

FLOODPLAN
LIMITED



Project Title: 00447 8 Second Cross Road

Product: Level 2 Flood Risk Assessment

Date: 23 September 2024

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Report Revision Log

Report Reference	Date Issued	Issued To	Notes
00447	04/09/2024	Client	
00447	23/09/2024	Client	

1. INTRODUCTION

1.1. PURPOSE OF THE REPORT

FloodPlan have been commissioned on behalf of Mandarin Grange Investments to produce a Flood Risk Assessment for 8 Second Cross Road, TW2 5RF. This assessment has been conducted with the understanding that the document will be submitted as part of a planning permission proposal by Mandarin Grange Investments.

1.2. LOCATION OF SUBJECT SITE

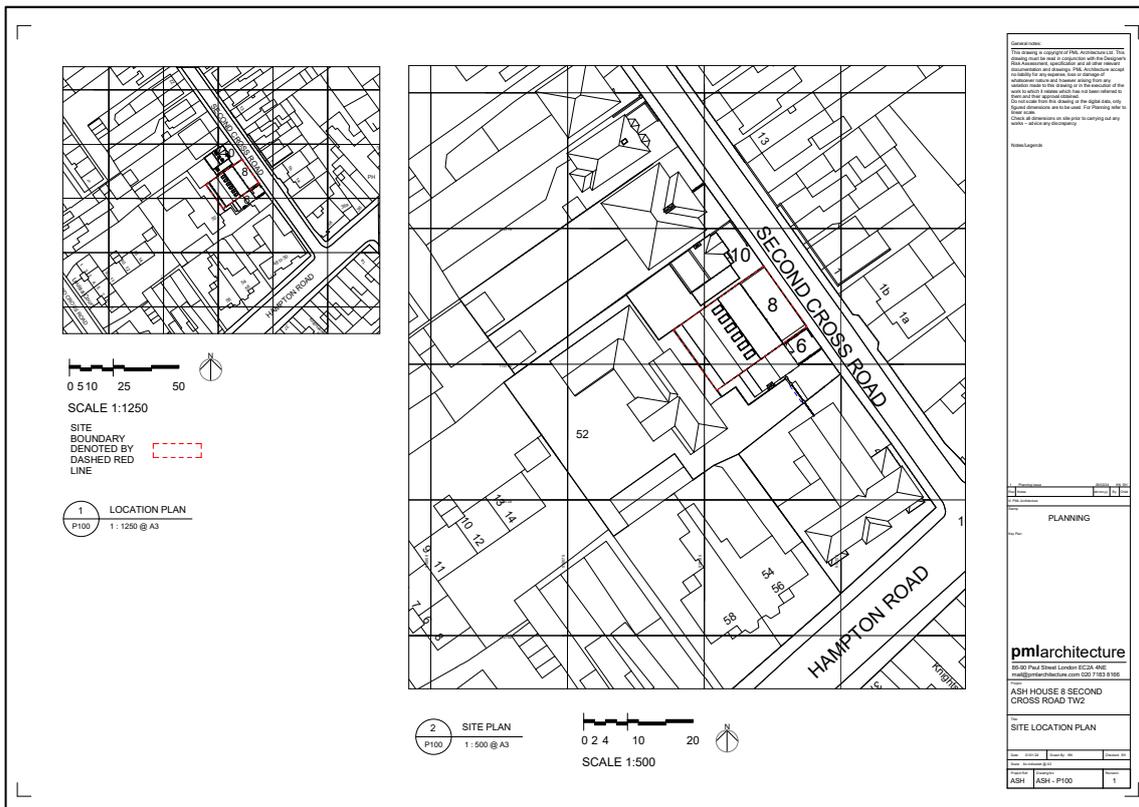


Figure 1: Site Location

1.3. SITE PROPOSALS

The development proposes the change of use of an existing Class E commercial office to residential use. The proposals show the existing building is to be converted to three residential dwellings. The proposals show ground floor sleeping accommodation.

