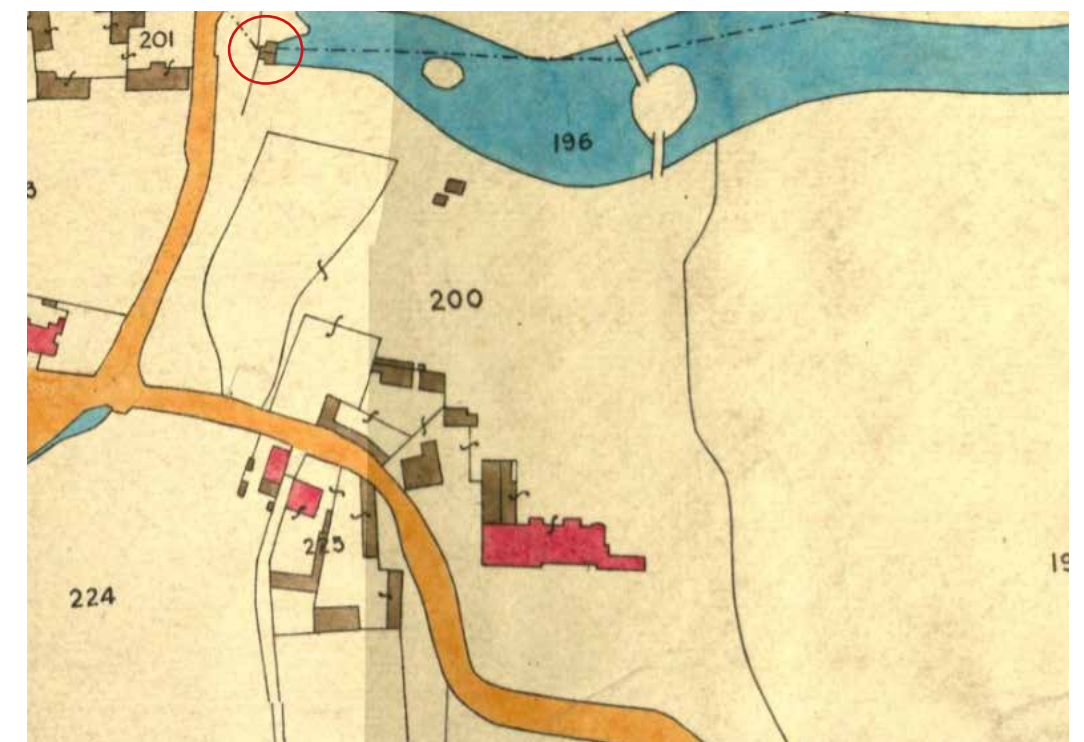


Figure 3.10 1845 Tithe Map. Repton's boat house is circled in red

3 | Historic Development of the Site and Surroundings

Charles Calvert (1813-846)

- 3.28 In 1813, Kneller Hall came into the ownership of Charles Calvert, a Whig MP for Southward and member of the successful brewery family; the Calverts. Calvert commissioned the extension of the hall to designs by Philip Hardwick and works were carried out between 1820 and 1832.
- 3.29 The production of detailed maps and plans of the hall during Calvert's occupancy suggest it is possible that the west wing was potentially constructed as part of Hardwick's alterations. Whether this wing - identified as an 'offices building' by a 1847 Site plan - was constructed under Prime or Calvert makes no difference to the likelihood that this element presently retains some of the oldest surviving fabric within the hall.
- 3.30 Following the death of Calvert in 1841, his widow advertised Kneller Hall at auction. A contemporary sale catalogue for the property described the grounds of the hall as they existed during Calvert's ownership as follows:

*'An inclosed yard, with covered Colonnade, leads to the following Domestic Offices, viz., Washhouse, Larder, and Dairy with good Laundry, and Three Servants' Apartments over, also a Brick and Slated Coal House...the Detached Offices are in an enclosed Paved Court Yard, and situated at a convenient distance from the Residence; they comprise a Brick and Tiled Stable for Six Horses, and Three Coach Houses for Six Carriages [...] also a detached Brick and Tiled Brew House'*⁶

- 3.31 Also identified by the catalogue is a melon yard, a wood yard, an ice well and mushroom house, a water tower and a walled kitchen garden comprising one acre of land located across the road from the hall. The catalogue describes the pleasure grounds as follows:

'[...]extensive Pleasure Grounds which are most tastefully disposed in Lawns, Parterres, and Plantations of Lauristinus and other Plants, in the highest state of perfection and luxuriancy; they are laid out to produce the most beautiful effect; amongst which must not be overlooked the various Belts, interspersed with Gravel Walks, the beautiful and extensive Lake, with

*the Bridges from one Islet to another, the Rustic Boat House, the Water Fall, the Pavilion- and though last, not least- the picturesque Groups of Trees scattered about the Park like Grounds.'*⁷

- 3.32 The arrangement of these outbuildings is captured in detail by an accompanying map to the catalogue [Figure 3.9]. A site plan dated 1847 [Figure 3.11] provides further detail on the arrangement of internal spaces within some of these buildings, including a stables building which was later converted into the existing Guard House.

Committee on Council of Education (1846-1856)

- 3.33 The Site was purchased by Mr Morris Emanuel in 1846 and subsequently conveyed to Sir James Shuttleworth, secretary to the Committee on Council of Education. The government converted the hall into a training facility for teachers of pauper children and the facility opened in 1850.
- 3.34 A second school, known as St Philip and St James School, was constructed in 1853 at the south-west corner of the Site, within the walled enclosure of the estate's former melon yard. The school was, 'fairly well built with red brick facings, stone dressings and slated roofs'.⁸ It faced onto Kneller Road, projecting from the boundary wall to the Site [Figure 3.12]. The school was demolished sometime during the 1960s and its former existence is evidenced by the patched infilling of the boundary wall.

7 Ibid

8 Ed Harris, *Kneller Hall; Looking Backward Looking Forward*, 2019, pg 38

6 Richmond Local Studies Library and Archive, 1841 Sale Catalogue, LC13605



Figure 3.11 1847 site plan showing the existing building divided into its various sections and the three outbuildings to the northwest

Source: Richmond Local Studies and Archive, also Alan Baxter Report, 2020

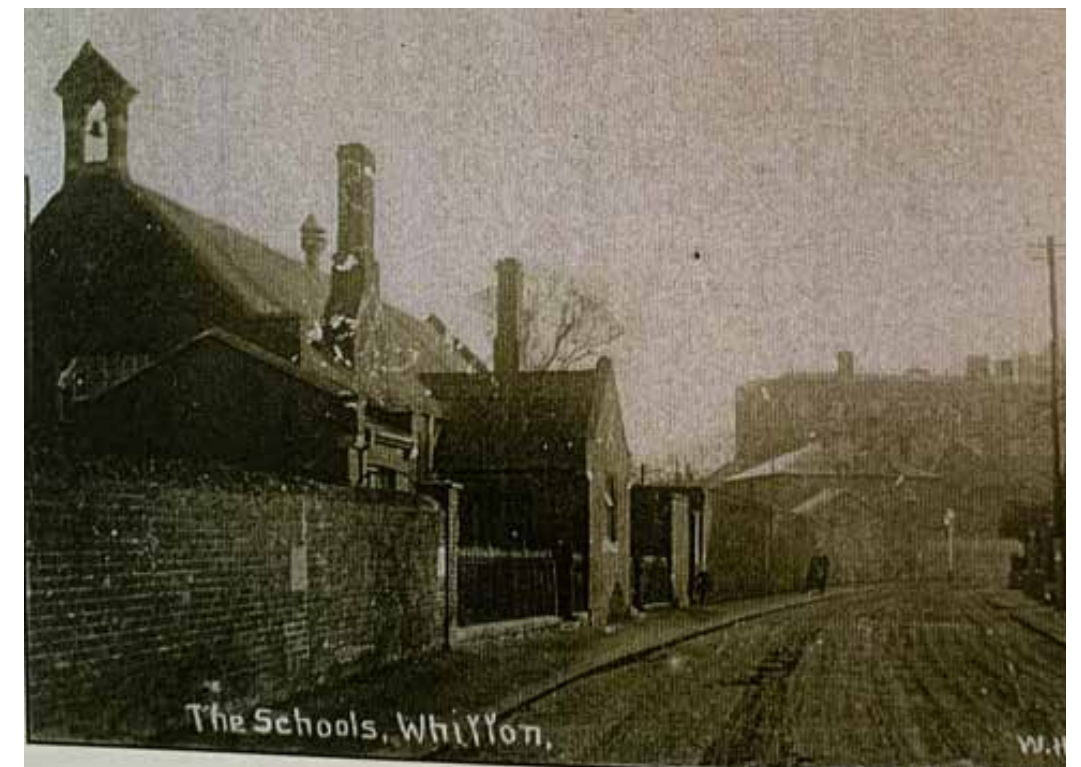


Figure 3.12 Photograph of the former St Philip and St James School, likely taken in the mid-nineteenth century

Source: Richmond Local Studies Library and Archive

3 | Historic Development of the Site and Surroundings

War Department and Ministry of Defence (1856-2021)

- 3.35 In 1856, the training college was closed and the following year Kneller Hall was acquired by the government's War Department to serve as a music school for military bands. The establishment of such a music school was supported by the Duke of Cambridge who had become concerned about the relative amateur quality of the country's military musicians.
- 3.36 Ordnance Survey map regression [Figures 3.13 and 3.14] suggests that the grounds of the Site remained largely unchanged during the later nineteenth century, with the east end comprising an open field and the remaining grounds largely planted with trees. The tree-lined southern boundary is captured in various photographs of the Site dating from the nineteenth century, held by Richmond Local Studies Library and Archive [Figures 3.15 and 3.16].
- 3.37 Principal access to the Site was originally granted by an entrance located at the south-east boundary. The nineteenth-century gate posts survive in situ. Other surviving gate posts located elsewhere along the boundary wall identify the location of historic secondary entrances. Between 1912 and 1935, a new principal entrance was created within the west boundary wall.
- 3.38 In 1926, the War Department sold the 'north field', located at the north side of the lake. This land was subsequently developed into the housing estate presently comprising Kneller Gardens.
- 3.39 During the mid-late twentieth century, additional buildings were constructed to the north and east of the hall for use by the music school. A tennis court was also constructed to the east of the bandstand, located north of the hall.
- 3.40 The boundary walls have been subject to significant alteration resulting from extensive reparations and, at the southern and north-western ends, replacement with iron fencing.
- 3.41 An Ordnance Survey map dated 1934 reveals the lake located at the northern boundary of the Site to have remained a prominent feature of the landscape [Figure 3.19]. By 1961, the lake had evolved into a small pond.
- 3.42 At present much of the central and eastern parts of the Site are designated as Metropolitan Open Land and are used as playing fields.

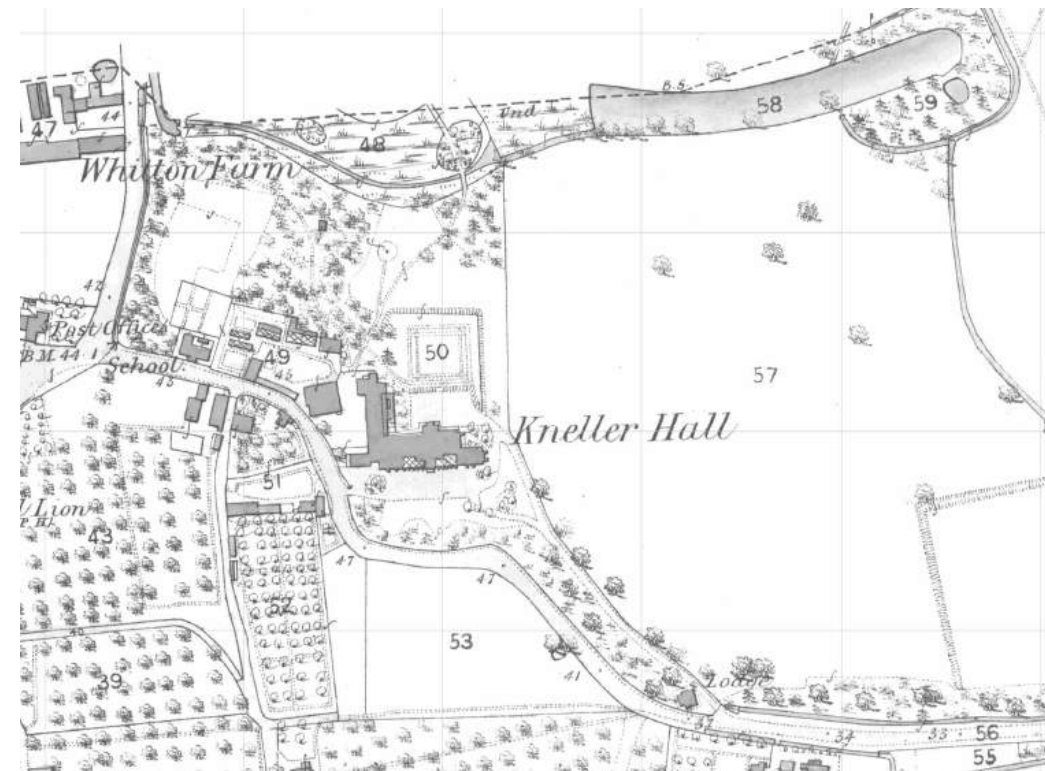


Figure 3.13 1865 OS National Grid Map 1:2500 printed at 1:2500.
Source: Crown copyright and database rights 2018 Ordnance Survey 100035207

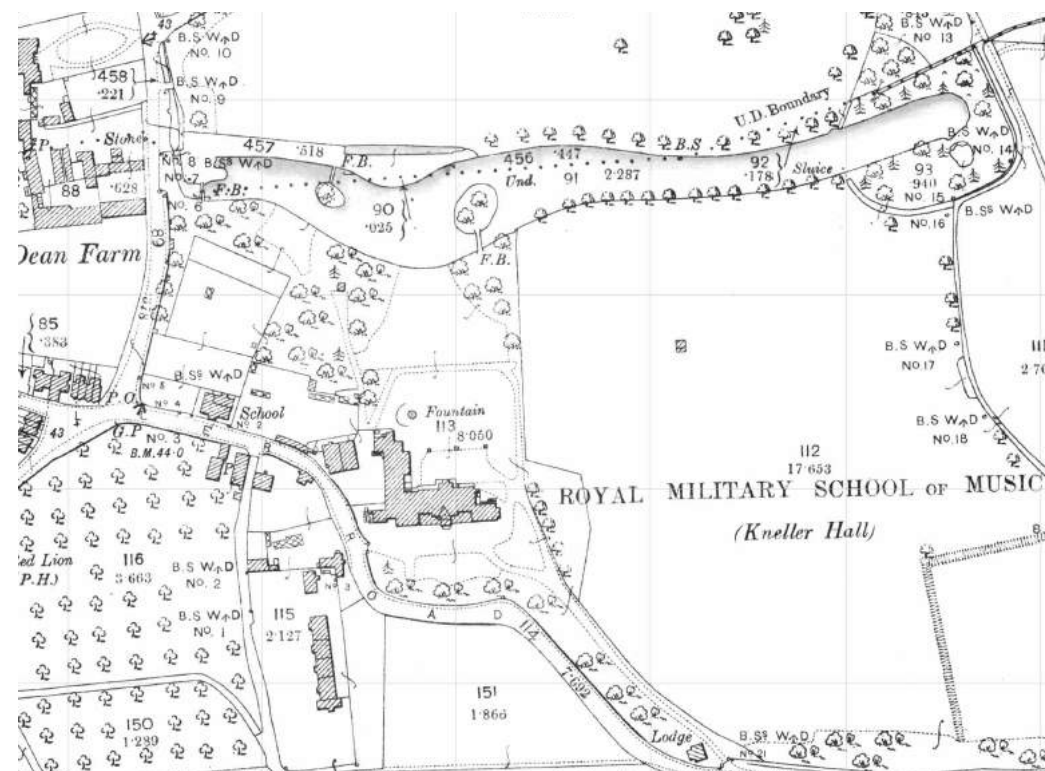


Figure 3.14 1896 OS National Grid Map 1:2500 printed at 1:2500.
Source: Crown copyright and database rights 2018 Ordnance Survey 100035207



Figure 3.15 1912 Photograph of the Site from Kneller Road
Source: Richmond Local Studies Library and Archive



Figure 3.16 1922 Photograph of the entrance gate on Kneller Road
Source: Richmond Local Studies Library and Archive

3 | Historic Development of the Site and Surroundings

Landscape Features

Terrace

- 3.43 The existing terrace and lawn composition is a remnant of a scheme introduced as part of the c.1840s rebuilding of the hall by the Committee on Council of Education. Humphry Repton makes no mention of a terrace in his 1796 description of the Site's landscape, nor is one included in his sketch of the rear of the house [Figure 3.7].
- 3.44 The terrace and rear lawn are shown on maps dating from 1850 onwards. An estate plan produced in 1850 [Figure 3.25] provides the earliest illustration of the terrace and describes it as, 'gravelled'. It is shown to be enclosed by a wall - likely a dwarf wall - with steps. The lawn is not illustrated on this map.
- 3.45 Alternatively, the 1865 Ordnance Survey map does not identify the terrace but presents the lawn as a square area, formalised with borders. A 1896 Ordnance Survey map shows the terrace to be defined by a wall and suggests the lawn was no longer formally landscaped. A fountain is, however, shown to exist here. A 1904 lithograph of the rear of the hall [Figure 3.35] provides no further detail.
- 3.46 An aerial photograph dated 1928 [Figure 3.17] confirms that the lawn had been converted into a netted court - likely a tennis court - by this time. The fountain also existed as a pond. Later Ordnance Survey maps suggest little change occurred to the terrace and lawn, however the gravelled terrace is known to have been tarmacked sometime.

Grounds Located East of the Hall

- 3.47 The area of open grounds located east of the hall are believed to have been predominantly void of built form since at least the eighteenth century. A map dated 1761 confirms that this area comprised open fields at this time. Likewise, in 1841, the area served as a, 'walk field'.
- 3.48 A building is first identified within this field by a 1896 Ordnance Survey map. This building is labelled as a sports pavillion by a 1934 Ordnance Survey map, suggesting that the field was associated with a sporting use at this time. Certainly, tennis courts existed at the north end of this field and they are shown in a 1930s aerial photograph.



Figure 3.17 1928 Aerial Photograph of the Site



Figure 3.18 1935 Aerial Photograph of the Site
Source: Richmond Local Studies Library and Archive



Figure 3.19 1934 OS National Grid Map 1:2500 printed at 1:2500.
Source: Crown copyright and database rights 2018 Ordnance Survey 100035207

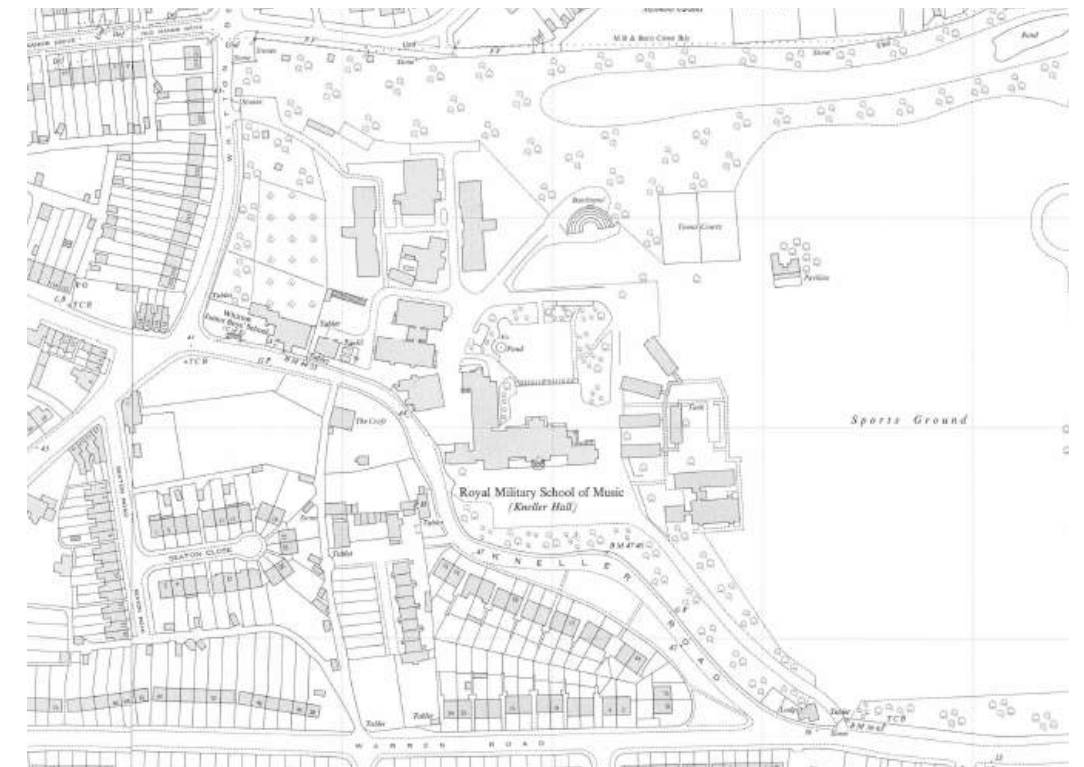


Figure 3.20 1961 OS National Grid Map 1:2500 printed at 1:2500.
Source: Crown copyright and database rights 2018 Ordnance Survey 100035207

3 | Historic Development of the Site and Surroundings

- 3.49 In 1961, the open grounds were labelled a 'sports field'. The sports pavillion building still existed at this time and a new cluster of buildings located between the field and the hall had been constructed. These buildings, included the sports pavillion, had been demolished by 1991 and the existing sports pavillion had been constructed further south within the field.
- 3.50 No further major changes have occurred to the field and the grounds remain predominantly void of built form and in recreational use.

Parade Ground

- 3.51 The parade ground is located at the front of the hall and borders the south end of the Site. This area is first illustrated by Kip in his 1715 print of the estate [Figure 3.2]. it is shown to have comprised a curated area, likely of soft and hard landscaping, with a straight driveway flanked with open ground.
- 3.52 A watercolour painting depicting the front view of the hall shows the driveway to have been planted with bushes and trees. The 1841 estate map confirms that a 'lawn' existed immediately in front of the hall and the previous driveway had been altered to now meander on an east-west axis. Entrances to the driveway existed at the south and west ends of the hall.
- 3.53 Ordnance Survey map regression suggests that this landscaping scheme for the driveway area remained predominantly unchanged until 1896 [Figure 3.14]. At this time, the area immediately in front of the hall was formalised, likely in association with the area's use as a parade ground. Certainly, a photograph dated 1899 [Figure 3.23] confirms that the parade ground had been established and hard landscaped. No major changes to the parade ground have since occurred.

Other

- 3.54 No evidence for the Site having been moated has been discovered. Water features known to have existed within the Site are the lake, located at the north end of the Site, and the fountain, located in the lawn at the rear of the hall. The lake no longer exists, having been dried up since the mid-twentieth century.

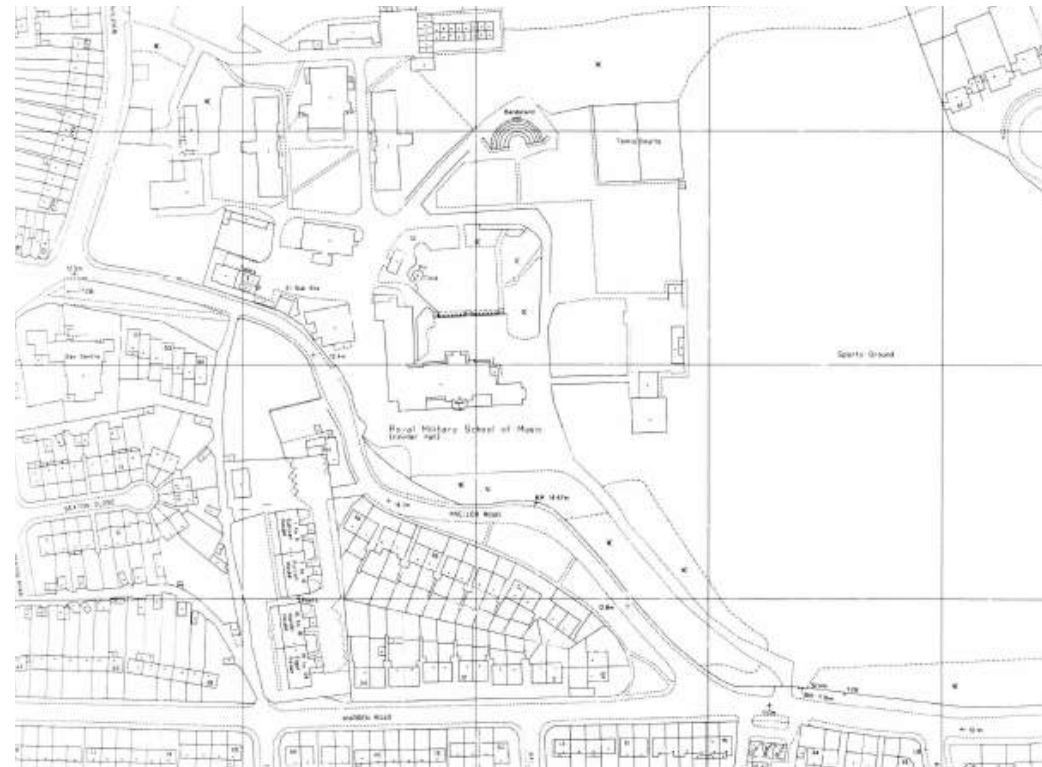


Figure 3.21 1991 OS National Grid Map 1:1,250 printed at 1:2000. Source: Crown copyright and database rights 2018 Ordnance Survey 100035207



Figure 3.23 1899 Photograph of the parade ground



Figure 3.22 1800 Watercolour painting of the front of Whitton Hall, by William Payne

3|Historic Development of the Site and Surroundings

The area comprising the Kneller Gardens housing estate historically formed part of the Kneller Hall estate and was sold for development in 1926.

The location of the former lake now comprises an area of grassland which serves as an ecological corridor across the entire north boundary of the Site

The terrace and lawn

The approximate location of houses which were demolished as part of the southern extension of the Kneller (then Whitton) Hall estate during the 1790s. This area is excluded from the Site boundary.

The Parade Ground



The approximate location of the historic sports pavilion. This building was the only built form known to have existed amongst the grounds east of the hall until 1961. The sports pavilion was also demolished around this time.

The sports pavilion was constructed in c.1961.

3 | Historic Development of the Site and Surroundings

Historic Development of Kneller Hall

Sir Godfrey Kneller (c.1709-1757)

- 3.55 The earliest illustration of a building on the Site can be found in the background of a painting of Sir Godfrey Kneller, dated 1706-11. The hall presented in this painting closely resembles the 1715 illustration by Kip [Figure 3.2], leaving no doubt that this building is Kneller's new residence; Whitton Hall. As such, it is probable that Kneller may indeed have begun construction on his hall in c.1703, not in 1709 as is commonly suggested. A contemporary letter by Sir John Vanbrugh further supports this theory.⁹
- 3.56 The 1706-11 painting presents Whitton Hall as a tall, two-storey residence set amongst a formal garden. Although the entire building is not depicted in the painting, it nevertheless expresses a characterful combination of Baroque and near-Palladian architectural qualities typical of early eighteenth-century stately homes. The principal elevation of the hall comprises a symmetrical facade, regularly divided into bays by giant pilasters of an unknown order. A parapet decorated with urns encompasses a mansard roof which is topped with a domed tower in its centre. A tall, single-storey pavilion extends from the east elevation.
- 3.57 It is unknown who was responsible for the design of Whitton Hall, however its distinctive architectural flavour was almost certainly influenced by the experimental classicism championed by Kneller's fellow members of the Kit-Cat Club. Architects and patrons such as Sir John Vanbrugh and the Earl of Burlington practiced a combination of British Baroque and Palladianism and likely exposed Kneller to this style.
- 3.58 Vanbrugh's letter dated 1703, however, implies that this architect had no involvement in the hall's construction. Instead, Vanbrugh suggests that Kneller oversaw this process himself, stating *'there [was] no getting him to work [elsewhere]'*.¹⁰ Certainly, Kneller's pride in his new house is expressed through the inclusion of the property within his portrait.
- 3.59 Kip's print of Kneller's estate, produced in 1715 [Figure 3.2], provides the earliest complete illustration of Whitton Hall. It depicts the hall's characterful early eighteenth-century design, which combines Baroque



Figure 3.24 Detail of a self-portrait of Sir Godfrey Kneller, showing Kneller Hall in the background, dated 1706-11. Source: National Portrait Gallery

decoration with a slightly restrained symmetrical form. Pavilions of mirrored proportion and elevational composition are shown to have flanked the east and west ends of the hall.

- 3.60 The internal composition of the eighteenth-century hall is unknown, however it is believed that wall paintings existed throughout the building and were completed by Louis Laguerre, Director of Kneller's Academy of Painting.¹¹

Samuel Prime (1757-1813)

- 3.61 Kneller Hall was purchased by Sir Samuel Prime in 1757. Prime's hall was described by Edward Ironside in 1797. He identified;
- 'a large well-built brick house, with a handsome front and two wings. The inside is finished with elegance. The staircase, which is large was painted by La Guerre. One of the wings is a dining parlour, the other a library. The out offices are extensive and convenient.'*
- 3.62 It is likely that the 'out offices' described by Ironside comprised the long, single-storey building located west of the hall in Kip's 1715 print. These offices are believed to have been incorporated into an extension of the hall - the existing west wing - sometime during the late-eighteenth or early-nineteenth century (see page 12). However, it is unclear whether this change occurred during Prime's occupancy.

Charles Calvert (1813-846)

- 3.63 Considerable alterations were made to the hall at the commission of Charles Calvert, owner of the Site since 1813. Between 1820 and 1832, new pavillions were constructed at the east and west ends of the hall to designs by Philip Hardwick. These additions functioned as service areas, and the east wing served as a new drawing room.
- 3.64 A title map produced in 1845 [Figure 3.10] confirms that by this time, the west wing to the hall functioned as a service range. Certainly, by 1847, the wing was used as an 'offices building' [Figure 3.11].
- 3.65 A survey of the Kneller Hall estate taken following Calvert's death in 1841 describes the composition of rooms with their high-quality interior decoration as follows:

'[...] a substantial brick building, the roof partly slated and partly covered with a lead flat [...] the house is entered through the conservatory and contains on the upper floor, six servants' apartments and a closet. On the one pair floor, a boudoir with ornamented ceiling, having four medallions in alto relievo, an enriched cornice and handsome carved chimney-piece, morning room with panel ceiling and statuary chimney piece, day and sleeping nurseries, seven bedrooms, two anti-rooms and three dressing rooms and a water closet.

A principal staircase which is very spacious and ornamented with wainscot balustrades, the ceiling and walls being supposed to be painted by Sir Godfrey Kneller or some of his pupils; there is also a second staircase.

On the ground floor, a capital entrance hall, 25ft by 19ft approached from the conservatory, a most splendid and lofty drawing room 40ft by 26ft, having enriched ceiling and cornice, picked out with gold, carved statuary chimney piece and decorated with sengliola corinthian columns and pilasters; a noble dining room 32ft by 21ft and an elegant conservatory 85ft in length, communicating with these two rooms and heated with hot water; a breakfast room, anti-room, gentleman's room with water closet therein, a small anti-room and bedroom, study, housekeeper's room, butler's pantry, second footmans' room, two large chairs in corridor with two store rooms over, servant's hall, capital kitchen, sculler and a good water closet and pantry near the back entrance from the courtyard.

In the basement, two arched wine cellars and pantry near the back entrance from the courtyard'.

Committee on Council of Education (1846-1856)

- 3.66 By the time of the estate's purchase by the government in 1846, Kneller Hall, *'did not possess any architectural character worthy of note, either externally or internally'*.¹² Plans for the hall's conversion by the Committee on Council of Education suggest that alterations were planned prior to the estate's purchase; as early as 1844. Changes to the hall were designed by architect George Mair and carried out between 1847 and 1849 by John Kelk.

9 Lynch, *Jacob Tonson Kit-Cat Publisher*, p 42

10 Ibid

11 Pat Rogers, *The Alexander Pope Encyclopedia*, pg. 327

12 George Godwin, *Buildings & Monuments, Modern and Mediaeval*, 1850, pg 82

3 | Historic Development of the Site and Surroundings

- 3.67 Two sets of proposed plans for the hall's conversion are held by the London Metropolitan Archives. The first set - dated 1844 - appears to have been most extensively, though not completely, realised. They include labelled interior spaces and can be helpfully supplemented by a plan of the completed hall, published in 1850 [Figure 3.25]. The second set of drawings - dated 1844-48 - is unrealised, yet provides the most detailed recording of the hall's layout prior to its alteration.
- 3.68 The 1844 plans of the building confirm accounts that nearly the entire hall was demolished and rebuilt during its conversion. A contemporary description of works to the hall notes, 'the walls and timbers [of the existing hall] were found to be in a very dilapidated condition, and the house was consequently taken down'.¹³ The single-storey pavilions flanking the central range were, 'preserved, refaced and raised to carry two stories of dormitories'.¹⁴
- 3.69 The west wing was retained and upgraded for the provision of modern services. Both sets of plans for this wing (1844 and 1844-48) suggest that the existing layout was proposed to be retained, however an 1850 plan of the completed wing reveals this layout to have been altered. An extension was added to the north end of the wing to provide a new wash house, drying room and steam engine room [Figure 3.25].
- 3.70 The existing 'covered way' with wood and coal store spaces located along the wing's east elevation was also adapted slightly to provide additional store space. Fabric analysis suggests that this lean-to structure is not that which presently exists. It was likely replaced at an unknown date.
- 3.71 The central range of the hall was entirely rebuilt to a three-storey height. A three-storey bay window, flanked by turrets projecting above the roof level was constructed at the front elevation. The building's new exterior expressed a finish typical of its Neo-Jacobean style. Cornices, parapets and quoins were formed from Bath stone and a plinth of Portland stone ran the circumference of the main range. A porticoed arcade extending along the principal facade was constructed from cement. It was covered by a glass roof.¹⁵

13 Ibid
14 Ibid
15 Ibid

- 3.72 A new washroom was constructed at the south-west corner of the west wing. According to historic map regression, this addition seems to have been removed in the 1960s.
- 3.73 Plans for the building suggest there was no 'principal' entrance into the new hall. Various entrances are identifiable, including an entrance on the front elevation which is tucked away into the east turret. The present-day southern entrance into the entrance hall originally comprised a window and was altered to form this entrance at an unknown date. The present-day entrance on the west elevation of the building is suggested to date back to the mid-nineteenth century conversion of the hall.
- 3.74 During this conversion period, the building's interior was extensively altered. It eventually comprised class rooms, dining rooms and teaching offices at ground floor level, with dormitories and staff accommodation occupying the upper levels. These dormitories were divided by dwarf walls, 6ft 6in high, which created spaces 7ft by 12ft that were allocated to each pupil.¹⁶ A double-height chapel was created at first floor level and presently retains its original location. A large library was also created at ground floor level where the entrance hall presently exists.
- 3.75 The building was well-served. It was powered by gas, and water was supplied by an on-site steam engine, housed in the north extension to the west wing.¹⁷ The ground floor and staircases were heated by Mr Perkins apparatus and the ventilation and fire mains were in keeping with Committee on Council of Education.

16 Godwin, *Buildings & Monuments, Modern and Mediaeval*, 1850, pg. 82

17 Ibid

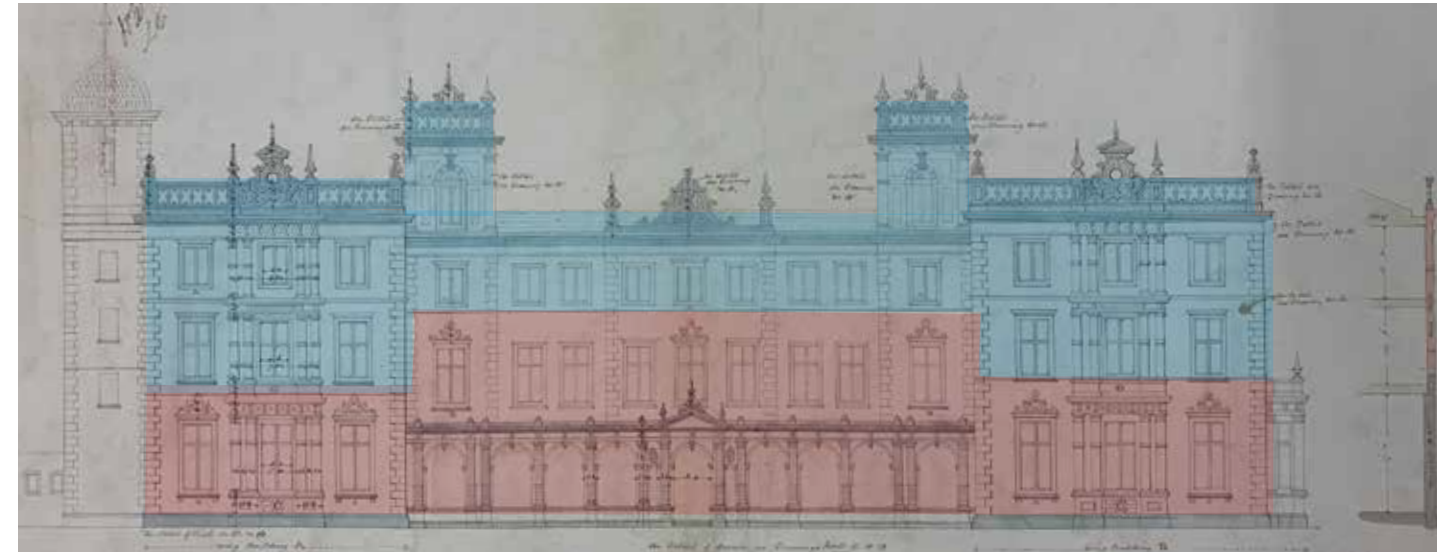


Figure 3.25 1847 proposal for the entrance elevation of Kneller Hall, mostly realised - note, the turreted west wing was not constructed (red showing the original Hall and blue showing the proposal).
Source: London Metropolitan Archives

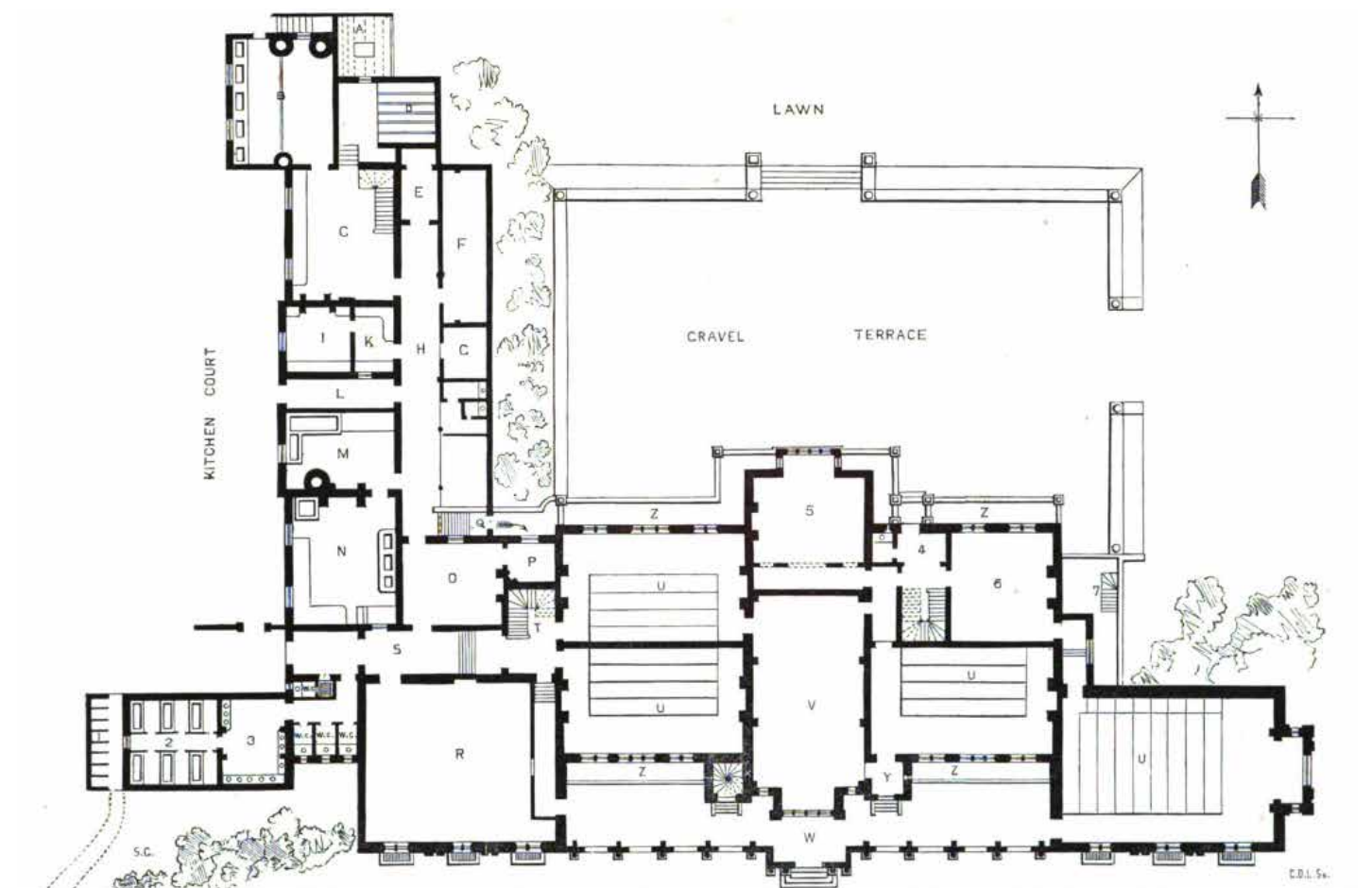


Figure 3.26 1850 plan of the completed ground floor level following the hall's conversion
Source: Godwin, *Buildings and Monuments*

3 | Historic Development of the Site and Surroundings

Phasing plans

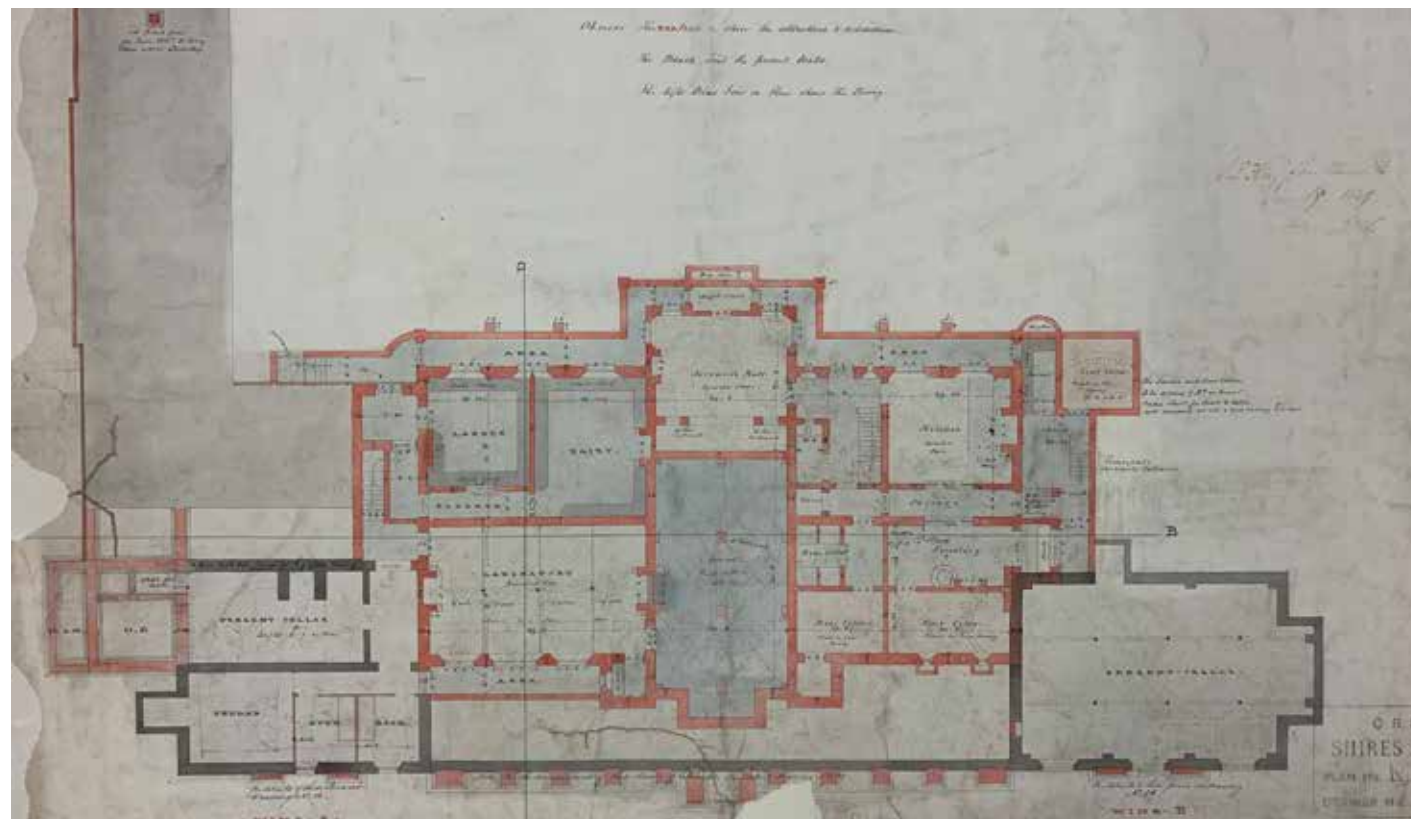


Figure 3.27 1844 proposed basement plan of Kneller Hall, partially realised (black showing the existing building and red showing the proposal). By George Mair.

Source: London Metropolitan Archive

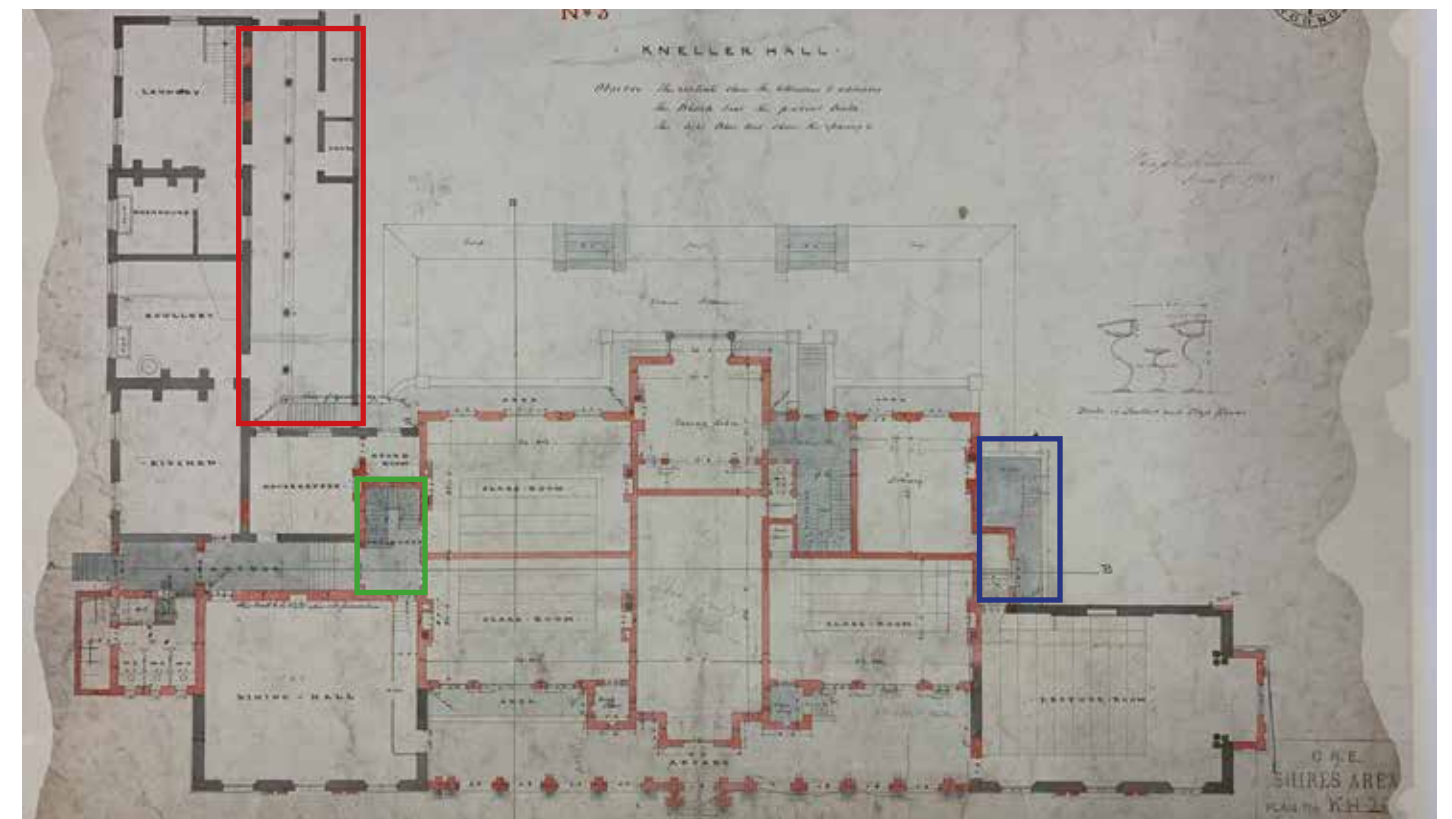


Figure 3.29 1844 proposed ground floor plan of Kneller Hall, partially realised (black showing the existing building and red showing the proposal). Red = 'covered way', Green = west staircase, Blue = 1844 terrace, replaced by existing east staircase. By George Mair.

Source: London Metropolitan Archive

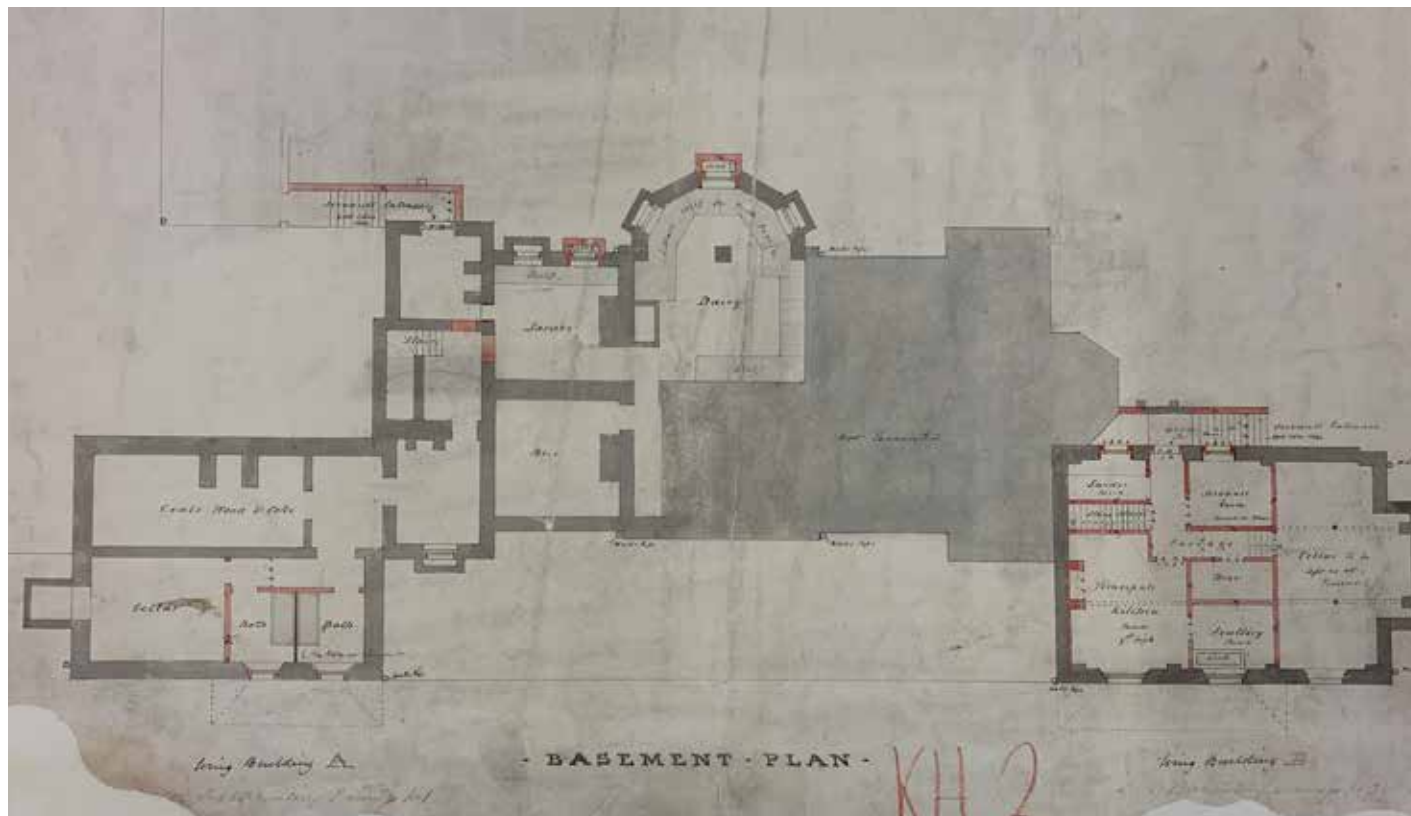


Figure 3.28 1848 proposed basement plan of Kneller Hall, unrealised (black showing the existing building and red showing the proposal). By George Mair.

Source: London Metropolitan Archive

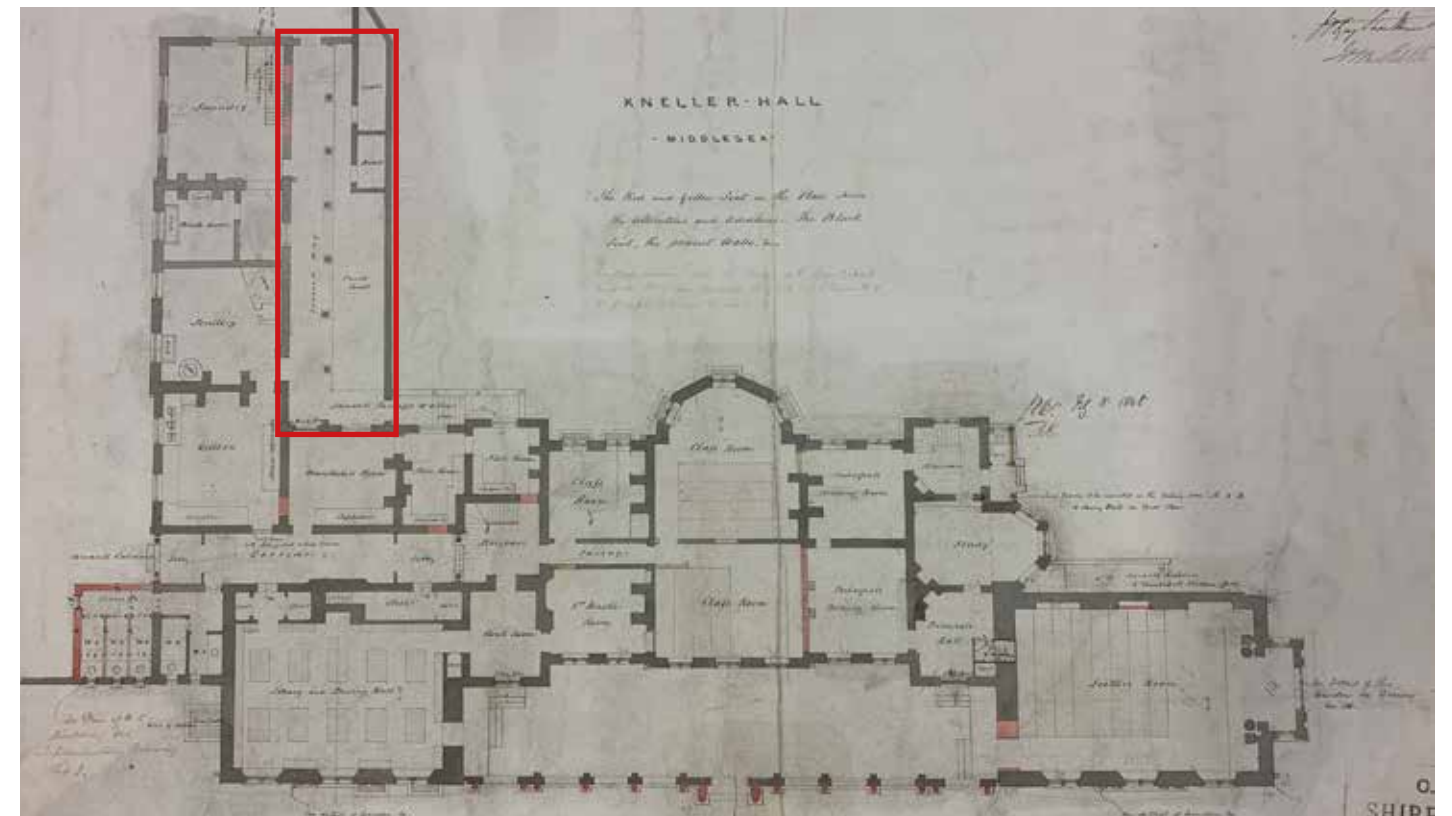


Figure 3.30 1848 proposed ground floor plan of Kneller Hall, unrealised (black showing the existing building and red showing the proposal). Red = 'covered way'. By George Mair.