2. INTRODUCTION TO NPPF

2.1. INTRODUCTION TO NPPF

The National Planning Policy Framework (NPPF) document provides guidance to local planning authorities to ensure the effective implementation of the planning policy. The policy seeks to direct development away from areas at highest risk, but where development is necessary, making it safe without increasing flood risk elsewhere. For these purposes:

- “areas at risk of flooding” means land within Flood Zones 2 and 3; or land within Flood Zone 1 which has critical drainage problems, and which has been notified to the local planning authority by the Environment Agency.
- “flood risk” means risk from all sources of flooding – including from rivers and the sea, directly from rainfall on the ground surface and rising groundwater, overwhelmed sewers, and drainage systems, and from reservoirs, canals and lakes and other artificial sources.

Flood risk (from river and sea) are categorised into one of the below:

2.2. FLOOD RISK CLASSIFICATIONS

Flood Zone	Probability of flooding
Zone 1	Low probability
Zone 2	Medium probability
Zone 3a	High probability
Zone 3b	Functional Floodplain

2.3. FLOOD RISK VULNERABILITY CLASSIFICATION

NPPF categorises land by vulnerability. A summary of categories can be seen below:

Vulnerability Class	Infrastructure
Essential Infrastructure	Power stations, water treatment works, wind turbines etc.

Highly vulnerable	Police stations, basement dwellings, caravans, mobile homes etc
More vulnerable	Hospitals, residential buildings, landfill sites, drinking establishments etc
Less Vulnerable	Emergency services stations, shops and building that offer professional services etc
Water compatible development	Pumping stations, docks, marinas etc

2.4. SUITABLE DEVELOPMENT MATRIX

The below table outlines the suitable development type for the flood zone classification assigned by the Environment Agency flood maps.

Flood risk vulnerability classification	Essential infrastructure	Water compatible	Highly vulnerable	More vulnerable	Less vulnerable
Zone 1	Blue	Blue	Blue	Blue	Blue
Zone 2	Blue	Blue	Exception Test Required	Blue	Blue
Zone 3a	Exception Test Required	Blue	Red	Exception Test Required	Blue
Zone 3b Functional floodplain	Exception Test Required	Blue	Red	Red	Red

Figure 2: Suitable Development Matrix

Key: Blue Development is appropriate; Red Development should not be permitted; Green Development is appropriate with the passing of an Exception Test.

3. NPPF SITE ASSESSMENT

3.1. FLOOD ZONE CLASSIFICATION

As per Figure 3, the site is entirely within flood zone 1.