Source: London Metropolitan Archive

3 | Historic Development of the Site and Surroundings

Phasing plans

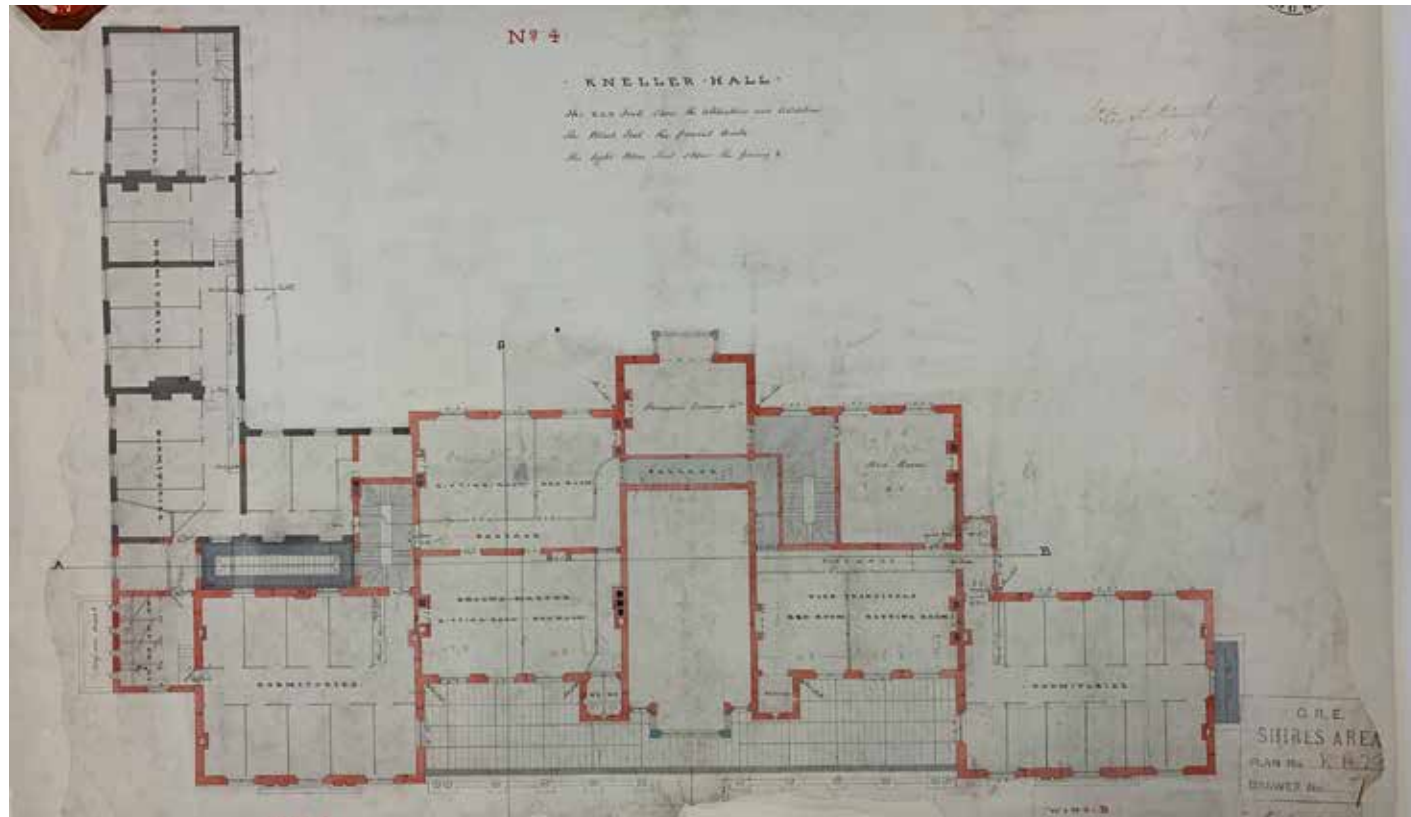


Figure 3.31 1844 proposed first floor plan of Kneller Hall, partially realised (black showing the existing building and red showing the proposal). By George Mair.
Source: London Metropolitan Archive

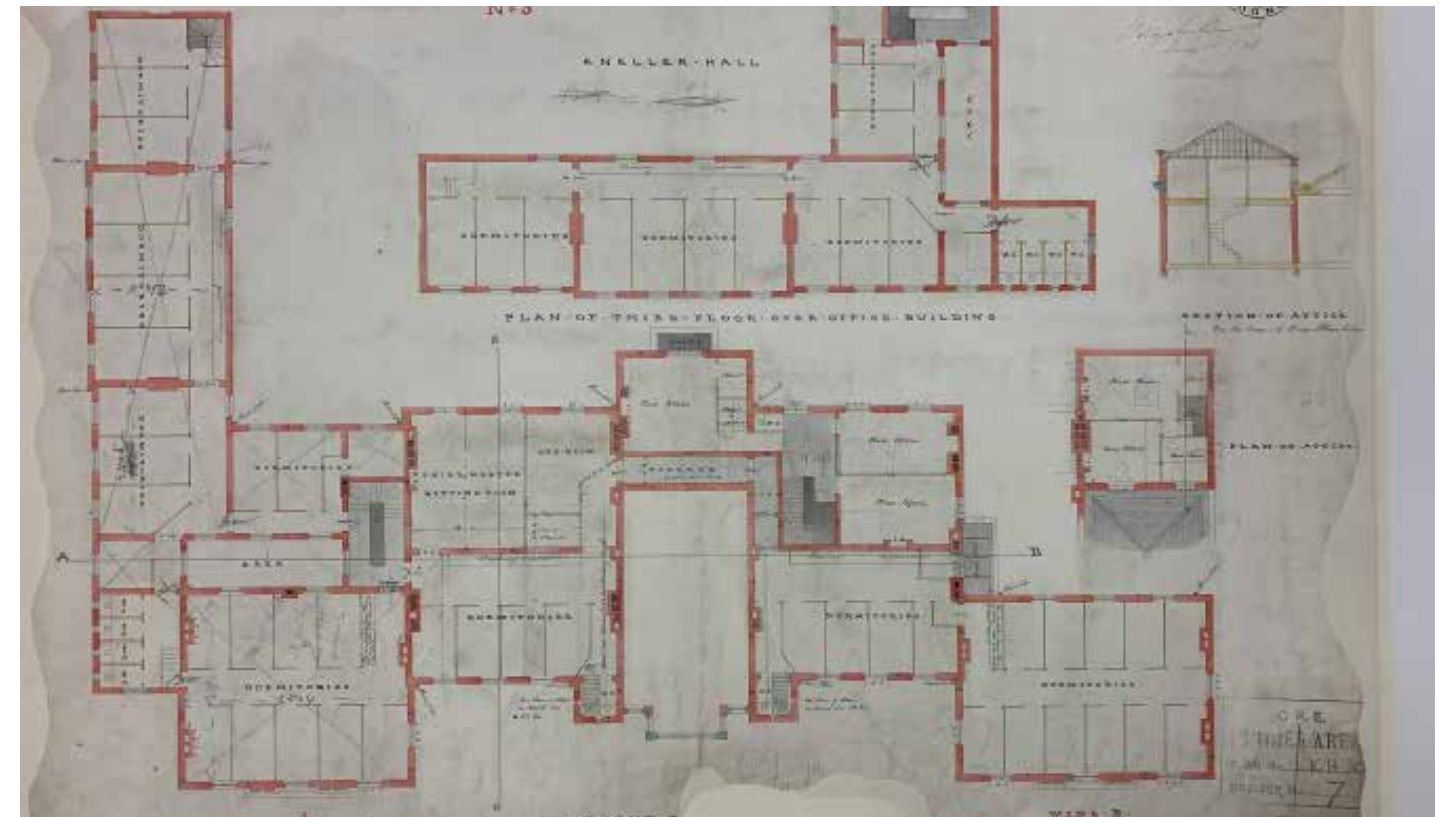


Figure 3.33 1844 proposed second floor plan of Kneller Hall, partially realised (red showing the proposal). By George Mair.
Source: London Metropolitan Archive

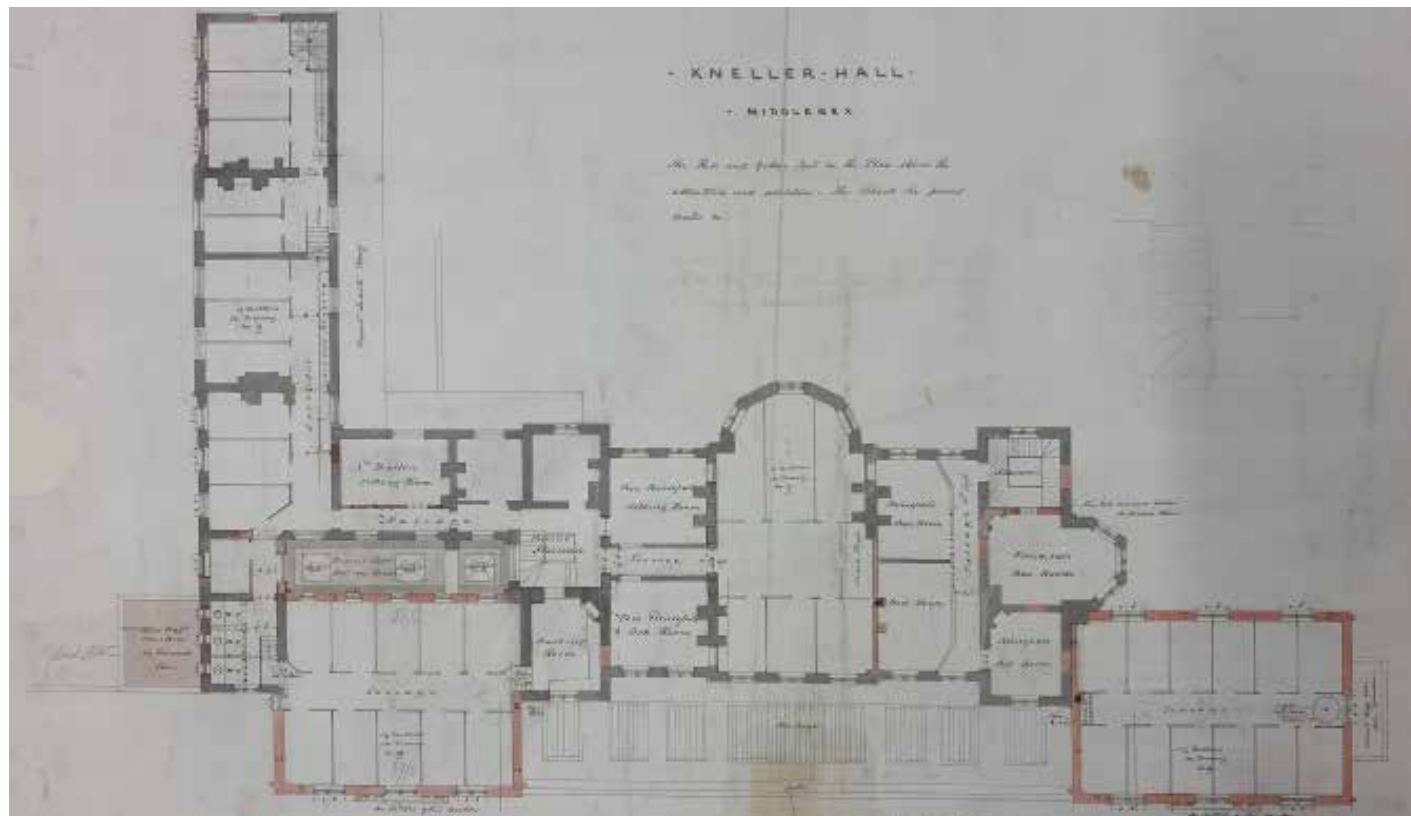


Figure 3.32 1848 proposed first floor plan of Kneller Hall, unrealised (black showing the existing building and red showing the proposal). By George Mair.
Source: London Metropolitan Archive

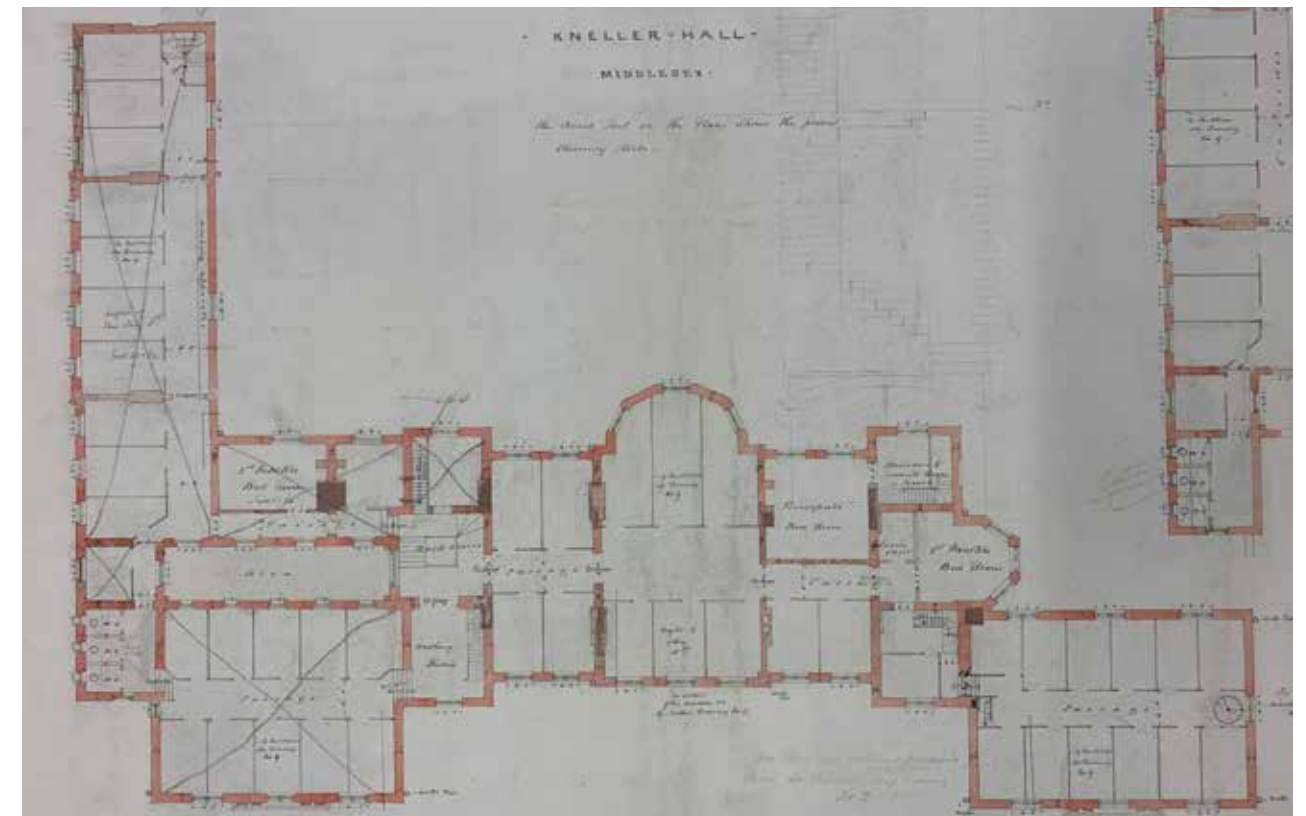


Figure 3.34 1848 proposed second floor plan of Kneller Hall, unrealised (red showing the proposal). By George Mair.
Source: London Metropolitan Archive

3 | Historic Development of the Site and Surroundings

Twentieth Century - Present Alterations

- 3.76 In 1906, improvements were made to the Chapel via the installation of a new lighting system, as well as the cleaning of its oak panelling and replacement of altar railings. Two years later, a new oak alter and reredos were installed.
- 3.77 During the 1920s, a survey was commissioned to assess the condition of Kneller Hall's stonework and to recommend means of restoring damages. Reparations were carried out again in 1990 by Calder Ashby surveyors. This work was undertaken to the designs inferred from engravings and photographs in the absence of access to original drawings (Building 1990).
- 3.78 Following the outbreak of WWII, Kneller Hall became the General Headquarters for officers and staff under Sir Walter Kirke, Commander-in-Chief Home Forces. There is no recorded evidence that the cellars of the hall were reinforced for specific use as an air raid shelter, however the presence of twentieth-century steels and metal doors here suggest they may have been used as such.
- 3.79 Ordnance Survey maps reveal buildings to have been constructed between the east end of the hall and the open field. The repeated linear form and regularly spaced arrangement of the buildings suggest that they held an ancillary function and were likely associated with the wartime use of the Site. Aerial photographs showing these buildings could not be found during research into the Site's history. The buildings were demolished sometime between 1961 and 1991.
- 3.80 According to an assessment of the building produced by Alan Baxter, a pair of staircases to the north of each of the building's wings were likely added in c.1970. The western staircase exists in a stairwell created during the conversion of the hall in the 1840s [Figure 3.28]. It likely replaced an historic well-stair which possessed landings that bridged the alternating levels between the main hall and west wing.
- 3.81 The creation of the new east staircase [Figure 3.28] involved the construction of a new stair tower which abutted the east elevation of the hall. This change resulted in the removal of an existing terrace space [Figure 3.34].



Figure 3.35 1908 Postcard of the rear elevation of Kneller Hall. Red = the former east terrace and external staircase which was replaced in c.1970.
Source: Richmond Local Studies Library and Archives



Figure 3.36 1919 Photograph of the principal elevation of Kneller Hall, showing the east range covered with vegetation.
Source: Richmond Local Studies Library and Archives

3 | Historic Development of the Site and Surroundings

- 3.82 Many subsequent internal alterations have been carried out during recent periods in association with the building's use by the Royal Military School of Music. Such changes have involved the subdivision of internal spaces and installation of modern services and decorative finishes.
- 3.83 At an unknown date, likely during the twentieth century, the northernmost staircase located in the west wing was removed at ground floor level. A new staircase tower was constructed in the 'covered way' space on the east elevation of the wing. The removed northernmost staircase was redirected into this new tower [Figure 4.3]. Around this time, the 'covered way' space is believed to have been rebuilt for use as a bar and dining area and internally incorporated into the wing.
- 3.84 Analysis of historic floorplans suggests that the demolition of walls at first and second floor levels in the west wing - carried out sometime during the twentieth century - resulted in a lack of structural support for walls at the uppermost level. Fabric analysis further suggests that the corridor walls located at third floor level are modern replacements and comprise heavy blockwork. As a result, the structural stability of the upper levels within the west wing has been compromised.
- 3.85 In 2015, Listed Building Consent was granted by the LBRuT for structural stabilisation works to the third floor of the west wing.¹⁸ Proposed changes involved the demolition of existing corridor walls and cross walls and the installation of new timber stud partitions. These consented works were not carried out.

¹⁸ London Borough of Richmond upon Thames, Planning Ref. 15/0080/LBC

Other structures

- 3.86 Many outbuildings and ancillary structures have been constructed and demolished within the area immediately surrounding the hall over time. The vast majority of existing outbuildings date to the mid-twentieth century and comprise residential, educational and recreational spaces, constructed for and previously used by the Royal Military School of Music. The figure shown on page 24 shows the development progression of the wider Site.
- 3.87 Surviving structures of historic interest on the Site are:
 - The Guard House;
 - The Band Practice Hall;
 - The Bandstand; and
 - Stone Gate Piers
 - The Former Walled Garden

The Guard House

- 3.88 Much like the main hall, the Guard House has experienced extensive alteration over time. This building originated as a stables and is clearly identified by the 1841 sales map of the Site [Figure 3.9].
- 3.89 The building's earliest form is almost certainly identified by the 1715 engraving [Figure 3.36]. This single-storey structure, depicted by Kip, is fenestrated with three openings on its south elevation and is simply decorated with a gabled dormer and clock tower. This representation corresponds with the front range of the Guard House shown on the 1847 map [Figure 3.11], as well as by an aerial photograph dated 1928 [Figure 3.37].
- 3.90 As per this understanding, the Guard House was extended at its rear, north end sometime before 1847 and its front, south end contains some of the oldest surviving built fabric amongst the Site. Whilst the Guard House possesses remarkably early origins, its existing composition bears almost no resemblance to its historic form and function.
- 3.91 The building maintained its original use as a stables until the acquisition of the Site by the War Department in 1857, at which time it was converted into quarters for married officers. In 1923, the building - now in use as a student's mess - was once again converted, this time into a Guard House.

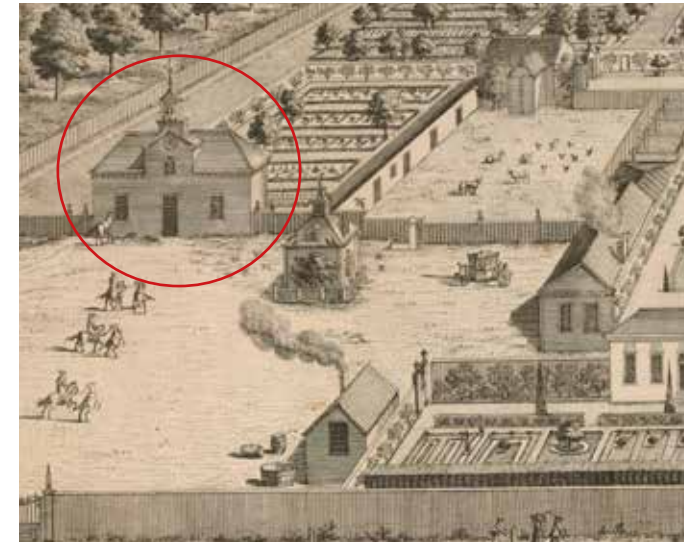


Figure 3.37 Detail of the 1715 print of Whitton Estate by Kip. The Guard House is circled in red.
Source: Richmond Local Studies Library and Archives

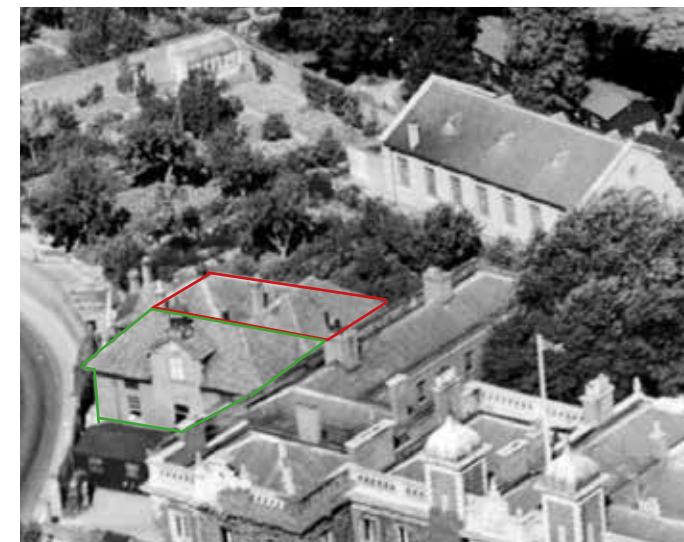


Figure 3.38 Detail of the 1928 aerial photograph of the Site, showing the Guard House (foreground) and Band Practice Hall (background). Green = original element of the Guard House, believed to be depicted in the 1715 print. Red = later addition.



Figure 3.39 Detail of the 1935 aerial photograph of the Site, showing the Guard House (foreground) and Band Practice Hall (background).



Figure 3.40 Detail of the 1961 Ordnance Survey map. The Band Practice Hall with its southern addition is circled in red.
Source: Crown copyright and database rights 2018 Ordnance Survey 100035207

3 | Historic Development of the Site and Surroundings

- 3.92 The 1928 aerial photograph confirms that despite the building's repeated change in use and rear extension, its original gabled frontage was retained [Figure 3.37]. By 1935, however, this had also undergone extensive alteration and the central gable was replaced by two flanking dormers and a new roof had been constructed [Figure 3.38].
- 3.93 Ordnance Survey map regression reveals that the existing colonaded portico was introduced to the front elevation of the Guard House sometime between 1961 and 1991 [Figures 3.21 and 3.22]. This change presumably occurred contemporaneously to the reconfiguration of the building's fenestration and internal layout.
- 3.94 In 2008, Listed Building Consent was granted for the internal alteration of the Guard House in association with upgrades to its existing facilities.¹⁹ Various other historic planning applications for the building relate to a range of historic maintenance works.

The Band Practice Hall

- 3.95 The Band Practice Hall located north of the Guard House dates to c. 1900 and is associated with Kneller Hall's use as the Royal Military School of Music. It comprises a single-storey building of regular form, constructed from stock brick with simple red brick detailing to its fenestration. The building's present form expresses evidence of various internal and external alterations.
- 3.96 Ordnance Survey map regression suggests that an extension - larger in footprint than the hall itself - was introduced to the south end of the Band Practice Hall sometime between 1934 and 1961. This extension comprised a rectangular form which ran parallel to the hall and was connected to it by a small infill addition. The large extension was demolished by 1991, however the infill addition exists today and functions as a W.C.
- 3.97 Sometime during the late twentieth, possibly early twenty-first century, steel buttresses encased with concrete were introduced to the north and south elevations of the building. These works were likely carried out in response to the building's structural deterioration, evidence of which is most notable amongst its west gable elevation.

Stone Gate Piers

- 3.98 Three pairs of stone gate piers are distributed along the Site's southern boundary. Visual inspection of the piers suggests that they pre-date the c. 1840s building and likely survive as vestiges of Samuel Prime's eighteenth-century landscape changes. Each pier comprises a rectangular column with decorative swag detailing and a tapered top, upon which sits a carved stone vase [Figures 3.41 and 3.43].
- 3.99 An exception to this are the pair of piers flanking the main entrance to the Site; Lodge Gate. These piers are comparatively plain in design and are possibly a later nineteenth-century addition.
- 3.100 Lodge Gate is named for the former lodge which existed adjacent to the main entrance to Kneller Hall until at least the 1920s. The lodge was demolished in the 1960s or 1970s and it is reasonable to suppose that it was at this time that the main entrance to Kneller Hall moved to its current location. This present entrance historically functioned as a service yard entrance.
- 3.101 Ordnance Survey maps reveal that the Lodge Gate was historically arranged at an angle and a photograph dated 1922 [Figures 3.40 and 3.42] shows the entrance to have been much narrower than present. The east pier of the Lodge Gate appears to have been moved to its current position sometime prior to 1991. This change possibly occurred during the installation of the gated boundary at the south-east end of the Site.

The Bandstand

- 3.102 Since becoming the home of the Royal Military School of Music in 1857, Kneller Hall has hosted regular public concerts and the bandstand has come to be associated with this wider community engagement.
- 3.103 An Ordnance Survey map dated 1915 provides the earliest record of a bandstand in the grounds of Kneller Hall. A new wooden bandstand was built in the grounds of Kneller Hall by the Royal Engineers in 1921. This was declared unsafe and rebuilt in 1927, and was replaced again in 1955.
- 3.104 The current bandstand was constructed in 1996 together with a small control room.²⁰

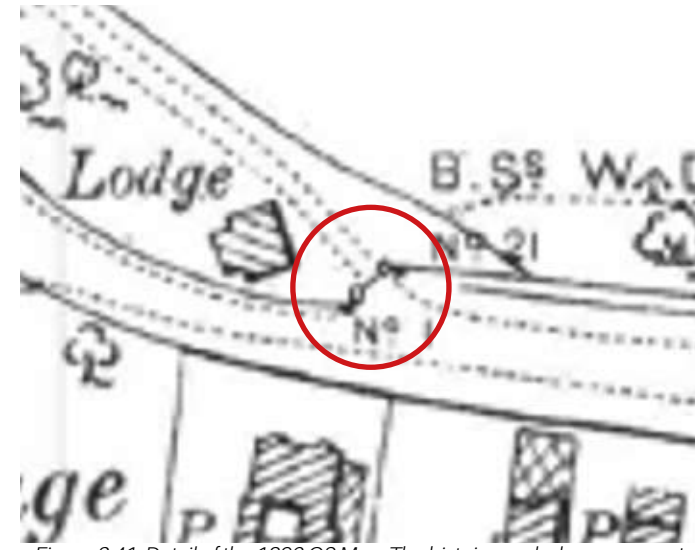


Figure 3.41 Detail of the 1896 OS Map. The historic angled arrangement of the Lodge Gate is circled in red.



Figure 3.42 Photograph of a disused historic entrance with its pair of stone gate piers



Figure 3.43 Detail of the 1922 photograph of the Lodge Gate stone piers



Figure 3.44 Photograph of a stone gate pier which marks the junction between the boundary wall and boundary railings

¹⁹ LBRuT Planning Ref. 08/3983/LBC

²⁰ LBRuT Planning Ref. 05/1775/C84

3 | Historic Development of the Site and Surroundings

Twentieth-century Structures

3.105 A large number of additional structures were built within the immediate setting of Kneller Hall during the twentieth century. These buildings are associated with the continued use of the Site as an active educational facility and home to the Royal Military School of Music. The majority of such buildings were designed to function as accommodation, teaching, catering and recreational facilities.

The Former Walled Garden

3.106 Surviving remains of the former walled garden are very limited, but are nevertheless curtilage listed to the Listed hall and boundary wall.

3.107 An estate map produced in 1841 identifies a large walled garden with brick yard located at the west end of the Site, as well as a comparatively more formalised walled garden located across the road from the hall. Another garden - identified as a kitchen garden in 1847 - is shown located at the south-west boundary of the Site, abutting the boundary wall. In 1841, this L-shaped garden was defined by walls projecting into the Site from the boundary wall. The meeting point of these walls appears to have been maintained during the Site's subsequent development, however the extent of the garden has altered.

3.108 An Ordnance Survey map dated 1865 reveals that by this time, the kitchen garden had been enlarged. It now comprised an open area incorporating various service buildings, which was only bounded at its west and north ends. The west boundary wall to the garden continued to abut the principal Site boundary. A range of buildings and structures are located within the garden area, including multiple glasshouses and shed and store buildings, identified by the 1841 estate map.

3.109 An Ordnance Survey map dated 1896 shows a cluster of glasshouses located at the end of the north garden wall. The Band Practice Hall appears to have been sited here when it was constructed in c.1900 and served as a new 'end' structure to this part of the wall. A glasshouse was also located at the north-west corner of the walled garden in 1896, and is captured in an aerial photograph of the Site dated 1928. Existing remains of the wall in this corner present no evidence that the wall was heated, therefore it is believed that this glasshouse (since removed) was a simple lean-to structure.

3.110 The walled garden has been subject to various alterations during the later twentieth century. An Ordnance Survey map dated 1961 reveals that a large part of its northern wall was removed to make way for a new circulation route through the Site. Another lean-to structure was constructed against the remaining north wall at this time. At an unknown date, the west garden wall, abutting the Site boundary, was rebuilt to a lower height, using modern bricks.

3.111 At present, the garden wall comprises a highly degraded wall which presents evidence of significant deterioration and structural instability. It has been buttressed at its west end using modern bricks of different tone from its historic fabric. Its northern end has collapsed and its brickwork lost, with only pieces of foundation brickwork partially visible. The present condition of the wall, alongside its dissociation with the Site's landscape, does not facilitate an appreciation of this structure as part of an historic walled garden.



Figure 3.45 Detail of the 1928 aerial photograph of the Site, showing the historic garden wall. The section of wall which survives at present is circled in red, however the glasshouse does not survive.



Figure 3.47 Detail of the 1961 Ordnance Survey map. The walled garden boundary is shown to be segmented and the former garden no longer exists.

Source: Crown copyright and database rights 2018 Ordnance Survey 100035207

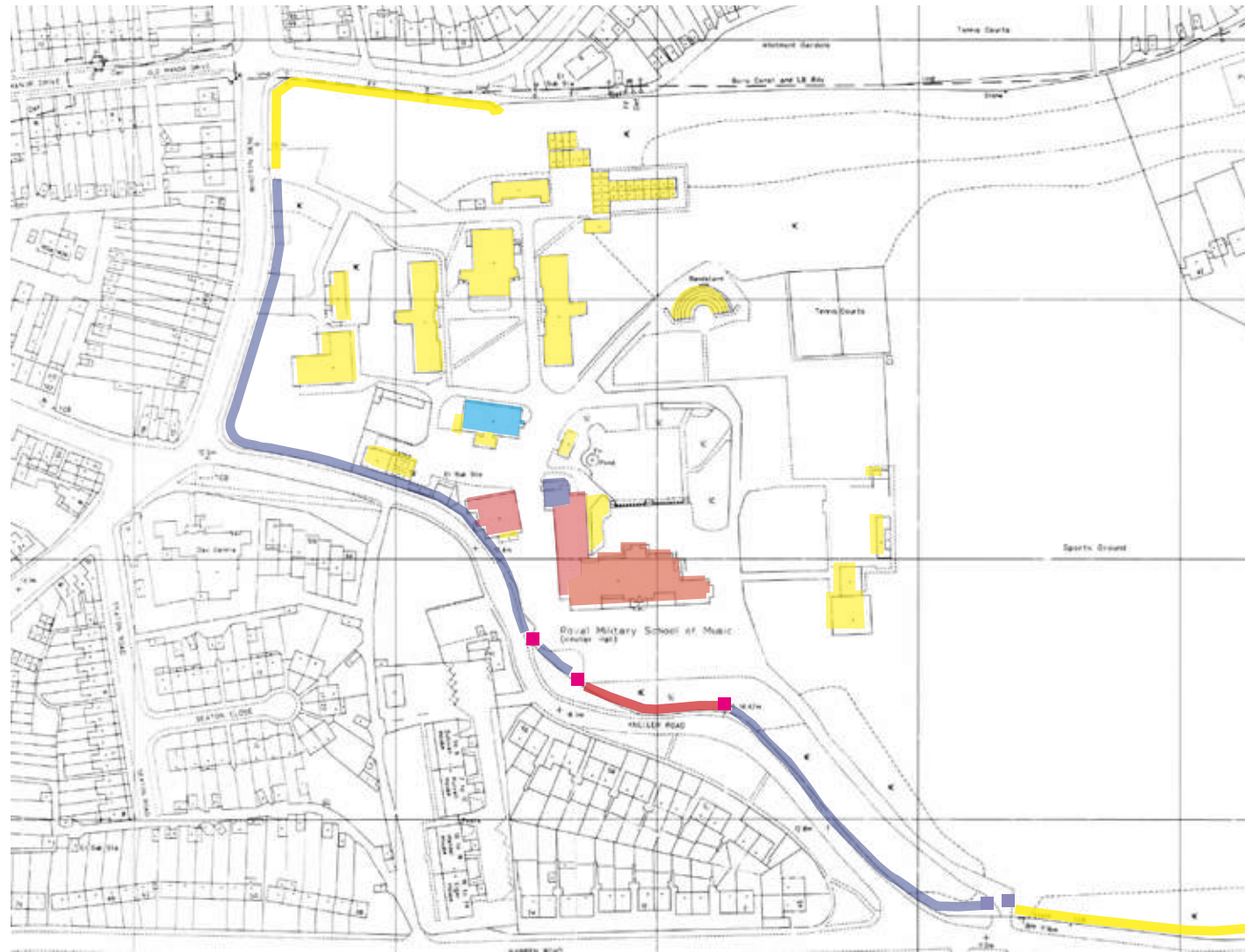


Figure 3.46 Photograph of the surviving section of garden wall. The wall is in a state of disrepair and is structurally unstable.

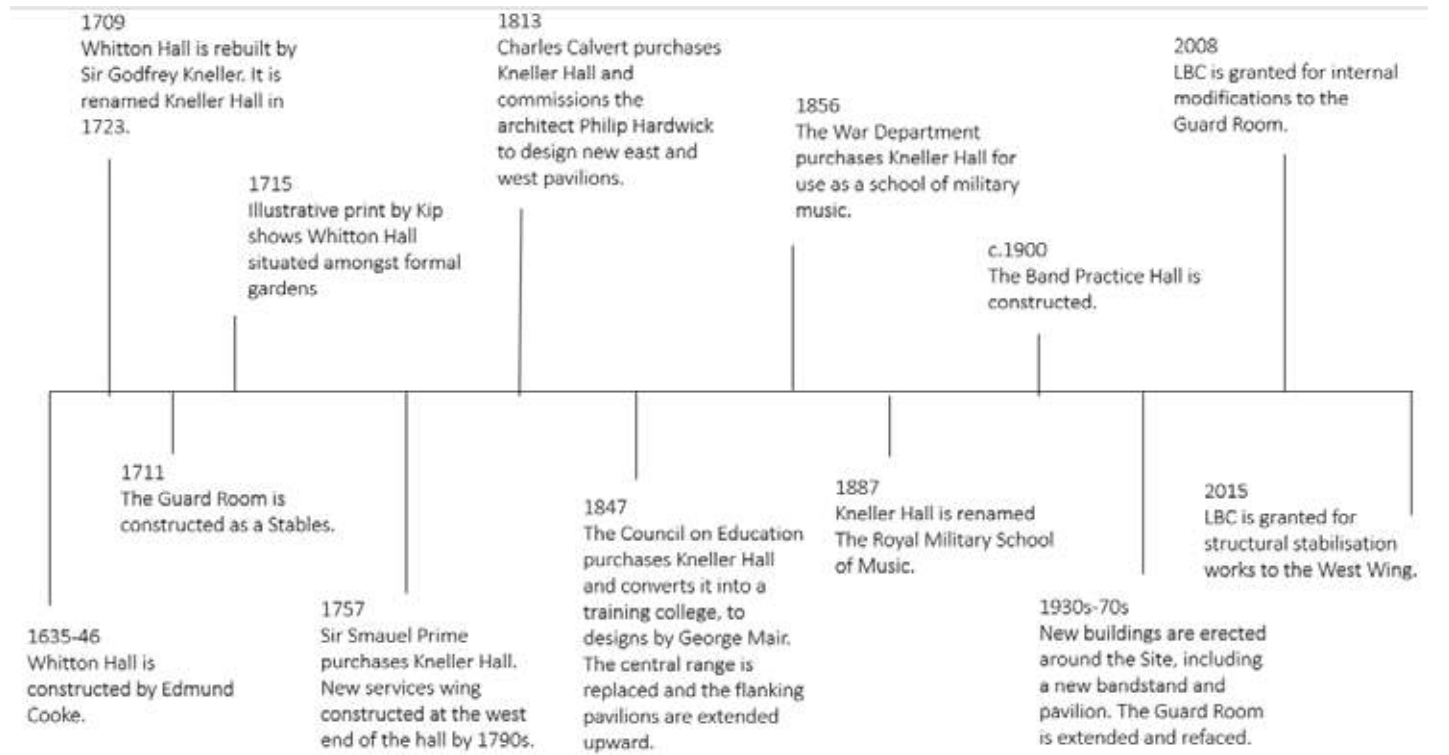


Figure 3.48 The rear elevation of the surviving section of garden wall, showing the modern buttressing. The south returning end of the wall (right) has been rebuilt using modern brick and fencing.

3 | Historic Development of the Site and Surroundings



- LEGEND
- 18th Century
 - 19th Century
 - Multiple phases
 - 1900-1950
 - Post 1950



Section 4

Site Description and Assessment of Significance.

4 | Site Description and Assessment of Significance.

Methodology

- 4.1 The assessment methodology used for assessing the significance of the identified heritage assets and their settings is based on the Historic England's Conservation Principles (both the published version by English Heritage in 2008 (ref.1) and the draft revised version by Historic England in November 2017 (ref.2)).
- 4.2 Identification of special interest and significance is based on the three heritage interests - historical, archaeological and architectural & artistic - the definitions of these interests are set out in the PPG and cited in section 2 of this report.
1. <https://content.historicengland.org.uk/images-books/publications/conservation-principles-sustainable-management-historicenvironment/conservationprinciplespoliciesguidanceapr08web.pdf/>
2. <https://historicengland.org.uk/content/docs/guidance/conservationprinciples-consultation-draft.pdf/>

Site Description and Significance

- 4.3 Kneller Hall is located in Whitton and is situated immediately west of Twickenham Stadium. The Site is bordered by Kneller Road to the south, Whitton Dene to the west, Kneller Gardens and Amberside Close to the north and Duke of Cambridge Close to the east.
- 4.4 It comprises the Grade II Listed Kneller Hall and Boundary Walls Royal Military School of Music. Two curtilage listed buildings - the Guard House and Band Practice Hall - are also situated west of the Listed building. The Site is occupied by numerous ancillary buildings, constructed in the late twentieth century. The east end of the Site comprises a large area of Metropolitan Open Land which includes playing fields, tennis courts and a sports pavilion.

Kneller Hall

- 4.5 Kneller Hall is situated within the centre of the Site. It is positioned along a formal east-west alignment which faces the historic driveway approach to the Site from the Lodge Gate entrance, located on Kneller Road. Due to its prominent situation, the hall provides a focal point to views both within and outside the Site.
- 4.6 The hall's visual prominence is further emphasised by its height, scale and massing, which is greater than all other built forms present within the Site. Due to its dominating visual and physical status, the hall is considered to make a high contribution to the character of the Site. This assessment is supported by findings presented by the MSPD and the 2020 Alan Baxter report.
- 4.7 Kneller Hall is three storeys tall and comprises a Neo-Jacobean design, being constructed from red brick and decorated with stone detailing. The hall possesses an L-shaped footprint, brought about by its multi-phased development. The hall's principal south elevation fails to express this phased development, instead presenting a regular Neo-Jacobean facade.
- 4.8 A three-storey bay window, flanked by turrets projecting above the roof level, provides a decorative focal point to this south elevation. Further decoration comprises corncicing, balustraded parapets, pilasters and carved details of Bath stone. A collonade of painted cement - previously roofed - connects two projecting wings to the elevation. The elevation is regularly fenestrated with mullion and transom windows, also decorated with stone architraves.



Figure 4.1 Principal south elevation of the hall



Figure 4.2 Rear north elevation of the hall. Red = exposed brickwork belonging to Hardwick's nineteenth-century wing. Discolouration in the brickwork indicates the location of a former staircase and terrace in this location. Green = a 1970s staircase tower which responds well to the architectural treatment of the hall's exterior.

4 | Site Description and Assessment of Significance

- 4.9 The south elevation provides a prominent source of historic interest through its status as a complete surviving design by George Mair. The elevation's composition is exemplary of the nineteenth-century neo-Jacobean stylistic movement. As such, it serves as evidence for the British Government's endorsement of this style at new institutions such as Kneller Hall, and suggests that this style was applied in an attempt to portray a false sense of historic establishment.
- 4.10 The high interest of this elevation is, however, limited by its lack of expressed architectural phasing. Mair's total recreation of this elevation, as well as its maintained condition, has erased any material evidence pertaining to the former residence. In contrast, the irregular composition and varied stylistic treatment of the rear, north elevation enables a comprehensive reading of the building's phased development, from which interest is derived.
- 4.11 In particular, whilst the north elevation presents a neo-Jacobean stylistic quality which mirrors the south elevation, evidence of change is present amongst its fabric and provides a source of interest. Colour variations amongst brickwork, for example, allude to the proportions of Hardwick's former nineteenth-century wing [Figure 4.2].
- 4.12 Similarly, evidence of former external staircase and terrace - replaced by the existing 1970's staircase tower - is present amongst this area of brickwork belonging to Hardwick's east wing. This feature provides a source of historic interest. The 1970s staircase tower [Figure 4.2] comprises modern fabric, yet reflects the historic stylistic finish of the building. In doing so, this feature makes a minor contribution both to the historic and architectural interest of the building.
- 4.13 The west wing of the hall retains some of the earliest fabric within the entire building. Nevertheless, interest derived from this quality is limited by the ancillary, utilitarian function of the wing. Likewise, whilst some aesthetic value is expressed by the wing's decorative polychrome brickwork, its architectural composition has been much altered and is not exemplary of its building typology. Overall, this range is of comparatively lesser significance than the main block.

- 4.14 The single-storey addition to the west wing is considered to detract from the hall's overall significance due to its plain form and relatively poor architectural quality. According to the 2020 Alan Baxter report, it comprises non-historic fabric and possess no particular architectural or aesthetic interest. The modern timber decking located to the rear of the building is also considered to detract from the hall's significance.

Summary

- 4.15 Overall, the exterior of the building is considered to make a medium to high contribution to the overall significance of the Site. There is an opportunity to improve this contribution through a sensitive and proportionate enhancement of the building's existing external fabric.



Figure 4.3 Rear north elevation of the hall, showing the new central range designed by George Mair (left) and the early-nineteenth century service wing (right). The rebuilt 'covered way' is shown in the foreground and the twentieth-century staircase tower is also visible.



Figure 4.4 The west service wing of the building has experienced extensive alteration to its fenestration and general facade. Red = evidence for a former extension to the elevation. Green = an existing, non-historic entrance has been created through the adaption of an original window.

4 | Site Description and Assessment of Significance

Basement

- 4.16 The interior of Kneller Hall retains much of its historic floorplan, albeit in an altered form due to the subdivision of spaces by the installation of partition walls. At basement level, the existing layout almost entirely maintains that which was presented in an 1844 plan of the building. One notable exception to this is the presence of a brick wall located to the rear of the basement which subdivides the historic servant's hall. However, this wall appears to be well-established and was likely constructed during the building's use as the Royal Military School for Music.
- 4.17 While the nineteenth-century plan form of the basement has been maintained, the ancillary function and lower ground floor location limits their historic and architectural interest. The poor quality condition of the existing fabric further detracts from this interest, as does the insensitive presence of modern electrical and servicing equipment which has been fitted to walls throughout this space. There exist no features of artistic or aesthetic value at this level.



Figure 4.5 A typical corridor within the basement of the hall comprising early nineteenth-century walls which have been inappropriately fitted with exposed MEP equipment. Modern doors have also been introduced here.



Figure 4.6 Early nineteenth-century supportive columns in the basement. Modern MEP equipment has been inappropriately fitted here.



Figure 4.7 Modern ceiling beams and joists have been introduced in many rooms within the basement and replace historic features



Figure 4.8 An historic external entrance survives at the rear of the basement but is in a state of disrepair

4 | Site Description and Assessment of Significance

Ground Floor

- 4.18 Principal spaces which retain their original plan form include the reception rooms and rooms within the wings of the building located at ground floor level. These spaces derive significance from their surviving role within the circulation of the historic plan and expressed importance within the hierarchy of space.
- 4.19 In many cases, these rooms also retain historic decorative features such as window architraves, fireplaces, ornamental ceiling or wall plasterwork, cornicing and skirting. Where these features survive, they provide a source of interest within their respective spaces. Evidence of lost features or historic alterations to the fabric of interior spaces is also sporadically present. For example, chasing within the plastered walls of the rear entrance hall at ground floor level indicates the former extent of the basement staircase within the space [Figure 4.17].
- 4.20 Detractive modern finishes such as carpet, electrical fixtures and MEP equipment has largely been removed in association with LBC granted in July 2022.¹ The removal of this fabric has not revealed any previously-covered features of interest. Nevertheless, it has enabled a more thorough inspection the composition of floors and walls.
- 4.21 Where the removal of modern floor finishes has revealed historic floorboards, these were found to be in a regular, non-decorative pattern. Similarly, the removal of modern suspended ceilings has not revealed any historic decorative features, however it has contributed somewhat to the reinstatement of the historic volume of spaces. Finally, a central opening made within the rear wall to the entrance hall has confirmed that the wall comprises brickwork. Analysis of this brickwork suggests that the wall was not likely to have originally possessed a central opening.
- 4.22 An historic skylight, likely dating to the hall's alteration in c.1840s, is located within the western entrance corridor. It has partially been concealed by a detractive suspended ceiling. This feature is in poor condition and its rubber seals are compromised by weathering and asbestos. There is an opportunity to improve the contribution of this feature to the hall's significance by enhancing its current poor condition.



Figure 4.9 Detractive modern partition walls have been installed west of the main entrance hall. They comprise a plain design and have subdivided an historic classroom to create multiple rooms and a corridor

- 4.23 Where non-historic partitions remain in-situ within spaces such as historic classrooms located either side of the main entrance hall, they have limit any legibility of the rooms' historic functions. These features are thereby detractive from the historic value of the spaces and their removal presents an opportunity to better reveal their original plan form. This assessment is supported by findings presented within the 2020 Alan Baxter Report.
- 4.24 Evidence of extensive alteration is also present through the ground-floor level of the west wing. The historic plan of this part of the building has been changed by the demolition of two partition walls which originally defined the scullery and wash house spaces. Modern walls have also been constructed at the southern end of the wing, resulting in the subdivision of historic spaces. These changes have detracted from the significance of this part of the building.



Figure 4.10 A modern dropped ceiling has been installed in the west-entrance corridor. It conceals the nineteenth-century skylight feature



Figure 4.11 A staircase hall located on the east side of the building. Its staircase comprises modern fabric with a plain design and its walls have been covered by timber panelling

¹ LBRuT, Planning Ref. 22/0344/LBC

4 | Site Description and Assessment of Significance



Figure 4.12 Columns, believed to be the 'scagliola columns' identified by the 1841 survey, survive in their early-eighteenth century situation in the east wing. Alterations to the room have resulted in their awkward interaction with the alternating ceiling level.



Figure 4.14 The north wall to the main entrance hall is possibly an original feature which has likely been altered by the construction of frame that supports the Chapel located above



Figure 4.16 The plan of the rear entrance hall has been much altered by the blocking up and creation of new openings.



Figure 4.13 Elements of chasing within plastered walls of the front, eastern classroom reveal the position of historic tiered seating



Figure 4.15 Openings in this wall, located behind the rear wall of the main entrance hall, have been infilled with modern cupboards. These features are considered to detract from the interest of the room



Figure 4.17 A historic staircase survives in the rear entrance hall. Modern carpet and nosings have been fitted to its treads and detract from its interest. Chasing in the plastered wall to the right indicates the historic location of an additional flight of stairs

4 | Site Description and Assessment of Significance

First Floor Level

- 4.25 The historic layout of this level has been much altered by the subdivision of its spaces, resulting from the construction of modern partitions. Due to their limited expression of the historic circulation of space at this level, the partitions are considered to detract from the hall's significance.
- 4.26 In particular, walls have been insensitively installed within in the former Vice Principal's bedroom and sitting room to create ancillary accommodation space. These walls have been identified as detractive within the 2020 Alan Baxter report and as such, according to the MSPD, the removal of these walls presents an opportunity to better reveal the historic plan of the building. Where the material composition and date of construction for partitions is unknown, investigations may confirm or deny the detractive status of the walls.
- 4.27 Historic central dividing walls, located within the south rooms flanking the chapel, are situated within spaces which have experienced considerable change to their layouts. These rooms derive interest from their decorative finishes, rather than their much-altered role within the circulation of space, therefore the walls are not considered to provide a prominent source of interest.
- 4.28 Similarly, whilst fragments of the historic plan to the east wing exist amongst the current arrangement of walls here, they provide a very limited source of interest. Opening up works in this space suggest that some elements of former walls have been incorporated into modern partitions, however the amount of historic fabric surviving within this space is believed to be low and is only expressed by invasive openings within its structure. Amongst the various phases of partitions in this space, no decorative finishes of interest exist here. Overall, whilst this space possesses some interest, this is almost entirely limited to documentary analysis or invasive fabric inspection.
- 4.29 It is theorised that the chapel located at this level was a later addition to the building, following soon after alterations carried out by Mair. 1844 plans of the upper levels of the building appear to show an empty, vaulted space with no entrance, suggesting that at this time, no proposals for a chapel had been produced. Existing wall and ceiling braces located in the main entrance hall directly below the chapel further suggest that a first floor was installed retrospectively.



Figure 4.18 An example of the many modern partition walls introduced to subdivide historic spaces in the building. Modern dropped ceilings have also commonly been installed. The room in the photograph has been created through the subdivision of the former Vice Principal's bedroom and sitting room



Figure 4.19 Where historic decorative features survive in situ, such as this fireplace, cornicing and ceiling moulding, they provide a principal source of interest



Figure 4.20 A set of steps connecting the 1970s staircase and adjacent corridor is considered to detract from the significance of the building

4 | Site Description and Assessment of Significance

4.30 No other material or documentary evidence supports this theory, so the origins of the chapel remain unclear. Nevertheless, the chapel space provides a point of focus for the circulation of movement at this level. Indeed, according to the MSPD, *'the chapel is architecturally and historically the most significant space within Kneller Hall'*. Likewise, the 2020 Alan Baxter report identifies this room to possess high significance.

4.31 Features such as the full-height bay window, decorated with stained glass, the carved timber pews, gallery, doors, ceiling and screen are a source of high architectural and historic interest in this space. Very few modern features have been fitted within the room, thereby maintaining its high significance.

4.32 As with elsewhere in the hall, the survival of historic features such as fireplaces, door and window architraves, skirting and cornicing holds some historic and architectural value. The presence of modern wall panelling, floor finishes and dropped ceilings detract from the interest of the building through their unsympathetic designs and alteration of the historic volume of spaces.

4.33 The 1970s stairwells located to the east and west of the building are considered to hold neutral significance due to their relatively sensitive integration into the much-altered layout of the building and their plain decorative finish. Nevertheless, there is an opportunity to improve the quality and role of these staircases within the circulation of the hall. For example, the western staircase is believed to have been created through the adaption of an historic stairwell and derives some interest through this quality. However, the resulting alteration in floor levels here - negatively perpetuated by a set of steps - is considered to detract from the interest of the space [Figure 4.20].

4.34 Finally, the historic first-floor plan of the west wing has been much altered by the demolition and construction of partition walls which has altered the historic volume of internal spaces and detracts from their significance. According to the 2020 Alan Baxter report, improvements may be made to the interest of this wing through the removal of internal brickwork partitions. At present, the ancillary function of this part of the building, along with its ever-worsening structural condition and lack of decorative finish, severely detracts from the significance of the building.



Figure 4.21 The chapel of the hall retains its historic pews and timbered ceiling. These features provide a source of interest to the building



Figure 4.23 A modern dropped ceiling, window grilles, carpet and electrical fixtures have been installed in a front classroom at second-floor level



Figure 4.22 Historic arches located at either end of the rear corridor, located behind the chapel at second-floor level, provide a source of interest to the building



Figure 4.24 A detractive, modern partition has been removed as part of consented enabling works. This exemplifies how the removal of such partitions can reinstate the historic volume of spaces and enhance their significance

4 | Site Description and Assessment of Significance

Second Floor Level

- 4.35 The existing plan of this level retains extremely little of its historic arrangement. Unlike at first-floor level, alterations to this arrangement have involved the opening up of spaces through the demolition of former partitions. Most notably, partitions associated with the definition of dormitory spaces within the front and rear rooms of the central range have been removed. This alteration detracts from the historic interest of these spaces due to the resultant illegibility of their original function.
- 4.36 Relatively few decorative architectural features are present at this level of the building, thus limiting its aesthetic value. Minor architectural interest is derived from surviving arched entrances which flank the rear corridor, located behind the chapel, as well as from evidence of blocked entrances in rooms located on the west side of the main building. This interest is limited by the detractive quality of modern features such as dropped ceilings, floor finishes, timber wall panelling and window coverings.
- 4.37 Whilst reconfiguration of spaces has occurred within the west wing, this change has comparatively maintained the historic layout of this area. Partition walls within this wing derive interest through their expression of the space's historic function as a dormitory. The walls have, however, been sporadically replaced with modern stud partitions, or rebuilt in modern blockwork. Alterations to the width of the corridor have resulted from changes to the dormitory walls. Furthermore, these changes have compromised the structural stability of the west wing.
- 4.38 The alteration and replacement of historic walls is considered to severely limit their contribution to the building's significance. In addition, the ancillary nature of these spaces holds a lower historic value than other parts of the building. An absence of high-quality decorative features in this area, as well as the poor structural quality of its fabric confirms its neutral level of significance.

Summary

- 4.39 Overall, the interior of the building is considered to make a low to high contribution to the overall significance of the Site. This is ranging from the ground and first-floor levels, where principal rooms possess a high level of architectural and historic interest, to the upper levels of the main hall and west wing, where the extensive alteration and poor quality condition of its fabric hold detracts from the significance of the building.



Figure 4.25 The presence of modern MEP equipment is typical within rooms located in the west wing



Figure 4.27 A typical modern dropped ceiling located within the west wing conceals the tops of historic windows and negatively alters the historic volume of the space



Figure 4.26 Modern partition walls have been introduced into the west wing to create corridors



Figure 4.28 Modern finishes typically installed within rooms located in the west wing include partition walls, suspended ceilings, light fixtures, doors and carpet

4 | Site Description and Assessment of Significance

Other Buildings

- 4.40 Ancillary buildings located around the Site present varied amounts of historic and architectural interest associated with their form and function. As such, they make ranging contributions to the overall significance of the Site.
- 4.41 The Guard House and Band Practice Hall undoubtedly possess the highest level of significance amongst ancillary buildings on the Site, due to their status as curtilage listed buildings. These buildings derive interest through their grouped association with the historic use of the Site as the former Royal Military School of Music.
- 4.42 In isolation, the Guard House also derives interest from its external fabric, which has origins as a stable building associated with the eighteenth-century estate. The exterior of this building has nevertheless experienced extensive change and its expressed historic function is severely limited. Various modern finishes such as windows and MEP servicing are considered to detract from the building's significance. The porched entrance is considered to make a neutral contribution to the building. The interior of this building makes no expression of the building's historic plan and its altered fabric possesses no special interest.
- 4.43 Remaining ancillary buildings comprise twentieth-century structures associated with the continued use of Kneller Hall as an active educational facility and the home of the Royal Military School of Music. The majority of these buildings served as accommodation, teaching, catering and recreational facilities.
- 4.44 The Bandstand is acknowledged by the MSPD and the 2020 Alan Baxter report to possess no architectural significance, though holds some communal value. This assessment agrees with the conclusion of both of these documents.
- 4.45 In isolation, these buildings are generally utilitarian in appearance and possess no historic fabric of interest. The buildings derive limited interest through their association with Kneller Hall's long-standing use as the Royal Military School of Music. As a group, these buildings are considered to detract from the Site's significance due to their detracting from an appreciation of the original historic landscape, as assessed in Section 3 of this report.