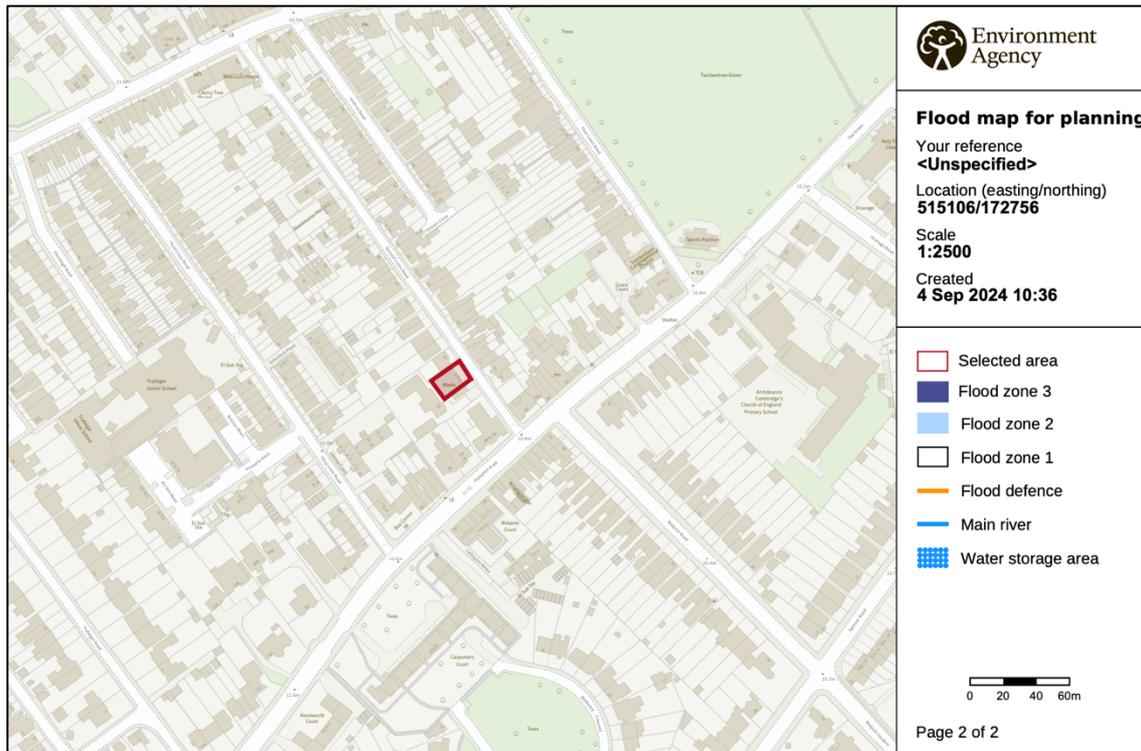


Figure 3: Flood Zone

3.2. LAND VULNERABILITY CLASSIFICATION

The existing building is used for commercial purposes. The existing building is therefore classified as ‘less vulnerable’ as per NPPF. The proposed building will be used entirely for residential use and is therefore classified as ‘more vulnerable’. The development therefore increases the vulnerability classification of the property.

3.3. SITE SUITABILITY (NPPF)

‘More vulnerable’ development is suitable for flood zone 1, as per Figure 2.

4. SITE FLOOD RISK

4.1. THIRD PARTY FLOOD RISK DATA SUMMERY

A 'Groundsure' flood report has been acquired for advising this assessment. The full report can be found in Appendix B. The main findings are summarised below:

Type of Risk	Assessment of Risk
Overall Flood Risk	Low-Moderate
Rivers and the Sea	Very Low
Surface Water	Negligible
Groundwater	Moderate-High
Historic Flood	Not Identified
Flood Defences	No
FloodScore™ – insurance rating	Very Low

4.2. SURFACE WATER FLOODING

The Environment Agency surface water flood map Figure 4, shows the site to be within a 15m radius of a 'medium' area of flood risk. The 1%AEP flood mapping shows the site to be largely unaffected by direct surface water flood risk. The site access is mapped to experience flood risk.

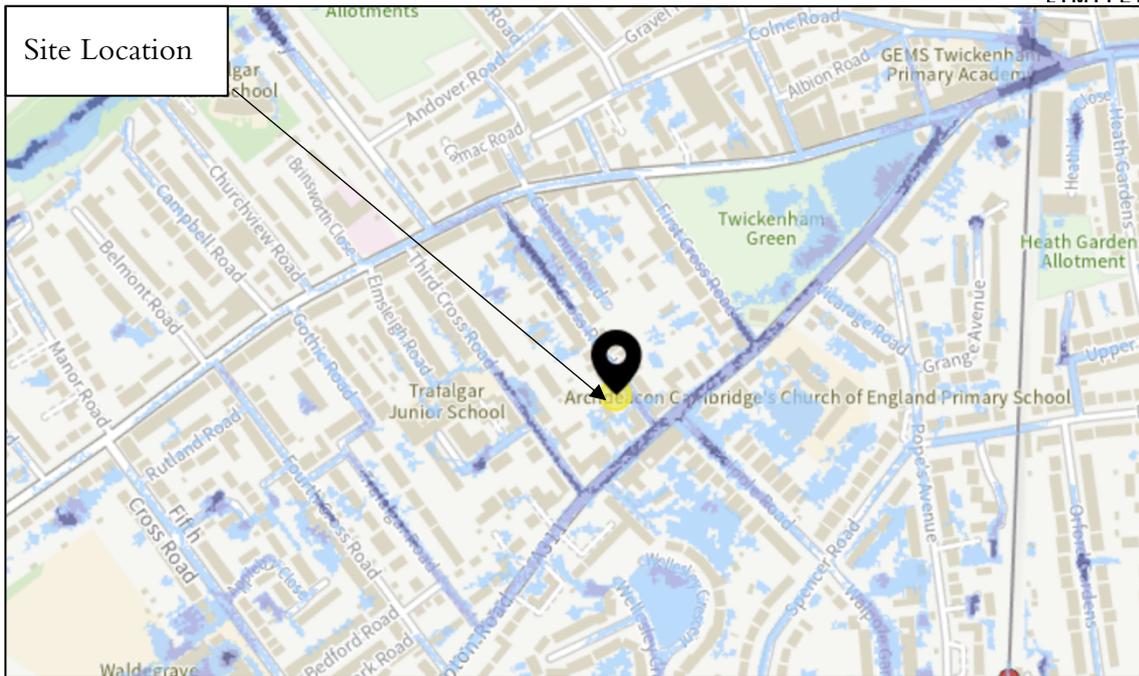


Figure 4: EA Surface Water Flood Map

Where the dark blue shaded area denotes high risk of surface water flooding; the light blue denotes low risk with white areas having very low risk of surface water flooding. The risk classification is comparable to the 'Groundsure' flood report.

4.3. TIDAL AND FLUVIAL FLOODING

The Environment Agency tidal and fluvial flood map shows the site to be within a 15m radius of a ‘very low’ area of flood risk.

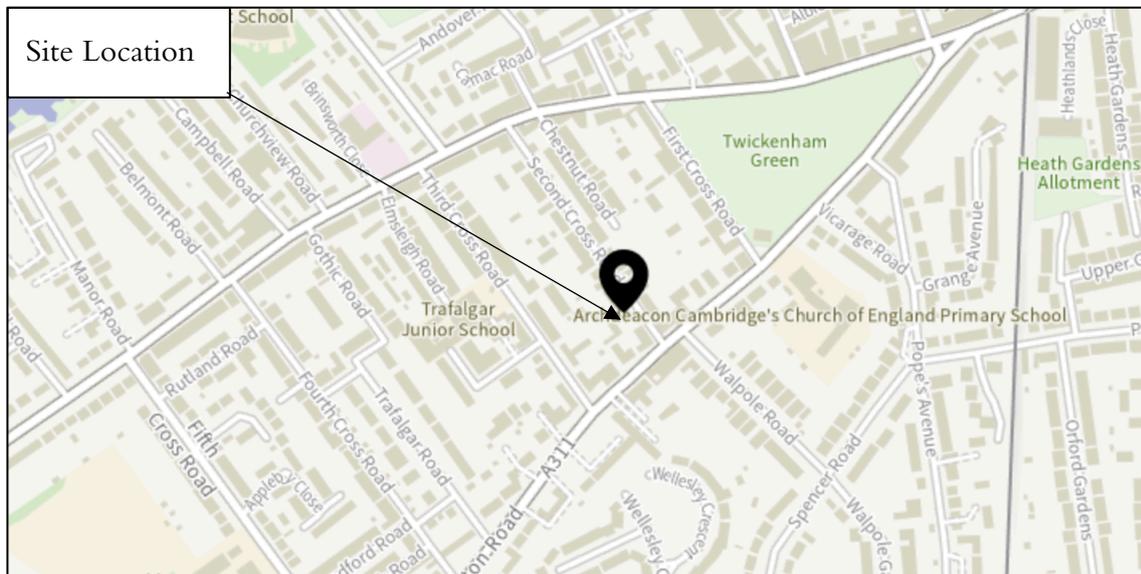


Figure 5: EA Tidal and Fluvial Flood Map

Where the dark blue shaded area denotes high risk of tidal and pluvial flooding; the light blue denotes low risk with the lightest blue areas having a very low risk of flooding.

4.4. GROUNDWATER FLOODING

The ‘Groundsure’ flood report indicates that the site has a moderate-high risk of groundwater flooding.

4.5. RESERVOIR FLOODING

The risk of flooding from reservoir sources is considered ‘unlikely’.

4.6. HISTORIC FLOODING

The ‘Groundsure’ flood report failed to identify any historic flood records.

5. FURTHER SITE ASSESSMENT

5.1. SITE ACCESS AND EGRESS ROUTES

The site may become severed during extreme flood events. Consideration should be given to adopting a flood evacuation plan.

5.2. FLOOD COMPENSATION

The proposals are not expected to displace floodwater. The proposed development will not impact third parties.