Figure 4.29 The Guardroom, located west of the hall



Figure 4.31 The band stand is located north of the hall



Figure 4.30 The Former Band Practice Hall is located west of the hall



Figure 4.32 Typical late-twentieth century ancillary buildings dispersed throughout the Site

4 | Site Description and Assessment of Significance

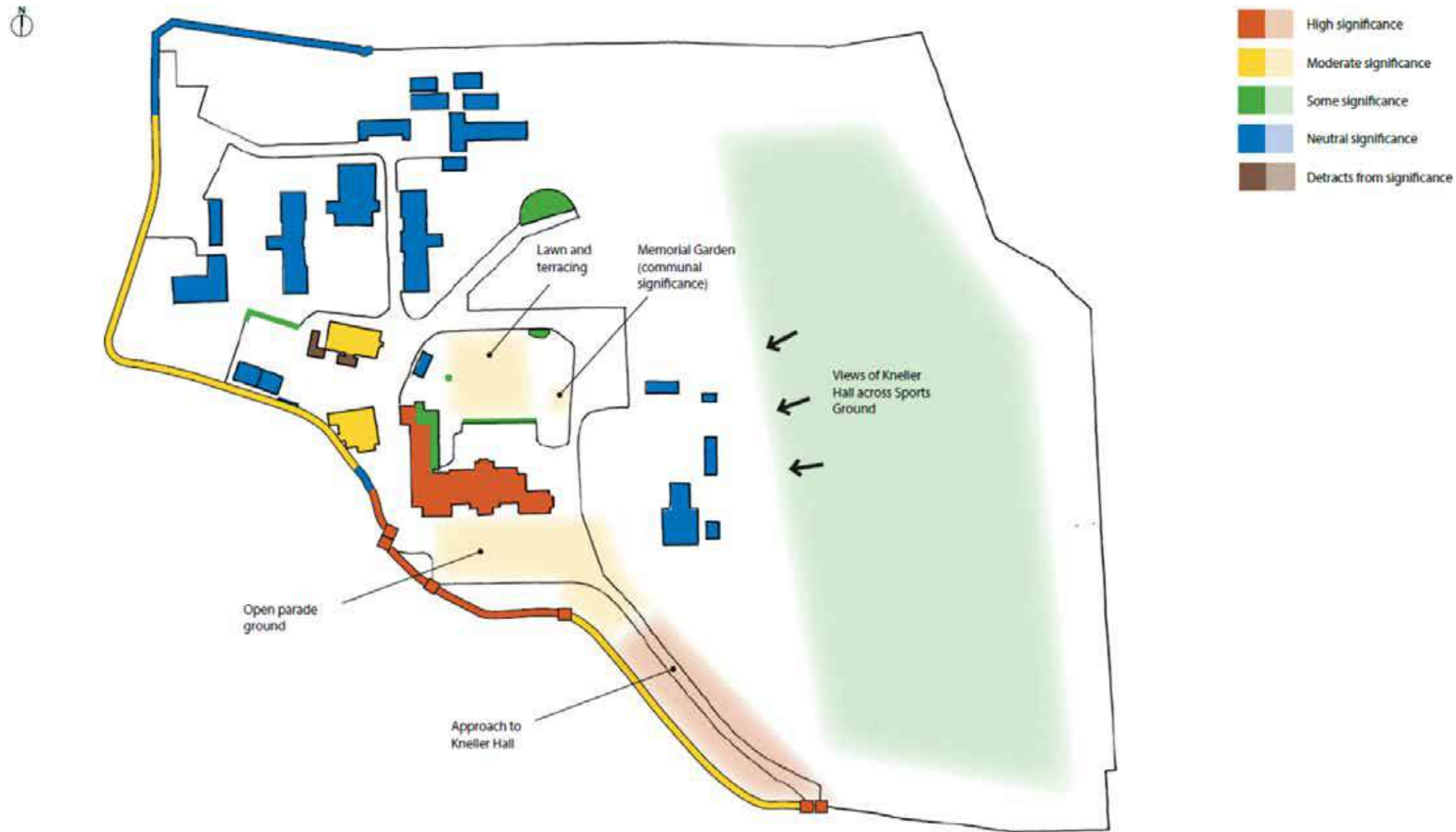


Figure 4.33 Heritage sensitivity map

Source: Kneller Hall Heritage Assets Assessment Prepared for LB of Richmond upon Thames April 2020

4 | Site Description and Assessment of Significance

Surrounding Area

- 4.46 The Site straddles a transitional area within which the residential neighbourhood of Whitton merges into a place of light industrial and commercial character. Dense clusters of suburban houses occupy the area immediately north, south and west of the Site, whilst larger developments such as the Twickenham Stadium complex, Twickenham Stoop and Worton Hall Industrial Estate lie further east.
- 4.47 The west boundary of the Site is bordered by Whitton Dene. This road is lined with groups of two-storey terraced houses, constructed in c.1934, which present a relatively uniform frontage facing onto the Site. These houses exemplify the Arts and Crafts architectural movement which persisted amongst residential buildings into the early twentieth century.
- 4.48 A composition of portched entrances, gabled bays and small bow windows with brackets are repeatedly arranged amongst the frontages of each house, and curved, full-height bay windows make reference to the emerging Modernist architectural movement of the 1930s. A variation of materials are also incorporated into these frontages, such as wall-hung tiles, red brick and white render, applied timbers and brick quoins.
- 4.49 Houses located along Kneller Road, located south of the Site, are likewise arranged in terraced groups and present similar frontages to those located along Whitton Dene, as well as Kneller Gardens, located north of the Site. Material finishes such as applied timber, red brick and coloured render are also used. Due to the sloped topography of Kneller Road, the terraced houses here display a distinctively stepped roofline.
- 4.50 The typified form and materiality of houses located along Whitton Dene and Kneller Road contribute to the character and appearance of the streetscape. The arrangement of these houses - facing towards Kneller Hall along roads which circumnavigate the Site - further references the historic role of the Site as the focal point for development in the area. This quality of the streetscape is not, however, reinforced by the Site due to its limited interaction with the surrounding area.



Figure 4.34 1930s residential buildings situated along Whitton Dene, located west of the Site
Google Streetview



Figure 4.36 Twentieth-century residences situated along Kneller Road, located south of the Site
Google Streetview



Figure 4.35 Twentieth-century buildings situated along Kneller Road, located south of the Site
Google Streetview



Figure 4.37 1930s residential buildings situated along Kneller Road, located south of the Site
Google Streetview

4 | Site Description and Assessment of Significance

- 4.51 A lacking intervisibility between Site buildings and surrounding houses, as well as the introspective nature of these buildings, means the Site fails to appropriately address both Kneller Road and Whitton Dene. Whilst the dominating height and scale of Kneller Hall contributes a visual focal point within the surrounding area, this contribution is severely limited by the inactive frontages and introspective arrangement of other Site buildings.
- 4.52 The plain architectural treatment of twentieth-century Site buildings contributes no aesthetic quality to the character and appearance of the surrounding area. The uninteresting composition of these buildings make no reference to the decorative materiality of Kneller Hall, nor terraces located in along Whitton Dene or Kneller Road. A relatively large quantity of contemporary houses have been introduced to the surrounding area and possess similarly plain form and finish. These houses are considered to detract from the character and appearance of the area.
- 4.53 The Twickenham Stadium complex is located approximately 170m east of the Site. Although it is separated from Kneller Hall and its ancillary buildings by the area of Metropolitan Open Land, the large scale and height of the stadium is prominently visible from within the Site. The concrete and metal-framed stadium provides a contrasting architectural character to the suburban housing which otherwise surrounds the Site. However, the stadium's striking form and landmark role within the townscape contribute to the interest of the area.
- 4.54 Existing Site buildings make no material or stylistic reference to the stadium complex, however their scale contributes to the area's graded massing, which increases in scale from west to east in line with the Site. This contribution to the gradient of massing amongst the surrounding area is limited by the undefined and poor quality of the Site's existing buildings. As such, there is an opportunity to improve this contribution by maintaining the large scale of Site buildings whilst enhancing their architectural quality.
- 4.55 Overall, the Site is acknowledged to function as an historic focal point within the arrangement of the surrounding streetscape. As the surrounding area has evolved, the Site has further functioned as a transitional place in which the change in architectural character and massing is graded. The limited

interaction between the Site and its surroundings - perpetuated by its historically isolated function and introspective building frontages - means the Site fails to appropriately fulfil this streetscape role. There is an opportunity to improve the Site's current contribution to the surrounding area by activating its boundaries and better responding to the architectural quality and character of the area.



Figure 4.38 The Twickenham Stadium complex is located east of the Site
Google Streetview

Section 5

Assessment of Impact.

5 Assessment of Impact

Overview of the Proposal

- 5.1 It is proposed that the Kneller Hall Site be redeveloped for educational use. This proposal presents an exciting opportunity to improve the Site's existing architectural quality and better express its significance as a Site of historic importance. Through its sensitive and considered approach to redevelopment, the proposal will secure the future sustainability of the Site by ensuring the long-term future use of its Listed and curtilage Listed buildings.
- 5.2 The proposed educational use of the Site maintains its long-established function as a centre for learning. Its evolved status as an academic school, rather than military institution, further presents an opportunity to better share the Site's heritage with the public.
- 5.3 The proposal is described in full in the Design and Access Statement and Landscape Design and Access Statement, produced by ADP Architecture, which should be read in parallel with this report. This document establishes key design objectives which include ensuring the proposed masterplan and design scheme complements the character and appearance of the Site's heritage assets.
- 5.4 The proposed development can be summarised as follows:
- All detractive, late-twentieth century buildings within the Site are proposed to be demolished. An exception to this are single-storey garages, located at the north end of the Site, which are to be retained for use as service buildings.
 - A new teaching block, sports centre and sports pavilion are proposed to be constructed to designs which compliment and better express the Site's architectural character.
 - The new buildings' arrangement within the Site supports a landscaping scheme which will reinstate areas of character and interest that draw inspiration from an understanding of the Site's historic landscape.
 - All Listed buildings will be upgraded for educational use. Single-storey extensions are proposed to be introduced to the rear, west wing of Kneller Hall and the Band Practice Hall (proposed new school hall).

- Proposed refurbishment works to Listed buildings seek to refresh outdated internal room compositions to improve their overall architectural quality and functionality.
 - Proposed changes will respect the character and appearance of the buildings and thereby contribute to the overall maintenance of their significance.
 - Detractive modern partitions and finishes existing within the Listed and curtilage Listed buildings will be removed. Proposed internal works will reinstate the historic volumes of spaces where possible - particularly within the hall - and new finishes seek to better express the hierarchical importance of such spaces.
 - Upgrades will be made to the MEP servicing throughout the Listed and curtilage Listed buildings to improve their sustainability as well as their aesthetic quality.
 - A Site-wide landscape strategy, which seeks to draw on the site's historic landscape.
- 5.5 Proposed reparations to the external fabric of the hall and boundary walls are under development and a survey of this fabric is being undertaken at present to inform the scope of such works. Proposals relating to this external fabric will be submitted as part of a separate and dedicated LBC application in the near future.
- 5.6 Proposed works and their impact are assessed in turn below. Design concepts for key spaces within Kneller Hall are presented in Figures 17 and 18, and views of the proposed scheme have been modelled in Vu.City and are presented in Figures 2 to 3.



5 | Assessment of Impact

The Masterplan

- 5.7 The proposed masterplan prepared by ADP Architecture has been created with close consultation with Icení's heritage specialists, following design workshops and extensive on-Site discussions. The masterplan has been informed by guidance published in the Kneller Hall MSPD, published by the LBRuT in March 2020, as well as the Kneller Hall Heritage Assets Assessment, commissioned by the LBRuT and published by Alan Baxter in April 2020.
- 5.8 The proposed masterplan has also been informed by discussions with Officers at LBRuT during pre-application consultations held in December 2021 and March, July and August 2022. It also builds upon proposals presented to Officers at the LBRuT and Members of the Design Review Panel in March and July 2022. As such, it takes into consideration pre-application feedback and written response to these presentations, as well as opening up works that LBC was secured for.
- 5.9 The proposed masterplan is formulated to achieve the most appropriate arrangement of new buildings which respects both the setting of the Listed buildings and the designated area of Metropolitan Open Land. A considered approach to the proposed distribution of new built forms within the Site has been informed by an assessment of the Site's significance.
- 5.10 Areas of high significance, such as the immediate settings of the Listed buildings and original driveway approach to the hall, have been avoided to limit the impact of proposed additional massing on their heritage value. New built forms are generally proposed to be introduced at the centre of the Site, on the western side of Kneller Hall where many modern buildings and/or evidence of extensive alteration to built forms have made the area less sensitive to change.
- 5.11 It is proposed that the existing twin accommodation buildings located in the centre of the Site are demolished. This proposal has been informed by discussions held with Officers at LBRuT and Members of the DRP. It will provide additional spatial availability to arrange new buildings away from both the Listed boundary wall and Kneller Hall itself.
- 5.12 In keeping with this approach, the masterplan will make more efficient use of land in the centre of the Site, as encouraged by Officers of the LBRuT. It also

reduces the potential for new buildings to detract from the perception of space from views both within and outside the Site.

- 5.13 It is proposed that a new teaching building be introduced to the south-west corner of the Site. This building will be set away from the southern boundary wall and will largely maintain the current arrangement of built form in this location. The orientation of this L-shaped building responds to the angled form of the south-west boundary. This quality, alongside the building's set back situation, will appropriately define this boundary form.
- 5.14 The construction of the new teaching building will involve the demolition of detractive, late-twentieth century buildings in this area. This proposed change follows guidance published within the MSPD and will facilitate a better appreciation of the Site's historic landscape. Through its provision of an improved source of architectural interest, the new building will further contribute to the enhancement of the Site's architectural character and appearance.
- 5.15 In keeping with guidance published within the MSPD, consideration for the proposed height of the new building will respond appropriately to the Site's context within the setting of properties on Whitton Dene and Kneller Road. The building has been restricted to 3 storeys in height and deliberate care has been taken to mitigate any impact of its additional massing.
- 5.16 A new sports centre is proposed to be introduced to the north end of the Site. Care has been taken to consolidate the multiple sporting requirements of the school - which were separated into multiple buildings in the initial masterplan - into a single building. This new structure will reduce the amount of built form within the Site and provide a single structure which responds to the Site's architectural character and appearance.
- 5.17 It is proposed that a replacement sports pavilion building be constructed in approximately the same location as the existing pavilion, east of the Hall. The deliberate positioning and orientation of the new building, as well as its modest scale and simple rectangular footprint, will make no change to the present arrangement of the Site. It will also predominantly maintain the existing setting of the hall, with the provision of a new, high-quality building contributing to an enhancement of this setting.



Figure 5.1 Proposed Masterplan
Drawing produced by ADP Architecture

5 | Assessment of Impact

Landscape Design

- 5.18 The existing landscape of the Site fails to appropriately express the historic arrangement of built form and open grounds, nor provides an indication of the historic function of external spaces. The resultant illegibility of the Site's phased development is considered to detract from the setting and significance of its heritage assets. This assessment is partly deduced from the report by Alan Baxter and our own on-site observations.
- 5.19 The overall significance of the Site has been eroded over the last century. Attempts to reverse this change entirely would have further irreversible and harmful impact on the significance and setting of its heritage assets. However, where changes can be achieved reasonably, without high degree of harm, these have been considered rigorously.
- 5.20 The proposed landscape redevelopment scheme seeks to better express the phased development of the Site and thereby enhance its character. This scheme has been informed by historic research into the Site's evolution. Key qualities and features of the Site's previous landscape iterations are proposed to be reintroduced to create a legible narrative for appreciating its historic development.

Buildings

- 5.21 As previously discussed, it is proposed that late twentieth-century buildings located in the western half of the Site be demolished. This change will positively impact the settings of nearby heritage assets. It also presents an opportunity to arrange new buildings with consideration for protected trees and the ecological corridor, which extends along the north boundary.
- 5.22 It is proposed that the new teaching building be arranged in line with the Band Practice Hall to create an open courtyard space. This space will frame an approach to the ecological corridor, located at the north-west corner of the Site. This considered approach to the placement of new buildings in this area complies with guidance published by the MSPD.
- 5.23 No new buildings are proposed to be constructed within the ecological corridor. Indeed, it is proposed that existing garages located within this area be re-purposed for use as service buildings. This proposal is considered to maintain the setting and significance of the Site.

Historic Landscape

- 5.24 Various elements of the Site's historic landscape are proposed to be reincorporated into the new landscape scheme. Most notably, the melon yard - first referenced in an 1841 description of the estate - is proposed to be recreated in the south-west corner of the Site. Similarly, new paths - inspired by the multiple 'gravel walks' identified within the aforementioned description - are proposed to be introduced throughout the Site.¹
- 5.25 Existing landscape elements of interest are also proposed to be retained and enhanced as part of the landscaping scheme. For example, a nineteenth-century avenue, presently lined with twentieth-century trees, will be incorporated into a performance space which also re-purposes the historic bandstand. Similarly, the open character of the field located east of the hall - known to have existed since the seventeenth century - is proposed to be maintained and kept void of additional built form.
- 5.26 As discussed in Section 3 of this report, Humphry Repton's involvement with eighteenth-century landscape alterations is known to have been limited to changes associated with the former lake at the north end of the Site. This lake, alongside the boathouse and bridges conceptualised by Repton have been lost and no fabric evidence for them exists amongst the present landscape. It is not proposed to create a modern replica of Repton's designs. Instead, the ecological corridor formed on the path of the former lake is proposed to be appropriately enhanced and highlighted as a feature of interest within the landscape.
- 5.27 The proposed arrangement of hard and soft landscaping around the Site is considered to reflect its historic character. In actuality, very little change to this arrangement is proposed. Hard landscaping is focused towards the west end of the Site, where service buildings and yards have existed throughout its history, and soft landscaping will be maintained at the north and east ends of the Site.
- 5.28 Proposed new courtyard spaces - created at the west end of the Site through the deliberate orientation of new buildings - will be treated with paved

¹ 'Gravel walk[s]' are also mentioned in the 1797 description of the estate by Edward Ironside

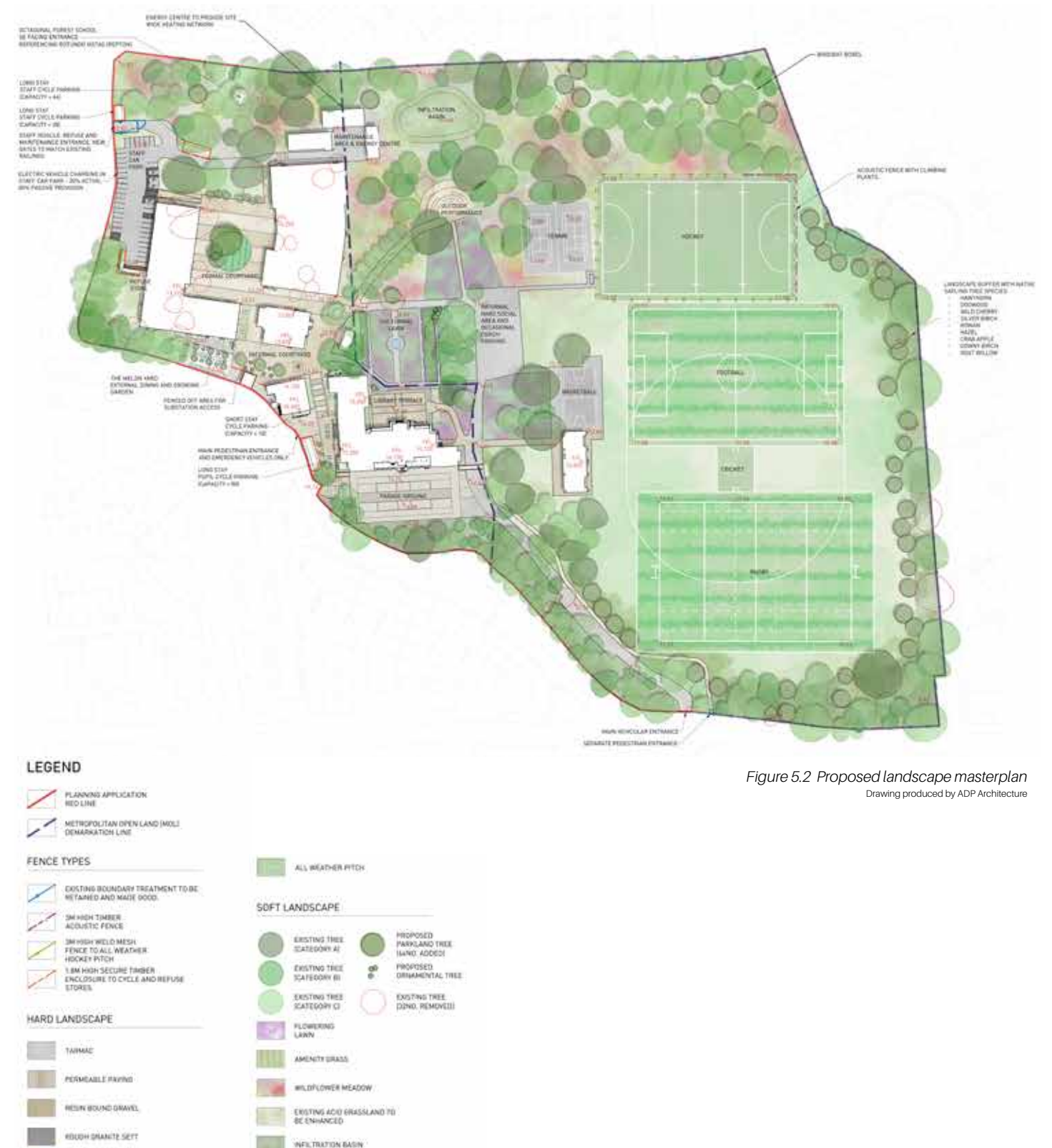


Figure 5.2 Proposed landscape masterplan
Drawing produced by ADP Architecture

5 | Assessment of Impact

landscaping. This change is inspired by the 'paved yard' identified in this area of the Site by the estate's 1841 sale description. The reintroduction of paved landscaping in this area is considered to enhance the setting and significance of the Site.

Terrace and Lawn

- 5.29 The existing terrace and lawn, located immediately to the rear of the hall, are proposed to be retained as a formalised relaxation and contemplation space. The modern end of the existing garden wall is also proposed to be rebuilt using historic wall fabric and its retained foundations will be illustrated within the floor finish of the teaching block.
- 5.30 Historic illustrations and images have been used to inform proposed changes to this space. They reveal how the terrace originated as a gravelled platform in c.1850 and was hard landscaped in the twentieth-century. At this time, the lawn existed as a curated space with formal borders and hedging. During the 1920s, it was converted into a tennis court. By 1896, a fountain was installed within the lawn and the existing pond is located in its place.
- 5.31 The terrace and lawn spaces have undergone extensive alteration over time and are considered to be less sensitive to change. Their contribution to the setting of the hall lies in their maintained distinction between hard and soft landscaped areas, as well as their functional association with the hall's evolved use.
- 5.32 Proposals to re-formalise these features will maintain this characterful contrast of hard and soft landscaping. They will also partially reinstate the historic curated arrangement of the lawn space, as well as better express the function of this space as an area for relaxation and contemplation. As such, the proposals are considered to maintain the contribution of these features to the setting and significance of the Site.

Refurbishment of the Parade Ground

- 5.33 Proposals to upgrade the existing condition of the parade ground take care to maintain its hard-landscape character. It will be kept free from built development and its retained openness will maintain its expressed historic function as both a driveway to the former residence and parade space for the military

school. It will further maintain the current visibility of the hall from Kneller Road. The proposal demonstrates careful consideration for these qualities, all of which contribute to the significance of the Listed hall. As a result, this space will maintain its current contribution to the setting and significance of the Site.

- 5.34 Proposed minor changes to the hard landscaping finish of the parade ground will enhance the functionality of this space whilst maintaining its present character and special interest. The proposed replacement of the existing tarmac finish with a resin-bound gravel and rough granite set strip will improve the quality of this area. Whilst the area is proposed to function as a drop off area, no physical manifestation of this use, such as painted bays, fixed signage or barriers, is proposed.
- 5.35 Overall, the proposed landscaping scheme is considered to successfully celebrate and better express the multifaceted, phased character of the Site's setting, appropriately referencing its former residential, educational and performance history.

Site Access

Reinstatement of West Entrance

- 5.36 It is proposed that the late nineteenth-century entrance located at the west end of the Site be reinstated and widened to accommodate larger service and emergency vehicles. This change will involve opening up the currently blocked entrance, as well as carefully dismantling and rebuilding both the brick gate piers either side of the widened entrance opening. This change will further involve the partial dismantling of an upper section of the wall, approximately 2m in length and the installation of a security railing.
- 5.37 The entrance derives interest from its status as former access point and expressed role within the circulation of movement throughout the Site. It has experienced extensive alteration through various poor-quality reparations and infilling, and is less sensitive to change. This area of wall is considered to derive interest from its historic function as a secondary entrance to the Site. It derives limited interest from the brick piers which allude to this former function, however the current condition of the entrance, being blocked and in a state of disrepair, is considered to detract from the overall significance of the listed wall.
- 5.38 The proposed demolition of the wall is necessary to safely service the Site for vehicle access and ensure visibility of vehicles using this entrance. The removal of wall fabric will be limited and this change is not considered to impact the overall historic or architectural interest of the wall, except to enhance its aesthetic quality. As such, no harm is cited as a result of this partial loss of wall fabric.
- 5.39 Alterations to the appearance of the entrance are informed by an understanding of the historic treatment of all entrances to the Site. The appropriateness of the proposed design is further assessed against an awareness for the established ancillary function of the entrance, as well as its status as a historic point of access to the Site. Nevertheless, officers' concerns that, 'the [...] design would not be sympathetic to the overall appearance of the curtilage listed boundary wall' (Richmond Design and Heritage Feedback issued 30th March 23) suggest that the utilitarian design of the previously proposed entrance was inappropriate. As such, a revised design has taken greater inspiration from historic gates surviving elsewhere along the wall.



Figure 5.3 Photograph of the existing blocked gate entrance on the west boundary wall of the Site



Figure 5.4 Photograph of the southern entrance gate. Red = approximate location of the new pedestrian entrance which will be inserted within the modern railing boundary

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- 5.40 This revised design incorporates gates of similar form to those present within the main entrance and omits the previously proposed dwarf brick walls. Its aesthetic treatment reflects that of other entrances along the wall, and successfully integrates it amongst the wall. The considered design further mitigates the impact of changes to the entrance associated with its widening. Overall, the re-opening and refurbishment of this entrance will enhance the architectural and historic interest of the wall. It's re-use and re-integration within the function of the Site will likewise facilitate a greater appreciation of the wall's significance, as well as that of the wider Site.
- 5.41 Proposals to reinstate the west entrance form part of a larger scheme to reintroduce the historic circulation of movement throughout the north end of the Site. The former use of this area as an ancillary space - serviced by the secondary entrance and driveway - will be recreated by the masterplan, though enhanced by improvements to its architectural character. Consequently, the hierarchical functionality of spaces will be better expressed. Overall, proposed changes to this entrance will secure the future functionality of this presently disused area of the wall. It will further facilitate the future use of the Site and contribute to securing the future sustainability of heritage assets within the Site.

Other Entrances

- 5.42 It is proposed that the existing entrances into the Site are retained and incorporated into the redevelopment scheme. The highly significant southern driveway will remain mostly unchanged, except for the introduction of a new pedestrian entrance to the right of the gated vehicular entrance. The new gate will comprise a contemporary railed design in keeping with the modern railing boundary in which it will be set.
- 5.43 This proposal follows guidance published within the MSPD. It will involve alterations to non-historic fabric and the new entrance will be set away from the highly-significant gate piers to the vehicle entrance so as to maintain their setting. As such, this change is considered to cause no harm to the significance of the Listed boundary.
- 5.44 The remainder of the principal driveway will continue to be used as a formal approach to the hall and will thereby maintain its role as a source of principal

interest within the Site. Further changes to the existing boundary will involve making necessary and sensitive improvements to existing detractive elements, such as poor-quality modern fixtures and fittings.

- 5.45 Finally, existing car parking facilities are proposed to be reused to avoid the creation of new areas of hard landscaping. This proposal will maintain the current arrangement of movement throughout the Site.

Outdoor Sports Facilities

- 5.46 Fields located east of the hall are known to have been used as sports pitches since the nineteenth century. This established recreational use will be maintained and will maintain the open character of the space, being void of any additional built form.
- 5.47 It is proposed that the existing sports pitches will be rearranged within the open field to improve the functionality of the space. These pitches will be set back as far from the Listed buildings as is practically possible to avoid interference with the settings of the assets. They are also proposed to be screened by existing mature trees and as such, are likely to make a neutral impact on the setting of the assets.
- 5.48 Acoustic fencing with climbing plants is proposed to be introduced to the eastern boundary of the Site to mitigate the visual impact of the sports pitches on houses located along Duke of Cambridge Close. This refurbished boundary treatment will involve the replacement of detractive railing fencing and will improve the appearance of the Site.
- 5.49 New lighting is proposed to be introduced to the tennis court, located at the north-east corner of the field. This lighting is required to ensure the usability of the court during the winter months. Whilst the court has been situated as close as possible to the historic location of the 1930s tennis court, it has been set further eastward to avoid any visual impact of its associated lighting on the setting of the Listed hall. The new court and its lighting are not considered to cause harm to the setting of this Listed building.
- 5.50 Overall, the arrangement of the sports pitches will improve the functionality of the Site whilst maintaining the settings of its Listed buildings.