5.3. FLOOD WARNING AREAS

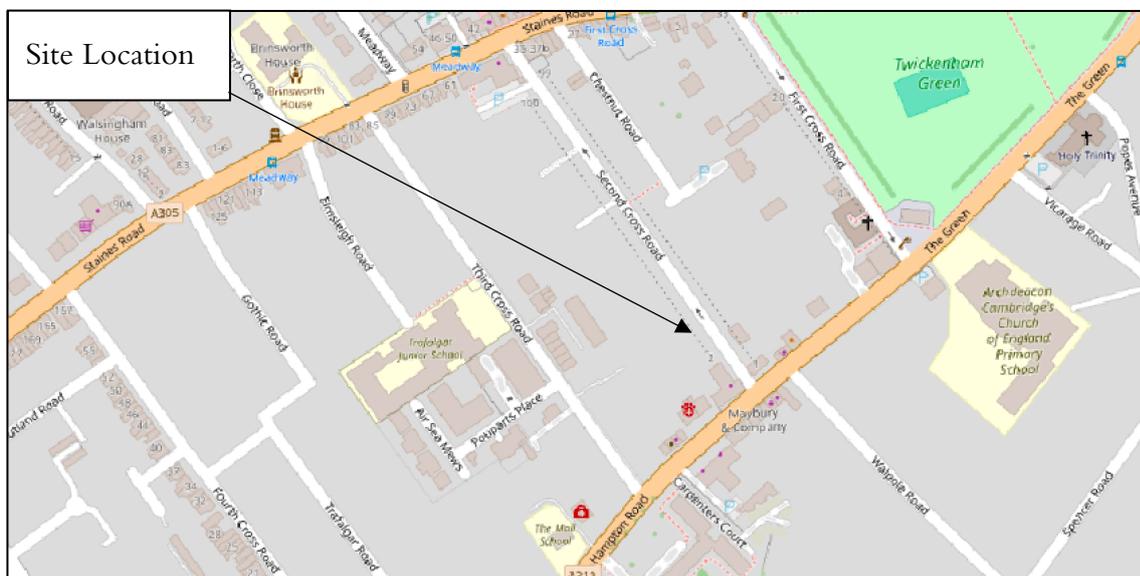


Figure 6: Flood Warning Areas

The site is outside of the EA flood warning areas.

5.4. AWARENESS OF FLOOD RISK

The developer should be aware that the site is not immune from flooding. It is recommended that all residents take the opportunity to develop emergency and non-emergency plans.

6. FINDINGS AND RECOMMENDATIONS

6.1. FINDINGS

The development proposes the change of use of an existing commercial ground unit to residential use. The proposals show proposed ground floor sleeping accommodation. NPPF categorises buildings used for residential purposes as ‘more vulnerable’. More vulnerable developments may be suitable for flood zone 1.

The site is set within an area of predominantly residential use dwellings. The ‘Groundsure’ flood report and the EA published flood maps suggest the site to be suitable for residential use. This report suggests the proposed change of use development is suitable.

6.2. RECOMMENDATIONS

This report recommends the following be considered to lower the risk and/or consequences that flooding may cause to the proposed development:

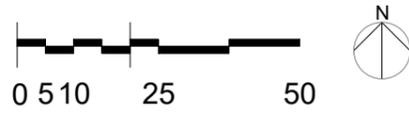
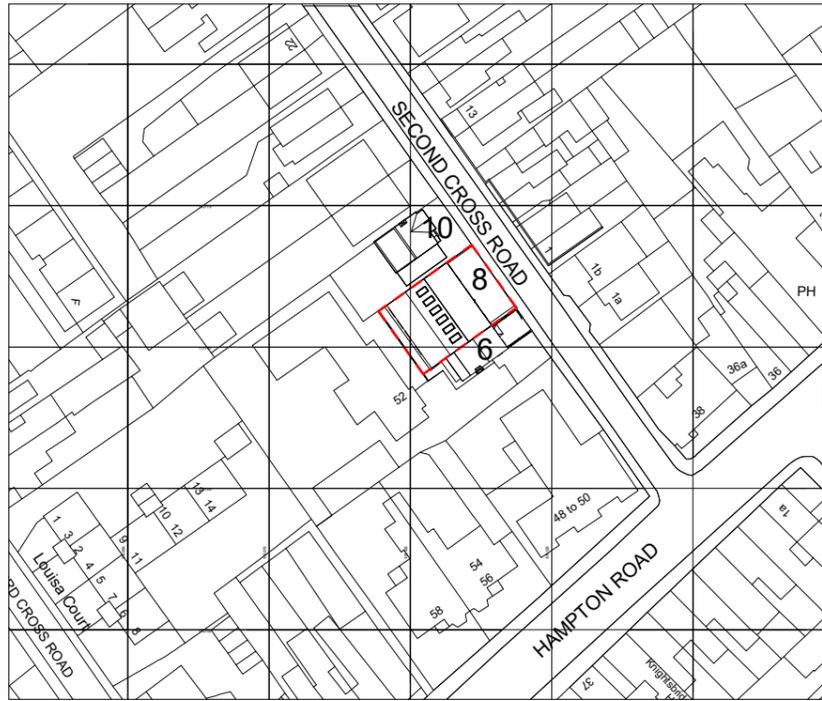
- Consideration should be given to developing a flood evacuation plan.