Figure 5.5 Photograph of the detractive addition to the west wing (highlighted in red)

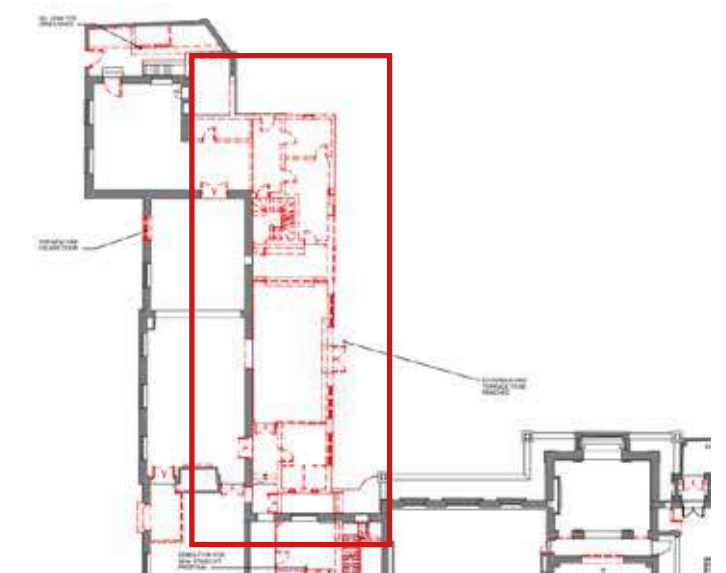


Figure 5.6 Existing plan of the Hall with the existing detractive addition to the west wing highlighted in red
Drawing produced by ADP Architecture

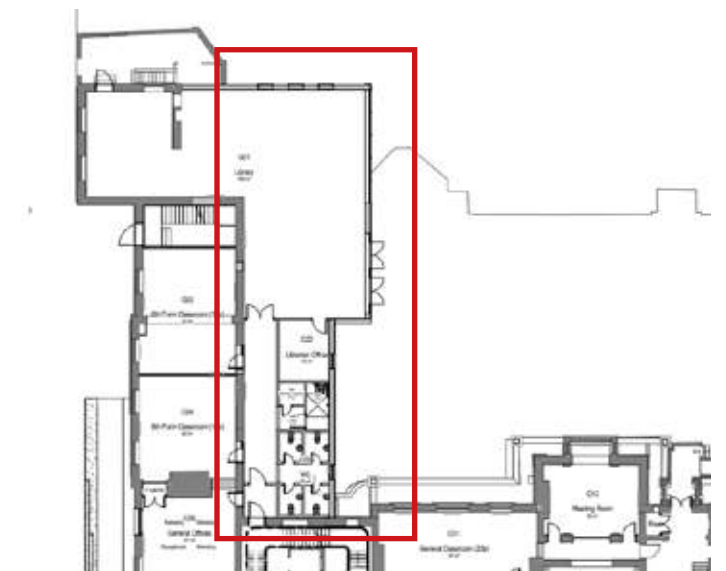


Figure 5.7 Proposed plan of the Hall with the proposed new addition to the west wing highlighted in red
Drawing produced by ADP Architecture

5 | Assessment of Impact

Kneller Hall

- 5.51 Kneller Hall is proposed to be refurbished for educational use. Proposed works intend to take a rather tired building, undoubtedly of interest, but in need of refurbishment and conservation, and introduce a heritage sensitive programme of works. Focusing alterations on parts of the building which have experienced considerable change to date, protecting and better revealing the historic floor plan and remaining details, the works when read as a whole would serve to enhance the significance of the building.
- 5.52 Proposed works have been informed by an understanding of the building's historic development and an assessment of its significance, of which is supported by findings from opening up works to the building.² They have also been refined as part of the design development process which has involved extensive consultation with Officers from the LBRuT and Members of the DRP. Much like proposals to the wider Site, works to the hall have been informed by guidance published within the MSPD and the 2020 Alan Baxter report.

Exterior

Replacement Rear Addition

- 5.53 It is proposed that the existing single-storey addition to the west wing be demolished [Figure 5.4]. The addition comprises non-historic fabric and possesses no particular architectural or aesthetic interest. This assessment is supported by historic research and fabric analysis, and is corroborated by conclusions within the 2020 Alan Baxter report.
- 5.54 Furthermore, the addition's plain, poor-quality form and lack of expressed historic interest are considered to detract from the building's significance. As such, its proposed removal will improve the appearance and architectural quality the Listed building. This proposed change was agreed in-principle by Officers at LBRuT in their response to pre-application discussions.
- 5.55 A new single-storey structure is proposed to be constructed in place of the existing addition. It will provide library space to the new school. The new structure will predominantly maintain the existing footprint of the existing addition, with the built line



Figure 5.8 Existing elevation of the west wing
Drawing produced by ADP Architecture



Figure 5.9 Proposed elevation of the west wing with new ramp, door surround and signage
Drawing produced by ADP Architecture

being set back from the projecting bay of the main hall. In doing so, the new addition maintains the existing composition of the hall's rear elevation.

- 5.56 The Kneller Hall SPD states that the overall 'significance of west wing relates largely to its exterior'. Through its high-quality design, the addition will improve the building's external composition and consequently enhance its overall significance. Similarly, the contemporary finish of the addition, comprising standing seam metal in a bronzey colour, supports a coherent expression of the building's phased development.

New Access Ramp and Main Entrance Refurbishment

- 5.57 It is proposed that the existing main entrance located on the west elevation be refurbished. This will be achieved through the creation of a new ramp and stepped approach to the entrance, as well as the installation of a new door surround and signage.
- 5.58 At present, the plain decorative finish and subservient situation of the entrance fails to appropriately express its well-established, principal role within the building's circulation plan. The proposed refurbishment works will better celebrate this role and likewise facilitate a greater appreciation of the building by visitors through the provision of greatly improved access.
- 5.59 Proposed alterations present an opportunity to enhance the aesthetic quality of the west elevation by contributing a source of interest to an otherwise relatively plain facade. They have been informed by both consultation discussions with Council officers and members of Richmond's DRP. Following receipt of Heritage and Design comments on 30th March 2023, the proposed design of the main entrance has been further updated to respond to concerns regarding its size and door treatment. Overall, the proposal is considered to better celebrate the role of the entrance as the principal access into the building, and facilitate it's greater appreciation by visitors through the provision of greatly improved access.
- 5.60 Feedback regarding the previous design of this entrance expressed concern over the, 'size of the stone surround [which should] be reduced to more sympathetic to the scale and appearance of [the] façade'. The revised design has accordingly reduced the size of the surround by reducing the



Figure 5.10 Photograph of the external door to the north porch which is proposed to be removed
Drawing produced by ADP Architecture

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extent of the left side of the stone. As a result, the stone surround now encompasses an area 1/15 of the entire elevation. It's size and rectangular form is sensitively integrated within the rhythmic character of this façade. The new surround will sit comfortably in the corner of the façade, framed by the regularly spaced fenestration and horizontal banding of the surrounding brickwork.

5.61 The proposed form and proportionality to the entrance's stone surround will be sympathetic to the scale and appearance to the elevation. Its high-quality contemporary design deliberately contrasts with the varied finish of the surrounding façade to clearly express the phased development of the elevation. This honest approach to change reflects that of other proposals to historic buildings around the Site, whereby the phasing of elements is made legible through considered design.

5.62 Care has nevertheless been taken to ensure the materiality and installation of the entrance surround is appropriate to the historic building. Concerns regarding the previously proposed concealment of the door architrave and arch/lintel have been addressed through the revised design which integrates these features into the new surround. The existing door architrave and design including fanlight will be retained, whilst the brick arch and lintel detail will be preserved behind the stone surround. This design will mitigate change to the historic form of the door entrance and all changes are entirely reversible.

5.63 Heritage and Design comments challenged the proposed replacement of the existing modern set of double doors with a single door. Officers commented that, 'a single door with no fanlight [...] appears underwhelming', and the double-door arrangement was considered to, 'appear more generous in proportion for a main entrance'. Improvements to the appearance of this entrance through enhancements to its quality and expressed phasing are considered to appropriately and successfully celebrate this feature's role as a main entrance. Furthermore, a single door is required to facilitate improved access to this entrance, and this change will enable a greater appreciation of the building by visitors of all accessibilities. In response to officer's concerns, however, the concept of the entrance's fanlight feature is proposed to be retained.

5.64 Overall, the design of the main entrance is considered to enhance the architectural interest of the building and thereby contribute to the significance of the building.

5.65 Finally, it is proposed that the existing secondary entrance located to the left of the main entrance be converted into a window. This entrance was created retrospectively - likely during the twentieth century - through the alteration of a nineteenth-century window. Proposals to reinstate the window finish here will enhance the architectural interest of the elevation.

5.66 The window will comprise an historically-appropriate sash finish, however the size of the existing entrance will be retained - along with the existing decorative surround - to maintain legibility of the elevation's historic alteration. This considered design approach will further enhance the overall significance of the building.

Removal of Entrance Door to North Elevation

5.67 It is proposed that the existing, twentieth-century external door to the northern porch be removed. This proposal seeks to improve the accessibility of the building for users of the existing ramp to this entrance. It will comprise the limited removal of non-historic fabric which is considered to make no contribution to the significance of the building. It will also serve to reinstate what is believed to have been the historic open character to the porch [Figure 3.34].

5.68 The proposed change will maintain the aesthetic quality of the porch and have a neutral impact on the aesthetic interest of the rear, north elevation. As such, it is considered to cause no harm to the significance of the building.

Interior

Alterations to the Internal Plan

5.69 It is proposed that an opening be created in the rear wall to the entrance hall located at ground floor level. This proposal will result in the partial mergence of the hall with the adjoining meeting room to the north. It will involve the localised removal of fabric which likely dates to the nineteenth-century rebuilding of the hall. The considered design of this opening will mitigate any impact of its change to the volume and plan form of both the entrance hall and meeting room spaces.

5.70 For example, the extent of fabric to be removed will be limited to a central opening and side 'nibs' will be retained to ensure the historic plan of this area remains legible. Its size is designed to respond to the central opening within the internal wall in the adjacent meeting room, thereby respecting the architectural and aesthetic character of this space. The new opening will facilitate views through the length of the building, between rooms, but will maintain the definition of each space.

5.71 The wall itself is identified as possessing high significance and derives interest from its role within the historic plan of the building. Despite forming a part of the principal arrival space within the building, the wall is claims no architectural or artistic quality, being plain in form and decorative finish. Existing structural bracing - retrospectively installed along the edge of the wall - creates a recessed appearance which encourages views towards the rear of the room from the main entrance. However, these views are awkwardly met with plain wall and any appreciation of the space is limited.

5.72 The proposed localised removal of wall fabric is considered to facilitate a greater expression and appreciation of the historic and architectural interest of the space. It will cause no harm to the significance of the building.

5.73 It is proposed that existing detractive partition walls within the building, as well as non-historic fixtures such as MEP equipment, lighting and joinery and suspended ceilings which make no contribution to the building's significance, are removed. In the majority of cases where these elements will be removed, they will facilitate a better expression of the architectural interest of spaces. For example, the removal of partition walls will contribute to the full or partial reinstatement of the historic volume of spaces and the removal of joinery will better reveal features of interest such as a chimney breasts.

5.74 It is also proposed that the historic plan of the building be reinstated where possible. This work will involve the infilling of non-historic entrances and opening up of blocked entrances. At ground floor level, for example, the modern stepped entrance located within room G10 will be infilled as shown on historic plans of this level. The considered approach to upgrading the existing plan of the building makes

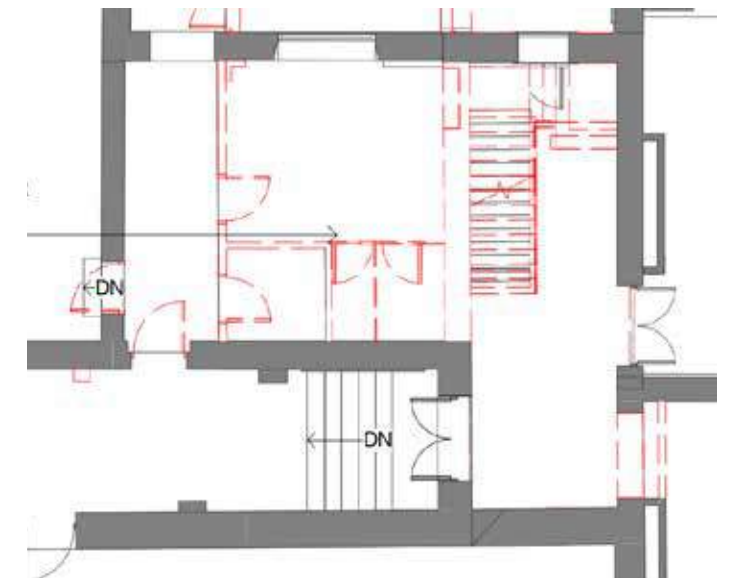


Figure 5.11 Existing plan of the staircase at ground floor level. Red = fabric proposed to be removed
Drawing produced by ADP Architecture

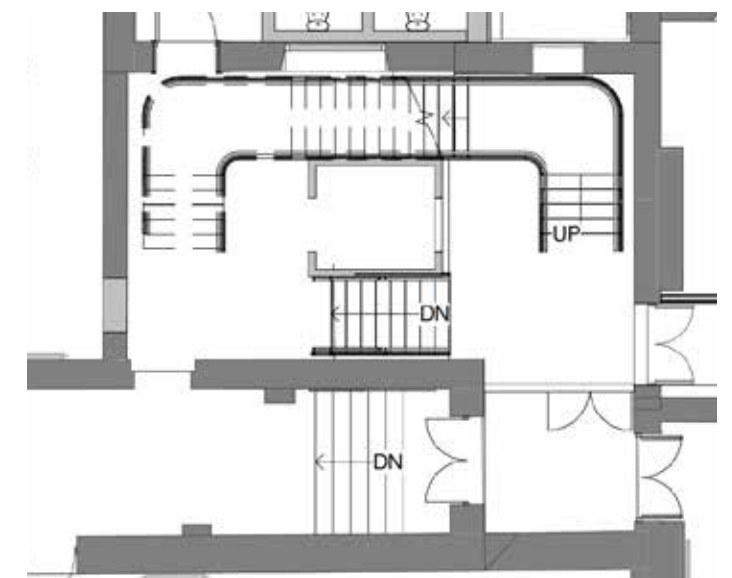


Figure 5.12 Proposed plan of the new staircase and central lift at ground floor level
Drawing produced by ADP Architecture

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appropriate reference to the historic layout of spaces, whilst balancing the requirements of modern fire safety and user standards.

5.75 At first floor level, existing partition walls located within the east wing are proposed to be removed. These walls comprise a mixture of historic and non-historic fabric, resulting from the extensive reconfiguration of the space's layout over time. Opening up works in this location reveal that limited sections of wall in the south-east corner of the room comprise a lath and plaster build up.

5.76 This fabric comprises remnants of nineteenth-century partitions associated with dormitories formerly existing in this space. These partitions do not survive in their original form and the existing wall comprising some historic fabric makes a very limited expression of the former function and layout of the space. Due to its extensive alteration, the wall derives limited interest from its materiality and makes a very low contribution to the significance of the building.

5.77 Similarly, other walls within this space either comprise non-historic fabric or have been much altered. Walls, including that which partially comprises a lath and plaster build up, also possess no decorative features of interest which express the historic function of the space. Overall, the proposed removal of these walls will cause no harm to the significance of the building

New Lift and Stairwell

5.78 It is proposed that the existing west stairwell be altered to provide an elevator space in addition to a new staircase. Alan Baxter's 2020 report identifies this 1970's stairwell as an opportunistic location for the insertion of a new lift as the space makes no contribution to the significance of the building.

5.79 The proposal will involve the removal of the existing 1970's staircase and a section of internal wall to enlarge the space for housing a lift and new staircase. This wall and staircase are considered to hold neutral significance and their removal is considered to cause no harm to the building.

5.80 The proposed design of the new lift and staircase deliberately seeks to express these features as new additions to the historic space. The new lift will be placed within the centre of the new staircase which

wraps around the stairwell walls. A gap between the staircase balustrade and wall will be created to clearly articulate its secondary nature as an addition to the building. Furthermore, the staircase will be of contemporary design, comprising glazed balustrades to its outer run and an inner balustrade of vertical metal spindles.

5.81 The staircase's simple design and material finish mitigates any visual impact of the new addition and avoids distraction from an appreciation of the historic building whilst improving its functionality. Nevertheless, its considered design supports an expression of the building's phased architectural development. Overall, it is assessed to have a neutral impact on the significance of the building.

West Wing Stabilisation Works

5.82 Structural stabilisation works are required to be carried out within the west wing to secure its safe future use. Particular urgency is required for stabilisation works at the second floor level of this wing, where heavy partitions have been installed above lower levels which have had their original supporting walls removed. Such structural repairs are encouraged to be addressed within proposals by the Kneller Hall MSPD.

5.83 Proposed works will involve the removal of existing walls at this level. The walls comprise non-historic fabric which is considered to make a neutral contribution to the significance of the building, and consent for their removal as part of structural stabilisation works was granted in 2015. The removal of these walls will undoubtedly improve the architectural quality of the west wing and facilitate its greater appreciation of the space as a result of its improved safe usability.

5.84 It is proposed that an open-plan arrangement of spaces at this level be introduced. Alterations to the internal fabric of spaces have limited their architectural interest to their characterful low ceiling height and surviving fenestration. The existing plan form contributes some interest to the space through its historic association with the military school, however this has likewise been altered over time and is less sensitive to change.

5.85 The resultant open-plan layout to spaces at this level



Figure 5.13 Photograph of the heavy block wall build up amongst existing within the west wing at second floor level which are proposed to be removed
Drawing produced by ADP Architecture



Figure 5.14 Photograph of a typical stud partition within the west wing at second floor level which is proposed to be removed
Drawing produced by ADP Architecture

will be maintained to avoid unnecessary interference with historic fabric. To install new partition walls in an attempt to recreate the nineteenth-century floorplan of this space would involve further alteration to historic fabric. Any associated aesthetic improvements to the space are not considered to outweigh the harm caused by such alterations to historic fabric.

5.86 Instead, the characterful low ceilings and surviving fenestration and floor fabric will be retained and continue to provide a source of interest. Historic walls of special interest, such as the spinal walls with chimney breasts, will also be retained.

5.87 Overall, the structural works and associated changes to the plan of this level are considered to sensitively balance a maintained expression of interest with upgrading the safe usability and functionality of the space. They are considered to cause no harm to the building's significance.

Kitchen and WCs

5.88 It is proposed that all existing WCs throughout the building be refurbished. Such refurbishment works will be predominantly limited to the replacement of modern fabric which is considered to make no contribution to the significance of the building. The proposed works are considered to have very minimal to no impact on the significance of the building.

5.89 At first floor level, additional WC stalls are proposed to be created within an ancillary space located adjacent to the existing WC. This proposed change will involve the installation of service runs in the floor associated with the WCs and sinks. These works will involve minor intervention into the existing fabric, however they will nevertheless avoid interference with architectural details. Any material lost through the installation of these features will be replaced with like-for-like material. This considered approach will be applied to all new WCs proposed to be introduced to the building.

5.90 New WC stalls will be created within spaces located in the south-west corner of the ground and second floor levels. The arrangement of the stalls deliberately responds to the existing internal layout of these spaces and proposed works do not involve the removal of any existing walls. Further consideration

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Figure 5.15 Proposed concept image of the rear elevation of Kneller Hall
Source: ADP Architecture



Figure 5.16 Proposed concept image of the courtyard space with the Band Practice Hall, Guard House and new buildings
Source: ADP Architecture



Figure 5.17 Proposed concept image of the entrance and west yard space to the hall
Source: ADP Architecture



Figure 5.18 Proposed concept image of the west boundary with its reinstated entrance and Teaching Block
Source: ADP Architecture

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for the placement of these WC spaces has been informed by 1844 plans of the building. These plans reveal that WCs historically existed in these spaces. As such, the proposals will reinstate this historic function and will contribute to the enhanced interest of the space.

- 5.91 It is proposed that a new, bespoke kitchenette be created within room G11 at ground floor level. This will require the installation of electrical and service runs in the floor associated with the sink and electric plug socks of the kitchenette. The proposed works will nevertheless avoid interference with architectural details and are considered to have very minimal to no impact on the significance of the building.
- 5.92 The proposed angled form of the bespoke kitchenette reflects the rectilinear character of the room. Its corner situation mitigates its physical presence within the space and any change to the composition of the room as a result of this presence is wholly reversible. Furthermore, the kitchenette has deliberately been situated away from the external wall of the room to maintain physical and visual access to the historic windows which are a source of interest in the space. Overall, the proposed installation of a bespoke kitchenette is considered to respect the architectural interest of the room and maintain its significance.

Internal Refurbishment Works

- 5.93 Proposals to refurbish the internal finishes of the building take care to enhance the architectural and historic interest of spaces. This will be achieved by celebrating historic features where they survive, or improving the aesthetic quality of spaces where no features of interest presently exist. The approach to redecorating internal spaces has been informed by a thorough understanding of their hierarchical role within the building's plan. Care will be taken to maintain, or where possible, better express, this hierarchical character.
- 5.94 Highly significant spaces, such as rooms G13 and F09, naturally retain decorative features of great interest. No proposed changes will be made to these features. These rooms, as well as others of similar quality, such as the chapel and rooms G15 and F10, will retain their existing decorative schemes and any new services will avoid alteration to historic fabric.

- 5.95 Where rooms possess lower architectural or aesthetic interest, they present greater opportunity for change. Nevertheless, a balance will be struck between improving the functionality of spaces for use by the new school and maintaining or enhancing their existing aesthetic quality. For example, where historic doors survive in situ, but their respective entrances will be excluded from the revised circulation plan, they will be fixed shut rather than removed.

Internal Finishes

- 5.96 Proposed internal finishes to the rooms take an opportunity to improve the aesthetic value of spaces. They are designed to better express the interest of spaces where possible and thereby enhance the significance of the building as whole.
- 5.97 The proposed approach to internal finishes to the hall seeks to remove detractive elements where this can be achieved without risk to historic fabric. Such changes will involve the removal of secondary window glazing, window film, door hardware, surface-mounted MEP, suspended ceilings, pine wall panelling and infill within fireplaces. The removal of these elements will improve the aesthetic value of the spaces and facilitate a better appreciation of historic features.
- 5.98 Where practicable, repair and refurbishment works are proposed to existing features which contribute some interest to their respective spaces. Such works include repairs to historic sash windows and the removal of tiles on their sills, restoration of historic fireplaces, ceiling roses and doors, as well as the repair of skirting and cornicing where modern partition walls have been removed. These changes will improve the quality of these features and elevate their roles as sources of interest within spaces.
- 5.99 In addition, where non-historic decorative features are proposed to be removed, such as doors, skirting, radiators and floor finishes, these will be replaced with features of appropriate finish. More specifically, the introduction of new or replacement decorative finishes has been approached on a room-by-room basis. This considered design approach ensures that proposed finishes appropriately respond to the significance of each room and facilitate a maintained expression of the historic and architectural hierarchy of spaces.

- 5.100 Finally, where new decorative finishes are proposed to be introduced to spaces, they have been designed to avoid interference with historic fabric. Care has been taken to ensure that new features do not distract from the role of existing features in providing a source of interest within spaces. Where no features of interest exist, new elements take an opportunity to enhance this interest.
- 5.101 For example, new wainscot panelling is proposed in the entrance hall at ground floor level. This feature will introduce high-quality decoration to the existing plain surface area of the walls and will thereby enhance the aesthetic interest of the space. This proposal responds to the architectural character expressed within the meeting room located immediately north of the entrance hall. It will serve to better express the transition between these rooms and will thereby increase the architectural interest of the space.
- 5.102 It is also proposed that new display poles be introduced at the sides of the entrance hall. These features will be set away from the wall and placed between the projecting pillars. The considered placement of the poles, alongside their thin profile and simple design, mitigates any impact of their presence within the room. In doing so, they are considered to maintain the characterful bay plan of the space.
- 5.103 The poles will be fixed to the floor and the ceiling and are not considered to cause harm to the significance of the building. Indeed, their function - to display historic imagery of the Kneller Hall estate - will facilitate a better appreciation of the Site and its significance by visitors to the school.
- 5.104 The proposed approach to internal refurbishment works is informed by an understanding of the significance of each room. This understanding has in turn been established through historic research and on-Site fabric analysis. It has also been encouraged by officers at LBRuT. This approach is considered to respect the interest of spaces and maintain the overall significance of the building.



Figure 5.19 Photograph of exposed historic floorboards within the Meeting Room at Ground Floor Level



Figure 5.20 Photograph of exposed historic floorboards within the Head Teacher's Room at Ground Floor Level

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the legibility of its phased development. A glazed finish to the addition's south elevation maintains views of the historic facade and allows the new structure to remain visually subservient to the existing building. The existing brick detail at eaves level will remain visible.

- 5.115 The choice of materiality not only highlights the expressed form of the building's rear elevation, but also successfully mitigates the impact of additional massing in this area.
- 5.116 Where an opaque finish is required for privacy reasons, a standing seam metal in a bronzey colour finish will be applied. This finish forms part of a consistent design standard amongst all new additions within the Site, and thereby contributes to a clearly defined evolution in the Site's development.

Addition to the West Elevation

- 5.117 A new addition is also proposed to be introduced to the rear, west elevation of the building. This elevation makes a very limited contribution to the aesthetic value of the building and its fabric has been subject to various alteration, including repeated structural repairs. As such, the elevation is considered less sensitive to change.
- 5.118 The proposed new addition will provide an enclosed space for mechanical servicing equipment associated with the building's use as a school hall. Following discussions with Officers at LBRuT, the proposed scale of the addition has been reduced as much as possible to its present form, with the eaves of the addition no longer projecting above the eaves of the existing building.
- 5.119 The proposed form of the addition, including its pitched top, is intended to reflect that of the hall and thereby mitigate any visual impact of its additional massing. Likewise, the plain finish to the structure further emphasises its subservience to the existing building. No features of architectural interest will be concealed by the presence of this addition.

Fenestration Alterations

- 5.120 It is proposed that the twentieth-century entrance located between the W.C extension and the hall is infilled. The former window opening here - presently infilled in association with the W.C extension - will be reinstated.

Summary

- 5.29 These works are considered to have a low impact on the historic fabric of the building and take care to preserve and enhance its special interest through emphasising features of particular significance, such as decorative wall and ceiling details, whilst replacing detractive elements such as modern servicing equipment and floor finishes high quality material. Likewise, the proposed external works to the building will improve its functionality and better express elements of architectural and historic interest.
- 5.110 All of these works are considered to be either neutral or beneficial to the building and comprise high quality finishes which make changes that are sympathetic to the character of the building. In most cases, the proposed changes are wholly reversible.

Band Practice Hall

- 5.111 This curtilage Listed building is proposed to be upgraded for use as a school hall. This proposed change in use is considered to appropriately build upon the historic function of the hall as a communal space for student users of the Site. As such, the proposed changes to the building are designed to better express the Site's character whilst improving the building's functionality as a modern hall space.

Exterior

Addition to the South Elevation

- 5.112 It is proposed that the existing late-twentieth century addition to the south elevation be demolished. This addition is considered to detract from the building's aesthetic value and its demolition is considered to improve the overall architectural quality of the building.
- 5.113 A new single-storey addition is proposed to be constructed along the south elevation of the building. This high-quality addition responds to the architectural form of the existing building. In particular, the roof of the new addition is designed to reflect the pitched form of the building's existing roof. It further incorporates a flat section which, alongside the rectangular footprint of the addition, emphasises the linear character of the building.
- 5.114 The proposed materiality of this addition deliberately contrasts with that of the existing building to maintain

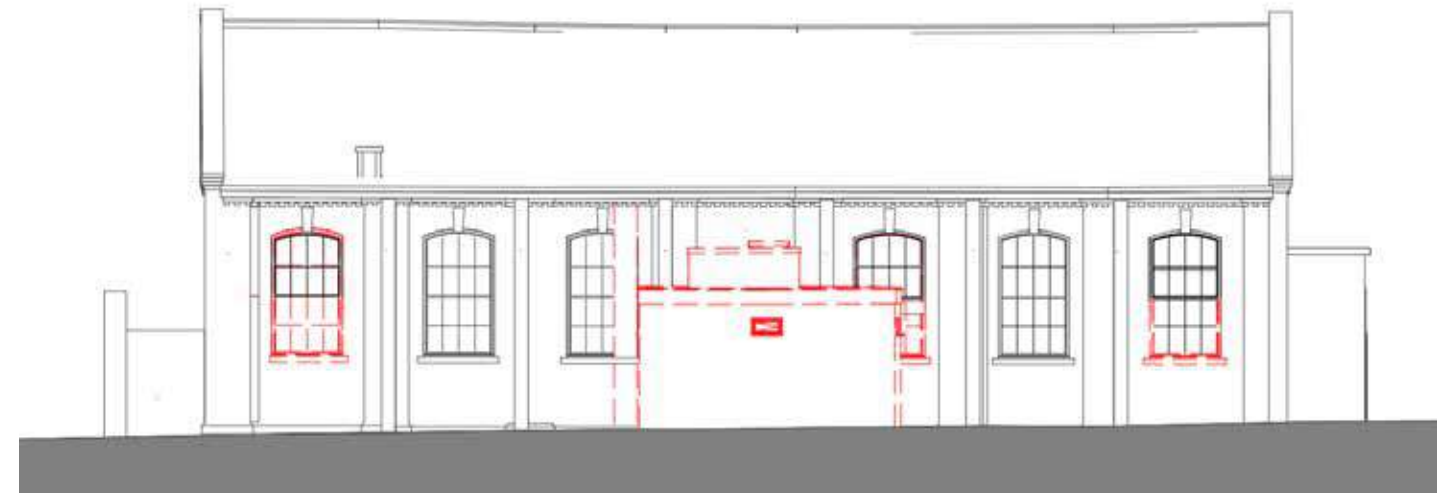


Figure 5.21 Existing south elevation of the Band Practice Hall
Drawing produced by ADP Architecture



Figure 5.22 Proposed south elevation of the Band Practice Hall. Red = west addition, blue = south addition
Drawing produced by ADP Architecture

New Lighting

- 5.105 The proposed energy strategy for the building has been informed by an assessment of the existing building and an understanding of areas which make a high contribution to the building's listing at Grade II. The proposed strategy recognises the need to ensure a comfortable learning environment is provided and to consider energy usage, whilst maintaining and improving, where possible, the significance of the building's interior spaces.
- 5.106 New light fittings are generally proposed to be installed in the same locations as existing, allowing existing wireways to be utilised, however existing outdated cabling will be replaced. Where new lights are proposed to be installed and will require localised chasing out of plaster, such work will avoid interference with architectural details. Nevertheless, any disruption of plasterwork will be replaced with like-for-like plaster and as such, no harm is considered to arise from this proposed change.
- 5.107 Where appropriate, dropped ceilings will be installed to conceal lighting services and allow for less alteration to historic ceiling fabric associated with chasing plasterwork. This approach to installing suspended ceilings will be taken on a room-by-room basis. Suspended ceilings are only proposed in rooms with no existing high-level decoration and in spaces where the impact of alterations to spatial volumes can be mitigated by existing tall ceiling heights.
- 5.108 For example, high ceilings amongst corridors located at first and second floor levels will be fitted with suspended ceilings to contain new MEP services. This change will avoid interference with historic ceiling fabric, except for the creation of localised openings, necessary for the installation of surface-mounted service runs. The new ceiling will further maintain the expressed form of arched entrance heads in these areas.

Small Power Improvements

- 5.109 Proposed electrical servicing improvement works will involve the creation of electrical inputs within the floor. These works will involve minor intervention into the existing fabric, however they will nevertheless avoid interference with architectural details. Any material lost through the installation of these features will be replaced with like-for-like material.

- 5.121 A window, located adjacent to the W.C extension, is proposed to be covered into an internal entrance, granting access between the hall and south addition. Its existing sash window will be removed and inserted into the adjacent reinstated opening (where the present W.C entrance is located).
- 5.122 This change will avoid the truncation of the window in association with the creation of an entrance. The window will be retained in its complete, original form and placed in an original opening, thereby mitigating any loss of historic fabric. A modern, half-sash window which matches the finish to truncated, original windows located on the north elevation will be inserted above the new entrance.
- 5.123 New entrances are proposed to be created through the alteration of the east and west windows along this south elevation. These existing windows are proposed to be truncated, with their upper halves retained in situ.
- 5.124 Finally, it is proposed that an opening be created within the north elevation of the building for the provision of a fire escape entrance. Specifically, this opening will be created below the surviving top sash of an original window, and will involve the removal of non-historic fabric which was introduced during the truncation of the sash window in question. This proposal will therefore occur in an area which has experienced alteration and is less sensitive to change. It is not considered to cause harm to the building's significance.
- 5.125 The considered design of both proposed additions and the proposed fenestration works are assessed to maintain legibility of the hall's original external character and appearance. As such, they are considered to cause no harm to the overall significance of the building.

Interior

- 5.126 It is proposed that the existing internal wall be demolished at first floor level. This change is associated with improving the functionality of the building as a congregation space for a modern school. Whilst the change will involve the loss of historic fabric, deliberate consideration has been made to maintaining the original plan form of the building through retaining the lower half of the wall.

- 5.127 It is proposed that non-historic features such as surface-mounted cabling, lighting, acoustic panelling and joinery is removed. These features are considered to make no contribution to the significance of the building and their removal will cause no harm to it. Surviving internal historic fabric is limited to the herringbone floor and is to be maintained as the proposed floor finish.

Guard House

- 5.128 As part of the proposal, the Guard House will also be refurbished for use of the school. The building derives interest from its status as curtilage listed to the hall, but also holds particular interest through its architectural interest as a former stable block, associated with the nineteenth-century residential estate. Due to the extensive alteration of the building's internal fabric, this interest is limited to the exterior of the building, where evidence of its phased development is expressed.
- 5.129 It is proposed that the exterior of the building remain largely unchanged, except for the replacement of detractive modern windows with louvred windows of more appropriate finish. Where possible, however, improvements will be made to the quality of historic windows. This will involve the removal of detractive film and bars across the windows, as well as the replacement of pains which have been insensitively altered by the insertion of vents.
- 5.130 Internally, the existing plan will be altered to enhance the functionality of spaces. As previously mentioned, the interior of the building has undergone extensive alteration over time and is therefore less sensitive to change. Nevertheless, care has been taken to retain historic walls associated with the former use of the building which will facilitate an appreciation of its phased development.
- 5.131 Proposed alterations to this building intend to reinstate its prominent role within the functioning of the Site, rather than maintain its current ancillary use. This development will enhance the overall significance of the building and improve its contribution to the significance of the Site. Through elevating the building's functional status, this development further presents an opportunity to provide essential facilities for the school.



Figure 3.49 Photograph of the surviving section of garden wall. The wall is in a state of disrepair and is structurally unstable



Figure 3.50 The rear elevation of the surviving section of garden wall, showing the modern buttressing. The south returning end of the wall (right) has been rebuilt using modern brick and fencing. This section of wall (also highlighted in red) will be rebuilt using material from the surviving north end of the wall

Former Garden Wall

- 5.132 Remains of the former garden wall are structurally compromised and exist in segmented form as a result of weathering and historic collapse. The wall comprises multiple phases of alteration, including late twentieth-century rebuilding at its south end and buttressing along its west elevation. Its historic fabric is in extremely poor condition.
- 5.133 The wall derives interest from its status as curtilage listed to the hall and possesses some historic interest as a remnant of the Site's former landscaping scheme. Nevertheless, the wall holds no architectural interest, being a typical section of wall which comprises no designed elements such as a cavity or decorative details. Modern elements of the wall are considered to detract from its significance as a curtilage-Listed structure, due to their plain form and material finish.
- 5.134 Overall, the wall makes a very low contribution to the significance of the Site. There is an opportunity to secure the future use of the wall by improving its structural condition and reviving its functional role within the Site.
- 5.135 It is proposed that the modern south end of the wall, abutting the Site boundary, be demolished. The removal of this fabric is considered to cause no harm to the significance of the Listed hall or boundary wall. Remaining elements of the wall - comprising historic fabric - are proposed to be carefully dismantled and rebuilt in place of the modern south end of the wall, abutting the Site boundary. This careful rebuilding of the wall will improve its structural stability and permit the removal of detractive modern buttressing.
- 5.136 In order to stabilise the wall - whether it retains its current placement or not - its structure is required to be dismantled. This work presents an opportunity to rebuild the wall in the location of its original southern end (which was insensitively rebuilt during the late twentieth century). Proposals to rebuild the historic garden wall at the south-west boundary are informed by an understanding of the Site's historic development, as concluded through historic map regression and photographic analysis.
- 5.137 The rebuilt wall will reinstate the historic height and form of the wall in this location. It will recreate the earliest-known boundary arrangement of the kitchen garden and provide a source of interest to the Site. It will further form part of the recreated melon yard, and

will appropriately reactivate the wall's functional role in a manner which references its historic use.

- 5.138 Benefits associated with its reinstatement are considered to outweigh any potential harm caused by the loss of the northern end of the wall resulting from its repositioning. Likewise, proposals to preserve the foundations of the wall's existing northern end and retain them as a source of interest within the new teaching building will mitigate any harm caused by the repositioning of its fabric.
- 5.139 This proposal seeks to respond to feedback from officers at LBRuT who expressed a desire to incorporate the wall into the new building. The wall's foundations will be retained in situ and preserved beneath the floor of the new building. An engraved brass inlay within the floor will reflect the location and arrangement of the wall foundations, and provide information on the historic development of the garden wall.

Heritage Impact Assessment

- 5.140 The proposals described above will have an impact on the overall setting and character of Kneller Hall. This is assessed in proportion to the overall significance of the heritage assets, as required by policy.
- 5.141 The key test in determining the planning and Listed building consent applications is to ensure that, in accordance with Section 66 of the Planning (Listed Buildings and Conservation Areas) Act 1990, the proposals will succeed in 'preserving Listed buildings, their settings or any features of special architectural or historic interest which they possess'. The Act establishes a strong presumption against the granting of planning permission and Listed building consent unless the Listed building can be shown to be preserved by the proposals.
- 5.142 As a minimum, therefore, the overall impact of the proposals on the significance of the Listed buildings should be neutral. Each instance of harm should be justified by necessity and mitigated by good design, in order to preserve the building's special interest overall.
- 5.143 These are the principles with which the scheme has been developed by ADP Architecture. Each proposed intervention is designed to fit within the original character of the buildings, reusing original features or following original specifications wherever possible, thus mitigating the impact of the alterations.
- 5.144 The National Planning Policy Framework has crystallised previous policy approaches to the historic environment and draws focus to 'the desirability of sustaining and enhancing the significance of heritage assets and putting them to viable uses consistent with their conservation'. It has given strong emphasis to the need to 'weigh up' the pros and cons of proposals and states that benefits arising from proposals, and in particular public benefits, should be part of that process.
- 5.145 As described above, the proposals for the hall, the related buildings and the wider landscape will not result in any major harm to their significance. There will be a small number of instances of minor harm, as would be expected in proposals to adapt historic buildings to a new function, but together these will amount to 'less than substantial harm', in terms of the NPPF.

5.146 The harm to the setting and to the wider landscape caused by the development of the new teaching building and sports centre are also considered to be 'less than substantial', because the setting to the west of the hall is already compromised by the existing ad hoc structures added repeatedly by MoD. The overall scale and design of the new buildings have been considered carefully to transition between the heritage buildings of significance, located within the centre of the Site, to the modern sports and teaching facilities located to the west.

5.147 The proposals are justified because the 'less than substantial' harm caused is will be outweighed by significant public benefits. The most important benefits to the Hall and its setting are:

- Improvements to the setting of the building to the west and north by the removal of modern ad hoc buildings which detract from the character and setting of the Listed building and their replacement with well-designed alternatives, all set within historic landscape of the hall;
- Provision of contemporary facilities as per requirements for the functioning of the building and its long-term sustainable use;
- Repair of all significant historic fabric, including structural repairs;
- Renewing of services, including heating and ventilation, in a manner sensitive to the historic fabric, including reusing existing service routes where possible.
- Reinstatement of the original processional route to the hall from south of Kneller Hall;
- Retention and continuation of the educational and function of the building as established in the mid nineteenth century.
- Long term commitment to the Site by Dukes Education, who will ensure that the property is well maintained

5.148 Further benefits would be brought about by improvements to the historic setting of the Hall, refurbishment of the curtilage wall, the Band Practice Hall and the Guard House.

5.149 The overwhelming public benefit offered by the proposals, however, is that specifically mentioned in paragraph 202 of the National Planning Policy Framework: 'securing ... [the] optimum viable use [of a designated heritage asset]'. Kneller Hall is a building which has been underused and re-adapted rather crudely to the needs of the MoD. The scheme as outlined above seeks to retain the educational institutional use of the building and undertake necessary repair works and to ensure that maintenance will take place on a 'stitch in time' basis in the future, thus ensuring its sustainable use.

Conclusion

5.150 Kneller Hall is an important civic building of high architectural, historic and communal value which has been adapted poorly for MoD's needs and requirements over many years. When a building of this nature is to be re-purposed to a new use, imaginative adaptation is required given the very specific function for which the Hall was originally designed. It is of paramount importance that the alterations proposed are sensitive to the original fabric. But it is also essential that the alterations are sufficient to equip the building for its new phase of life, so that a series of small-scale, piecemeal and detrimental alterations to facilitate a series of failed ventures do not follow from the initial conversion.

5.151 The proposals put forward here offer a more sensitive approach to the fabric and features of the historic building and its setting, presenting a realistic chance of addressing the repair backlog at the Hall. The proposals, therefore, offer an appropriate balance of harm and benefit as required by current planning policy, weighted towards the former. Any potential harm should be categorised as 'less than substantial' and would be outweighed by significant public benefits the most important of which is providing the buildings with a viable use which will support their long term conservation.

5.152 Overall, therefore, the proposals are considered to maintain the special interest of the listed building and will be carried out with the care and quality of execution that this Grade II listed building deserves.

Section 6

Visual Impact Assessment.

6 | Visual Impact Assessment

Methodology

- 6.1 The assessment of the impact of the proposed development uses the methodology set out in paragraphs 199 to 203 of the NPPF as its basis and is applied with the interpretation established by current case law. NPPF para. 206 (addressing opportunities for new development in Conservation Areas and within the setting of heritage assets) is also of relevance.
- 6.2 Historic England's GPA2 (Managing Significance in Decision - Taking in the Historic Environment) and GPA3 (The Setting of Heritage Assets) have informed the assessment, with the relevant heritage assets, their significance and setting having been identified in the preceding sections of the report.
- 6.3 To support the assessment, several representative viewpoints have been modelled in Icenii's 3D London Model 'Vu.City' software. The modelled viewpoints allow a visual assessment to be undertaken and the effects on heritage assets and the townscape to be explored. In accordance with good practice, viewpoints were chosen from public spaces and not from inside buildings or private spaces.
- 6.4 The viewpoints, illustrated on Figure 6.1, are:
1. From the junction of Whitton Dene and Old Manor Drive, looking south-east.
 2. From Whitton Dene, looking east.
 3. From the junction of Kneller Road and Nelson Road, looking north-east.
 4. From Kneller Road, looking north.
 5. From Kneller Road, opposite the Main Entrance, looking north.
 6. From the junction of Alton Gardens and Kneller Road, looking north.
 7. From Duke of Cambridge Close, looking west.
- 6.5 Additional CGI views from within the Site have been produced by ADP Architecture and are assessed below.



Figure 6.1 Viewpoint Map
Source: Vu.City

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View 1: From the junction of Whitton Dene and Old Manor Drive, looking south-east



Figure 6.2 Existing

Existing

6.6 Whilst the Site features prominently within the middle ground of this view, it fails to emphasise the linear character of the streetscape. Clusters of buildings of irregular scale and orientation distract from the linear form of the boundary wall and Whitton Dene. There is an opportunity to better express the linearity of the streetscape and the Site's role as a boundary to Whitton Dene.



Figure 6.3 Proposed

Proposed

6.7 The new building provides a focal point for encouraging views along Whitton Dene. Its simple rectangular form emphasises the linear layout of the street and reinforces the role of the Site's boundary wall in defining this area of the street's layout. The arrangement of the building within the Site deliberately maintains views of Kneller Hall from the road, and improves the architectural quality of both the Site and the streetscape through its replacement of the detractive cluster of buildings at the south corner of the Site.



Figure 6.4 Proposed view with leaves on the trees, rendered in Vu.City

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View 2: From Whitton Dene, looking east.



Figure 6.5 Existing

Existing

- 6.8 The Site is also prominently situated within the centre of this view. It likewise also detracts from the architectural quality of the streetscape due to the cluster poor-quality buildings visible beyond its boundary wall.
- 6.9 Particularly notable within this view are the contrasting orientation of buildings within the Site which are arranged at a transversal angle to the boundary wall. This arrangement distracts from views along Whitton Dene and serves to detract from the Site's role in defining the street's layout.



Figure 6.7 Proposed view with leaves on the trees, rendered in Vu.City



Figure 6.6 Proposed

Proposed

- 6.10 The new teaching building provides a much improved architectural composition within the centre of this view. The building's orientation runs parallel to the boundary wall and Whitton Dene, and appropriately emphasises the layout of the street.
- 6.11 Whilst its scale is prominently eye catching, the building's considered design seeks to mitigate any impact of its additional massing on the surrounding streetscape. The horizontal emphasis of the building's form responds to the linear character of the street.
- 6.12 Other qualities such as the grid-like arrangement of its fenestration and the stepped back central bay have further mitigated the visual impact of the building's additional massing.



Figure 6.8 Proposed view CGI
Source: ADP Architecture

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View 3: From the junction of Kneller Road and Nelson Road, looking north-east



Figure 6.9 Existing

Existing

- 6.13 The south-west corner of the Site provides a focal point for this view. Built forms within the Site are largely obscured from view, being concealed behind trees lining the Site boundary. The boundary wall sits in front of these trees and whilst visible in its entirety, its small scale and poor quality fails to respond appropriately to its prominent streetscape situation.
- 6.14 There is an opportunity to better define the corner junction of Whitton Dene and Kneller Road through the construction of a building of appropriate scale and design. Such a development presents an opportunity to better express the Site's long-established role as a source of visual and architectural interest within the surrounding streetscape.



Figure 6.11 Proposed view with leaves on the trees, rendered in Vu.City



Figure 6.10 Proposed

Proposed

- 6.15 The new building would be visible within the middle ground of this view. The building's deliberate orientation within the Site positively responds to the angled form of the corner junction and serves to emphasise the layout of the streetscape. Its long west elevation articulates the linear form of the street and provides an appropriate background to the boundary wall.
- 6.16 The building's facade has been designed to mitigate any impact of additional massing upon the setting of the Listed building and surrounding streetscape. References to the architecture of Kneller Hall are expressed through the articulated form of the building's facade which presents a rhythmic series of bays. The incorporation of a parapet also serves to be reference the hall's roof design and conceal the presence of MEP roof plant from the view.
- 6.17 As demonstrated by Figure 6.10, this building would remain largely obscured from view by trees, especially when they are in leaf. Overall, the new building is considered to provide an enhanced focal point to the view and better expresses the Site's role within the streetscape.

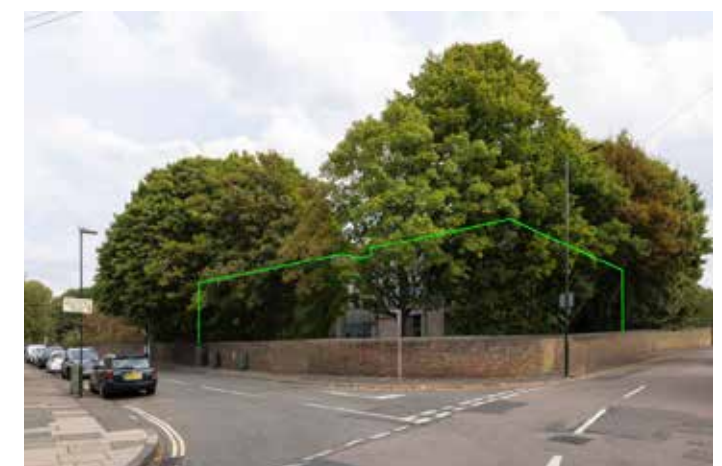


Figure 6.12 Proposed wireline view
Source: ADP Architecture

6 | Visual Impact Assessment

View 4: From Kneller Road, looking north.



Figure 6.13 Existing

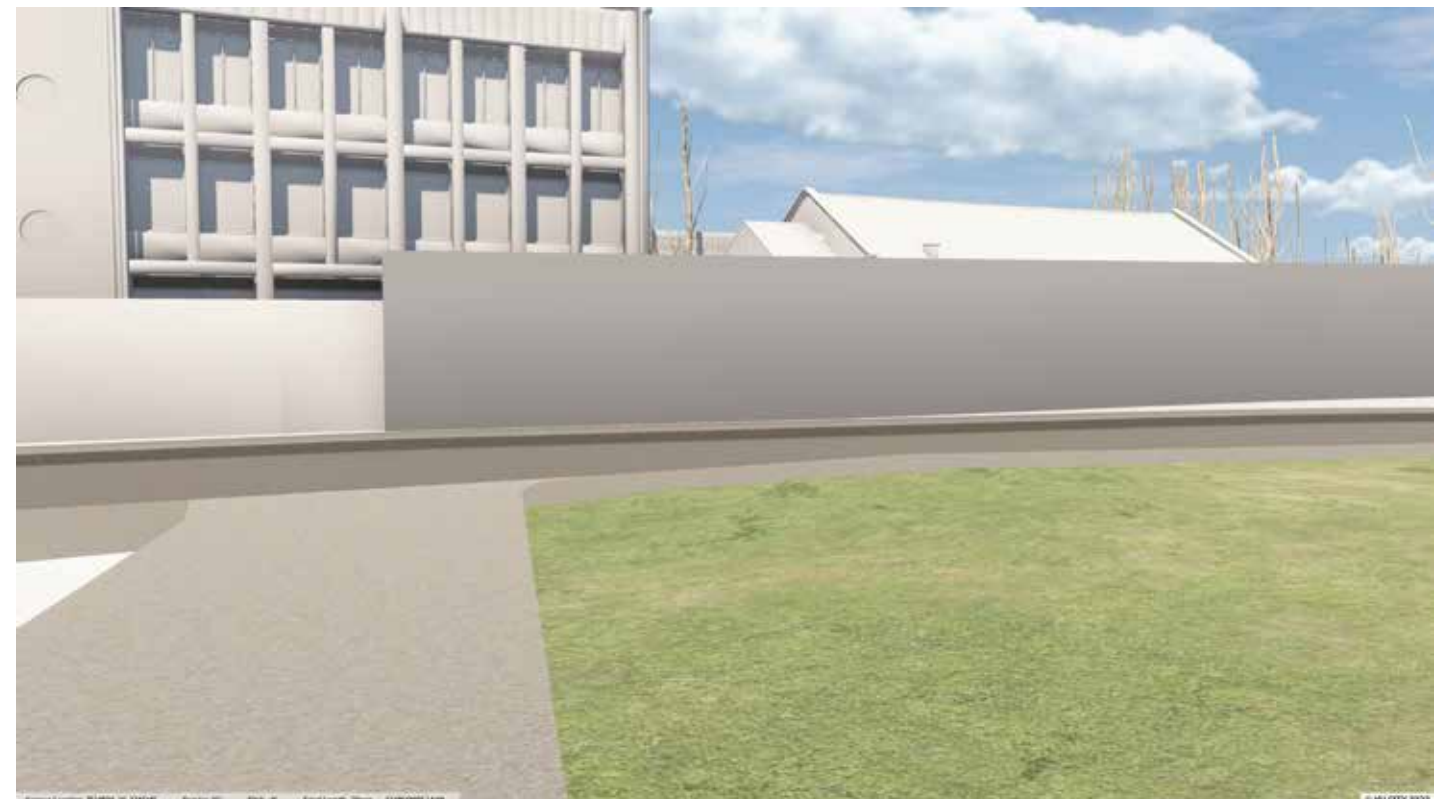


Figure 6.14 Proposed

Existing

- 6.18 The Site is visible within the middle ground of the view and the roofs and upper levels of buildings located at its south-west corner are visible beyond the boundary wall. There is an opportunity to improve the architectural quality of the view through improving the consistency of scale and quality of buildings within this area of the Site.

Proposed

- 6.19 The proposed development improves the architectural quality of this view by regularising the forms of buildings visible beyond the boundary wall. The high quality facade of the new teaching building is highly visible and provides a source of interest within the view. Whilst the scale of this building is large and its facade well-defined, it does not distract from a visual appreciation of the curtilage listed Band Practice Hall.
- 6.20 Indeed, the new extension to the Band Practice Hall serves to emphasise the pitched roof form of the hall and enhances its role within the view. Furthermore, the pitched form positively contrasts with the linear quality of the new teaching building. The introduction and emphasis of these architectural characteristics are considered to improve the quality of the view.



Figure 6.15 Proposed view with leaves on the trees, rendered in Vu.City

6 | Visual Impact Assessment

View 5: From Kneller Road, opposite the Main Entrance, looking north



Figure 6.16 Existing

Existing

6.21 The principal driveway entrance to the Site is visible within the middle ground of the view. Kneller Hall is also visible, but in reality is heavily screened by the dense cluster of trees which line the driveway. Likewise, the existing sports pavilion is predominantly obscured from view, but its bulky form is nevertheless considered to distract from an appreciation of the Site's characterful fielded landscape at its east end.



Figure 6.17 Proposed

Proposed

6.22 The proposed development will cause very little change to this view, with the majority of built forms within the Site remaining largely concealed behind trees. The new sports pavilion building is more subservient in scale and form to the main hall building and its low, long form facilitates an improved appreciation of the fielded landscape within the Site. A new pedestrian gate is proposed to be inserted into the railing fence east of the main entrance, however this is not shown in this view. This gate is designed to be subtly integrated into the railing fence and will not be emphasised as a prominent feature within the boundary. As such, it will not visually distract from an appreciation of the main entrance and its listed gate piers.



Figure 6.18 Proposed view with leaves on the trees, rendered in Vu.City

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View 6: From the junction of Alton Gardens and Kneller Road, looking north



Figure 6.19 Existing



Figure 6.20 Proposed

Existing

- 6.23 Built forms within the Site are predominantly obscured from this view, being located in the far background and to the west end of the view. The Site's open fields are highly visible in the midground and provide a principal source of interest within the view.

Proposed

- 6.24 The proposed development will cause very little change to this view. The new sports pavilion makes a slight improvement to the architectural quality of the view, however the open field will be maintained as a principal source of interest within the view.



Figure 6.21 Proposed view with leaves on the trees, rendered in Vu.City

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View 7: From Duke of Cambridge Close, looking west



Figure 6.22 Existing

Existing

- 6.25 Buildings within the Site are predominantly concealed from the view by the boundary wall. In reality, this boundary is railed, however build forms are nevertheless obscured by their location at the far end of the view. Part of Kneller Hall's roofscape is visible above the Site boundary.

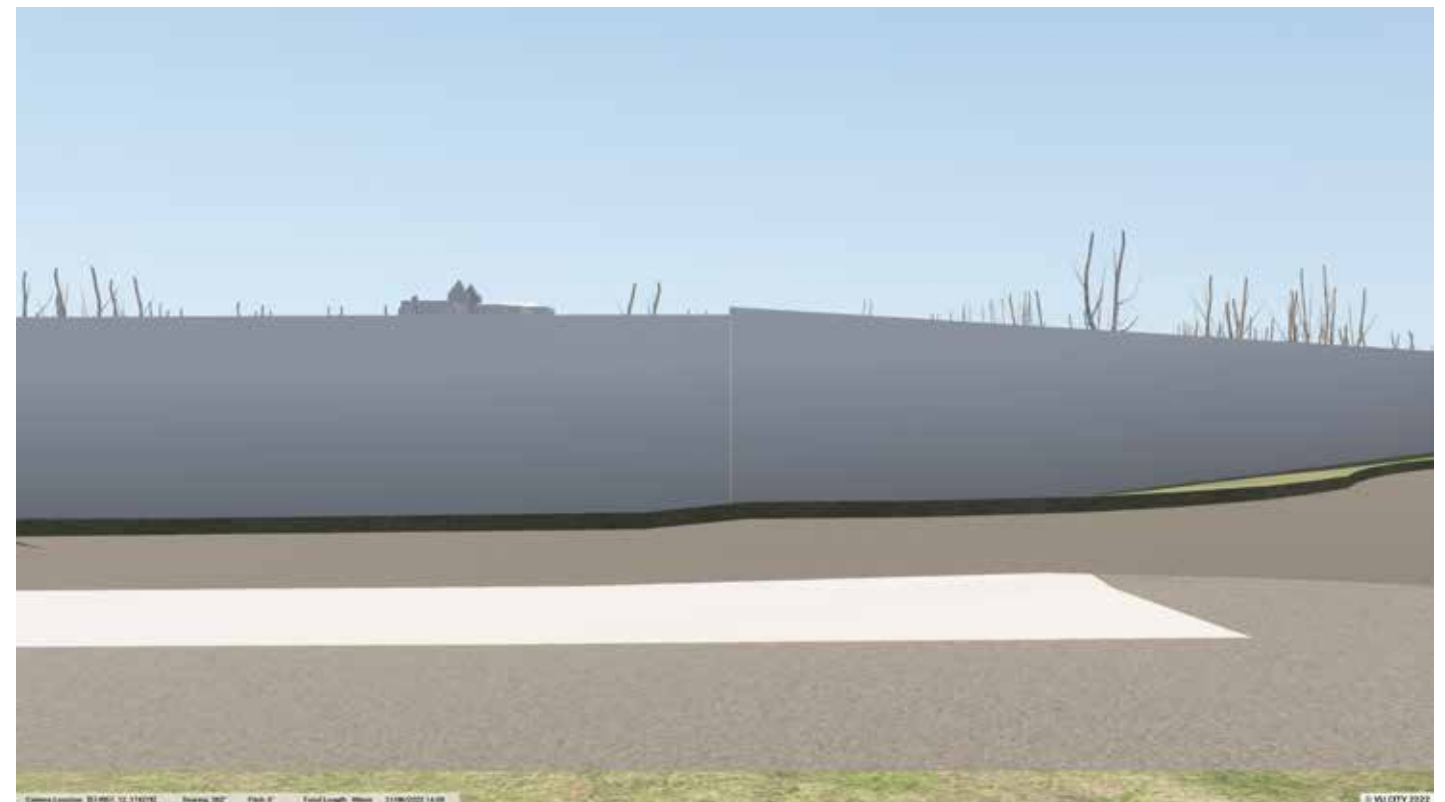


Figure 6.23 Proposed

Proposed

- 6.26 The proposed development will make no change to the composition of this view.