List of Appendices

Appendix A: Development Plan

Appendix B: Groundsure Flood Report

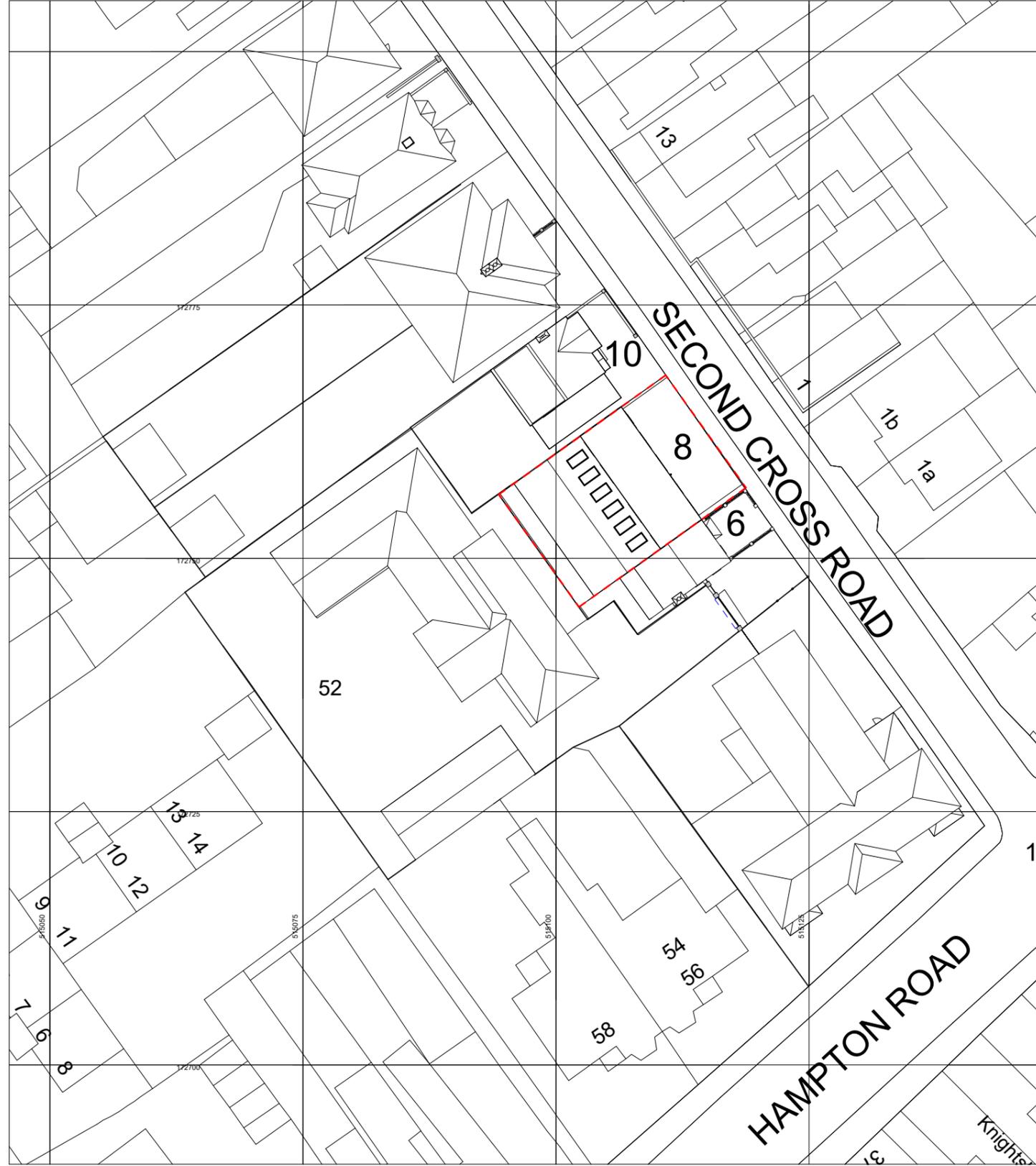
Appendix A: Development Plan



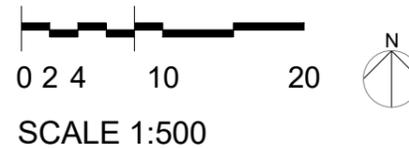
SCALE 1:1250

SITE BOUNDARY DENOTED BY DASHED RED LINE

1 LOCATION PLAN
P100 1:1250 @ A3



2 SITE PLAN
P100 1:500 @ A3



SCALE 1:500

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Notes/Legends

1	Planning issue	06/09/24	KN	SH
Rev	Notes	dt.mm.yy	By	Chkd