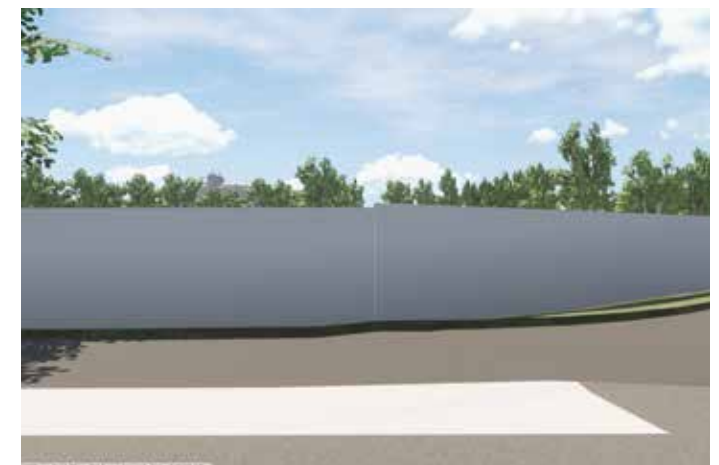


Figure 6.24 Proposed view with leaves on the trees, rendered in Vu.City

6 | Visual Impact Assessment

CGI Views from Within the Site

View 1: Formal Courtyard

This existing view is entirely obscured by a 1960's building which is proposed for removal.



Figure 6.25 Existing

Figure 6.26 Proposed

Existing

- 6.27 The existing view is entirely obscured by a 1960s building which is proposed for removal. The building is considered to detract from the view and from the settings of nearby Listed and curtilage listed buildings. There is potential to enhance the view and the settings of these assets by removing the detractive building and erecting buildings of high architectural quality. There is also an opportunity to better define the character of these settings through improving the landscaping of this area.

Proposed

- 6.28 This view presents the proposed courtyard space between the new teaching building (right) and new sports hall (left). These new buildings occupy the middleground of the view. Whilst their scale and high-quality design provide visual sources of interest, the orientation and arrangement of the buildings support the open character of the courtyard.
- 6.29 This considered arrangement of buildings further creates a visual corridor whereby a break in built form draws the gaze southward towards the boundary wall. The new rear addition to the Band Practice Hall is visible within this visual corridor. Its distinctive pitched form positively contrasts with that of other new buildings in the view and encourages the gaze southward. Nevertheless, the orientation of the building avoids concealment of the Listed boundary wall.
- 6.30 The setting of the Listed boundary wall and the curtilage listed Band Practice Hall will not be harmed by changes to this view.

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View 2: School Hall, Swimming Pool, Teaching Block Vista



Figure 6.27 Existing

Existing

The curtilage listed Band Practice Hall is located in the middle-ground of this view. The setting of this asset does not appropriately respond to the significance of the asset, being composed of detractive tarmac landscaping and poor-quality 1960's buildings. There is an opportunity to better express the significance of the asset and enhance its setting through improvements to its landscaping.

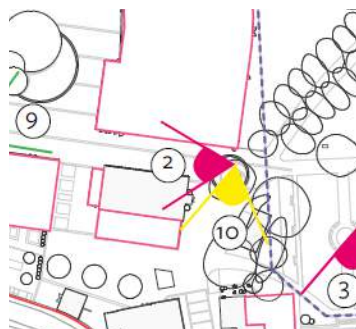


Figure 6.28 Proposed

Proposed

6.31 This view presents the paved yard space between Kneller Hall and the Band Practice Hall. Improvements to the landscaping here have contributed to the partial reinstatement of the setting to the main hall, which is known to have historically been paved. This change is considered to enhance the setting of the hall.

6.32 Further changes to this view involve the construction of the new teaching building and sports hall (right) and the southern extension of the Band Practice Hall. The high-quality design of the new buildings is considered to improve the setting of the Listed and curtilage listed buildings. Furthermore, the simple form and plain facade of the sports hall successfully mitigates any impact of its additional massing within the setting of the Band Practice Hall and avoids distraction from the decorative elevations of the hall, from which its significance is derived.

6.33 The orientation of these buildings, as well as their linear form and consistent height (when viewed in perspective) provides a subtle background to appreciative views of the Band Practice Hall. They appropriately frame the hall and elevate its role as a focal point to the view. Likewise, the considered design of the hall's southern extension responds to its characterfully pitched form and supports a positive architectural contrast between the curtilage listed building and the new buildings. This contrast serves to better express the significance of the building.

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View 3: Rear of Kneller Hall;



Figure 6.29 Existing

Existing

- 6.34 Currently, this view harms the asset; the dilapidated extension and numerous add-ons in the form of steel fencing detracts from the Hall's significance. The landscaping has been largely lost and no longer compliments the Site's primary purpose as a location of relaxation.

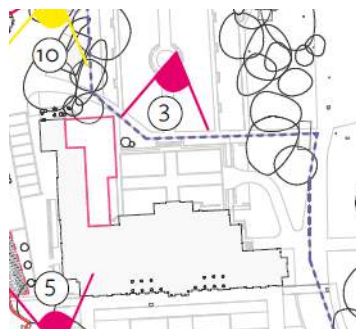


Figure 6.30 Proposed

Proposed

- 6.35 Currently, the proposed replacement of the detractive addition that abuts the west wing of the Hall would be an improvement upon the existing view. The vertical massing of the proposed structure is less than the current building, whilst the proposed lantern-styled flat roof ensures a more subtle and better connection to the main building. The setting of the listed buildings in relation to the wider landscape and the extension's footprint would also be improved upon. The proposed extension creates better harmony with the hall's historic function as a relaxation space and the construction palette evokes the tranquil character of the setting.

6 | Visual Impact Assessment

View 6: Sports Pavillion



Figure 6.31 Existing

Existing

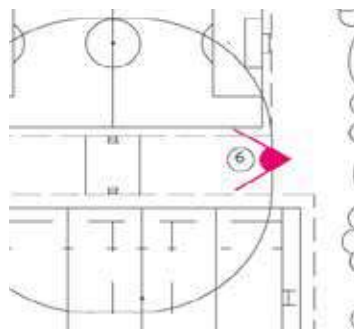
- 6.36 The plain design makes a neutral contribution to this view and the setting of the Listed hall. It stands as an abstract built form that showcases no relatable functionality to the wider setting.



Figure 6.32 Proposed

Proposed

- 6.37 The proposed pavilion's scale is discrete and maintains views of the Listed building, as experienced beyond the presence of clusters of trees. Its high-quality design further enhances the setting of the Listed hall and its low massing supports its subordinate role within both the setting of the Listed building and the designated area of Metropolitan Open Land.



6 | Visual Impact Assessment

View 5: Kneller Hall Main Entrance



Figure 6.33 Existing

Existing

The existing view captures the former yard space between the Listed hall and the curtilage listed buildings. It is a significant view within the Site due to its historic associations with its historic development. Unfortunately, the view fails to express the ancillary character of this area and its poor-quality landscaping and in-distinguished use do not reflect the significance of the view.

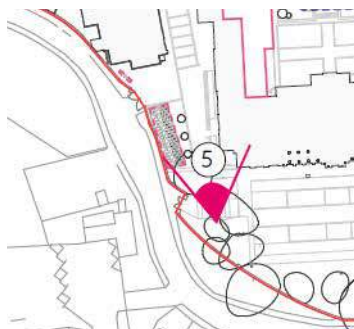


Figure 6.34 Proposed

Proposed

- 6.38 This view presents the paved yard located between the west wing of the Listed hall and the curtilage listed Guard House and Band Practice Hall. The improved landscaping of this area positively enhances the settings of these assets due to its partial reinstatement of the historic landscaping scheme. The presence of the bike shed is considered to appropriately reflect the established functional character of this area, which comprises the historic service wing of the hall and its historic ancillary buildings.
- 6.39 The propose ramp and signage is considered to better express the main entrance of the hall and improve its overall architectural quality and interest. These new elements are deliberately arranged to mitigate protrusion into the yard space. Whilst their minor change to the layout of the space is considered to cause a small amount of harm to the settings of Listed and curtilage listed buildings, this harm is mitigated by landscape improvements to the yard.

- 6.40 Whilst the uppermost storey of the new teaching block is visible beyond the Guard House, its flat roof and perceived lesser height supports its subtle presence and avoids distraction from an appreciation of the Listed and curtilage Listed buildings.

Section 7

Conclusion.

Heritage Impact Assessment

- 7.1 The proposals described above will have an impact on the overall setting and character of Kneller Hall. This is assessed in proportion to the overall significance of the heritage assets, as required by policy.
- 7.2 The key test in determining the planning and Listed building consent applications is to ensure that, in accordance with Section 66 of the Planning (Listed Buildings and Conservation Areas) Act 1990, the proposals will succeed in 'preserving Listed buildings, their settings or any features of special architectural or historic interest which they possess'. The Act establishes a strong presumption against the granting of planning permission and Listed building consent unless the Listed building can be shown to be preserved by the proposals.
- 7.3 As a minimum, therefore, the overall impact of the proposals on the significance of the Listed buildings should be neutral. Each instance of harm should be justified by necessity and mitigated by good design, in order to preserve the building's special interest overall.
- 7.4 These are the principles with which the scheme has been developed by ADP Architecture. Each proposed intervention is designed to fit within the original character of the buildings, reusing original features or following original specifications wherever possible, thus mitigating the impact of the alterations.
- 7.5 The National Planning Policy Framework has crystallised previous policy approaches to the historic environment and draws focus to 'the desirability of sustaining and enhancing the significance of heritage assets and putting them to viable uses consistent with their conservation'. It has given strong emphasis to the need to 'weigh up' the pros and cons of proposals and states that benefits arising from proposals, and in particular public benefits, should be part of that process.
- 7.6 As described above, the proposals for the hall, the related buildings and the wider landscape will not result in any major harm to their significance. There will be a small number of instances of minor harm, as would be expected in proposals to adapt historic buildings to a new function, but together these will amount to 'less than substantial harm', in terms of the NPPF.
- 7.7 The harm to the setting and to the wider landscape caused by the development of the new teaching building and sports centre are also considered to be 'less than substantial', because the setting to the west of the hall is already compromised by the existing ad hoc structures added repeatedly by MoD. The overall scale and design of the new buildings have been considered carefully to transition between the heritage buildings of significance, located within the centre of the Site, to the modern sports and teaching facilities located to the west.
- 7.8 The proposals are justified because the 'less than substantial' harm caused is will be outweighed by significant public benefits. The most important benefits to the Hall and its setting are:
- Improvements to the setting of the building to the west and north by the removal of modern ad hoc buildings which detract from the character and setting of the Listed building and their replacement with well-designed alternatives, all set within historic landscape of the hall;
 - Provision of contemporary facilities as per requirements for the functioning of the building and its long-term sustainable use;
 - Repair of all significant historic fabric, including structural repairs;
 - Renewing of services, including heating and ventilation, in a manner sensitive to the historic fabric, including reusing existing service routes where possible.
 - Reinstatement of the original processional route to the hall from south of Kneller Hall;
 - Retention and continuation of the educational and function of the building as established in the mid nineteenth century;
 - Reuse of the Site's Listed and curtilage listed buildings which have been vacant during the previous year;
 - Long term commitment to the Site by Dukes Education, who will ensure that the property is well maintained

- 7.9 Further benefits would be brought about by improvements to the historic setting of the Hall, refurbishment of the boundary wall and the curtilage listed Band Practice Hall and Guard House.
- 7.10 The overwhelming public benefit offered by the proposals, however, is that specifically mentioned in paragraph 202 of the National Planning Policy Framework: 'securing ... [the] optimum viable use [of a designated heritage asset]'. Kneller Hall is a building which has been underused and re-adapted rather crudely to the needs of the MoD. The scheme as outlined above seeks to retain the educational institutional use of the building and undertake necessary repair works and to ensure that maintenance will take place on a 'stitch in time' basis in the future, thus ensuring its sustainable use.

Conclusion

- 7.11 This Heritage Statement has been produced by Icen Projects on behalf of Dukes Education to support an application for Listed Building Consent. It has been written with regard to Historic England Advice notes and relevant LBRuT local policy and SPDs, including the Kneller Hall Masterplan SPD.
- 7.12 The assessment has considered the legislative and policy context in which to determine possible heritage impacts arising from the proposal to redevelop the Site for educational use. It has reviewed and set out the historic development of the Site, utilising archive material and relevant historical mapping and built fabric analysis. The setting and significance of the Site has also been identified and appraised.
- 7.13 The assessment undertaken illustrates that Kneller Hall is an important civic building of high architectural, historic and communal value which has been adapted poorly for MoD's needs and requirements over many years. Proposed alterations are required to respond to the significance of the building and respect its original fabric. It is also essential that the alterations are sufficient to equip the building for its new phase of life and avoid exacerbating changes to both its fabric and setting associated with failed ventures following on from the initial conversion.
- 7.14 The proposals present a balanced approach to preserving - and where possible enhancing - the fabric and setting of the Site's assets, alongside a robust scheme for the long-term reuse of the Site. Proposals to convert the Listed hall are considered to better express its historic phasing and improve the current poor quality of its varied internal and external finishes. The proposed extension is considered to appropriately balance the improved functionality of the building as a modern school, whilst respecting and responding to its special interest.
- 7.15 The extension presents a contemporary architectural design which expresses a modern language that is considered to positively contrast with that of the existing building, and clearly distinguishes its architectural phasing. Nevertheless, it takes care to celebrate the expressed phasing of the elevation by reflecting the scale of the existing extension, though improving views of the hall's rear elevation, and incorporating design qualities such as the lantern roof which reflects that of the hall.

- 7.16 Proposed changes to the curtilage listed Guard House and Band Practice Hall are considered to ensure their long-term future use whilst respecting their special interest. Proposed alterations to these buildings will generally improve their architectural quality and aesthetic value and emphasising their external architectural interest, from which some significance is derived. In particular, the proposed changes will incorporate the buildings into the wider educational use of the Site and maintain their established roles as principal ancillary buildings to the hall. This expressed role provides a principal source of significance to the curtilage listed buildings and the proposals are considered to celebrate this.
- 7.17 Proposed alterations to the Site's built form are considered to predominantly maintain the existing settings of Listed and curtilage listed buildings. The demolition of detractive 1960s buildings will positively impact the settings of these assets. Where new buildings are proposed, namely the new teaching building and sports hall, their proposed scale is considered to cause minor harm to these settings.
- 7.18 This harm is mitigated by the high-quality design of the buildings which both enhances the character and appearance of views within the Site and responds to the architectural quality of its Listed and curtilage listed buildings. The buildings' deliberate situation at the west end of the Site also maintains the existing arrangement of built form and mitigates the impact of the proposed additional massing on the settings of assets.
- 7.19 Additionally, the buildings orientation has been designed to compliment improvements to the Site's landscape, such as the creation of courtyard spaces and improvements in the definition of the Site's boundary. These qualities are overall considered to mitigate harm to the settings of Listed and curtilage listed buildings resulting from the scale of the new buildings.
- 7.20 Proposed landscape alterations generally enhance the settings of Listed and curtilage listed buildings, and serve to improve the overall quality of the Site. Alterations have been informed by an understanding of the Site's historic development and appropriately reference previous landscaping elements to better express its significance.
- 7.21 Whilst some harm is considered to arise from proposals to dismantle and rebuild the surviving section of curtilage listed garden wall, this harm is considered to be less than substantial. This harm is heavily mitigated by the associated structural stabilisation works to the wall, and the resultant reinstatement of a lost adjacent section of garden wall using historic wall fabric. Furthermore, harm will be mitigated by the reintegration of the wall into the Site's landscaping scheme. The wall will form part of the new melon yard - which itself is a reinstated feature of the historic landscape - and the change will bring a new purpose to the wall which is presently in disuse.
- 7.22 The design approach taken by ADP Architects is assessed to be compliant with policy, such as the NPPF, including Section 16, and in alignment with the statutory requirements under the Planning (Listed Buildings and Conservation Areas) Act 1990, including Section 66. It is considered to meet the requirements of policy set out in LBRuT's Local Plan, 2015-2030 and the Kneller Hall MSPD.
- 7.23 Overall, the proposals are considered to maintain the special interest of the Site and will be carried out with the care and quality of execution that this Grade II Listed building and its curtilage structures deserve.

Appendix 1

References.

Appendix 1 | References

KNELLER HALL, TWICKENHAM

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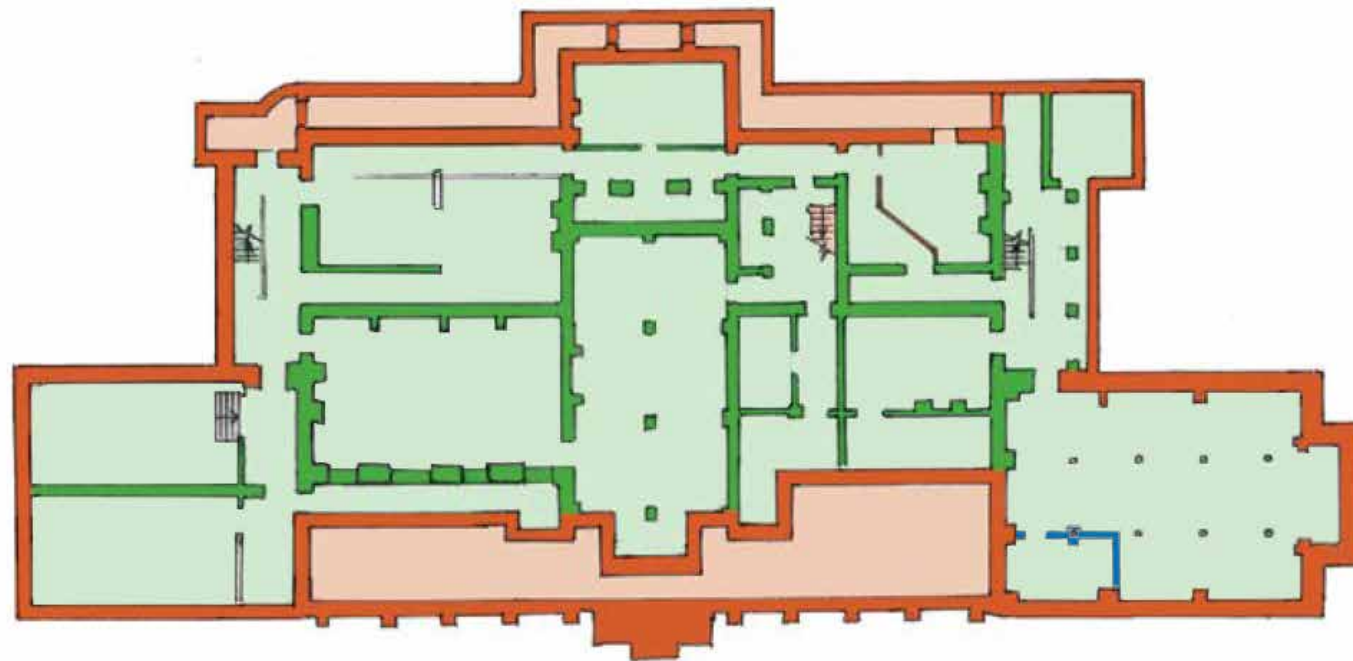
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Appendix 2
Significance Plans.

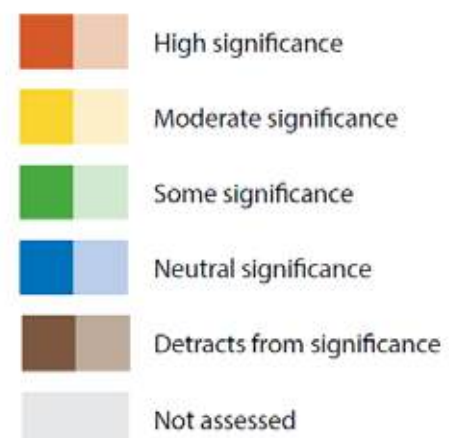
Appendix 2 Significance Plans

Basement

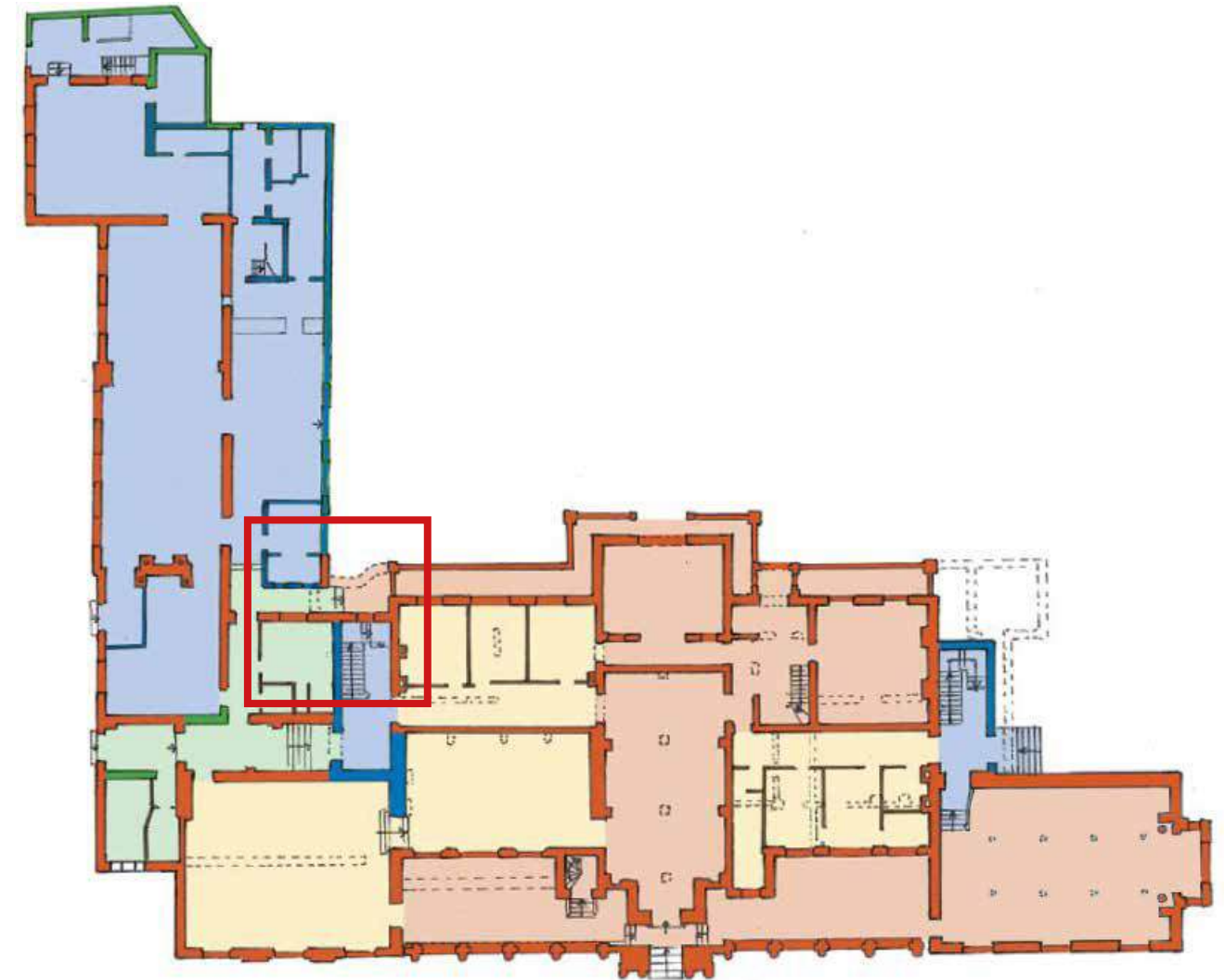


7.24 The significance plans presented in this appendix are sourced from the Heritage Assessment of Kneller Hall produced by Alan Baxter Associates in 2020. These plans have been reviewed by Iceni Heritage in light of historic research and analysis of built fabric carried out by its consultants. Amendments to the plans have been carried out to ensure the plans accurately portray the findings of the assessment of significance carried out by Iceni Heritage. They have also been updated to include findings of significance in internal spaces which were not assessed by Alan Baxter Associates in 2020.

7.25 The significance plans have been presented alongside the initial proposed layouts for each floor at Kneller Hall. This presentation is intended to offer a better visual comparison between existing and proposed internal plans and highlight any major proposed changes.



Ground Floor



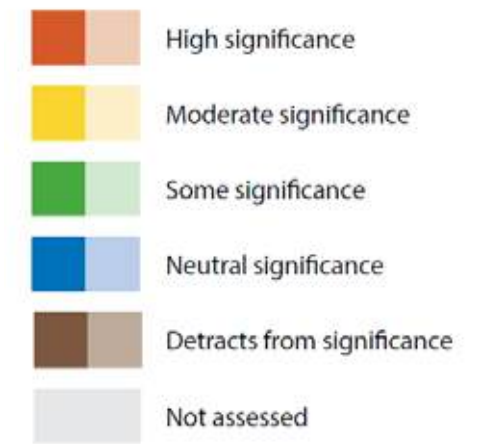
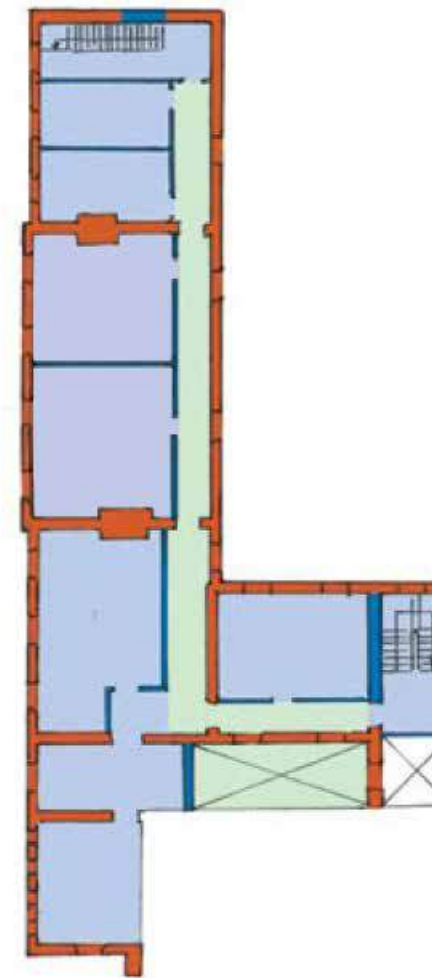
Appendix 2 Significance Plans

KNELLER HALL, TWICKENHAM

First Floor



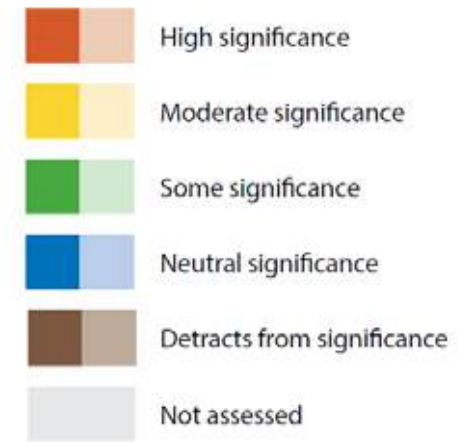
Second Floor (West wing only)



Appendix 2 Significance Plans

KNELLER HALL, TWICKENHAM

Second Floor



Appendix 3

**Conclusions from the
Kneller Hall SPD.**

- 7.26 In 2020, Defence Infrastructure Organisation (DIO) and London Borough of Richmond upon Thames (LBRuT) jointly commissioned Alan Baxter Associates to provide a Heritage Assessment and Structural Review of the building and the site, to better understand the history, significance and structural integrity of Kneller Hall and its ancillary buildings. The main conclusions of this report were:

“The significance of Kneller Hall resides primarily in the architecture of the Grade II listed building itself, where fabric survives from the 1847 remodelling of the building by the architect George Mair, including the spectacular Neo-Jacobean frontage onto Kneller Road and beautiful first and second floor chapel. Surviving fabric from earlier phases of the building is primarily restricted to the outer walls of the West Wing, which survive from between 1820-1832 and was completed to the designs of Philip Hardwick.

Significance is not restricted to the main building. The surviving listed boundary walls and curtilage listed gatehouse and band practice room also have some historical significance as does the sweeping drive to Kneller Hall leading from the lodge gate and the northern part of the Metropolitan Open Land in relation to the historic landscape. The bandstand, whilst of no architectural significance has communal value as the focus of community events held at Kneller Hall throughout the history of the school.”

- 7.27 With regards to the structure of the building itself, the report further states:

“The construction of Kneller Hall is generally of a high standard. Historic alterations to the original structure, where block walls have been built up off of timber floors, have left some areas in poor condition for a building of this age and type of construction. Areas that have not suffered these alterations are generally in reasonable condition.

Defects can generally be addressed. Depending on when this is due to be carried out, it may be sensible to remove the partitions in the West Wing to mitigate further deterioration of the timber floors. It would also be sensible to address faulty rainwater goods and below ground drainage to mitigate further deterioration.”



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