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Stamp
PLANNING

Key Plan

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mail@pmlarchitecture.com 020 7183 8166

Project:
ASH HOUSE 8 SECOND CROSS ROAD TW2

Title:
SITE LOCATION PLAN

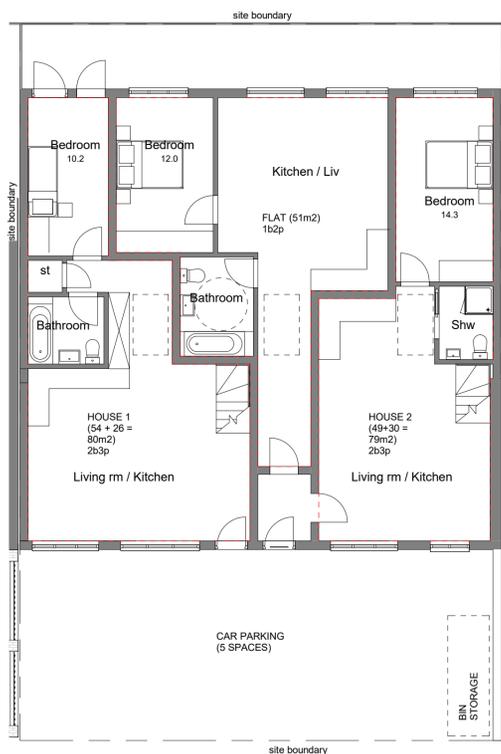
Date: 01/03/24 Drawn By: KN Checked: SH

Scale: As indicated @ A3

Project Ref:	Drawing No:	Revision:
SCR	SCR - P100	1

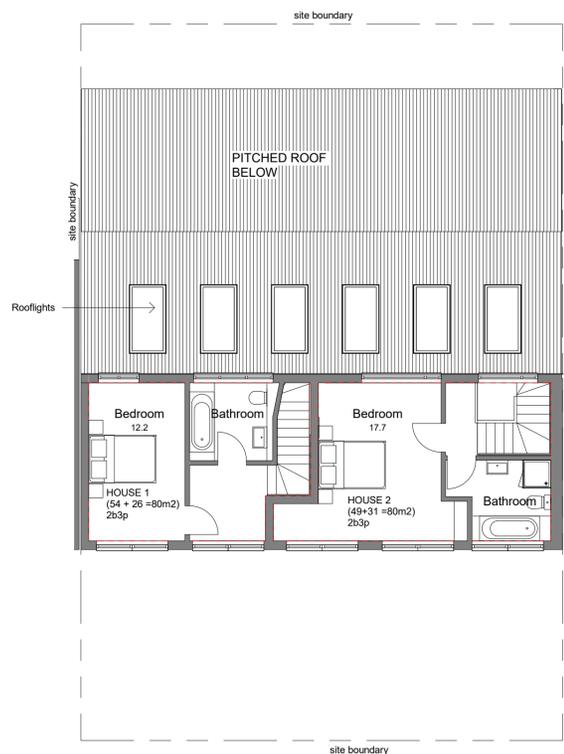
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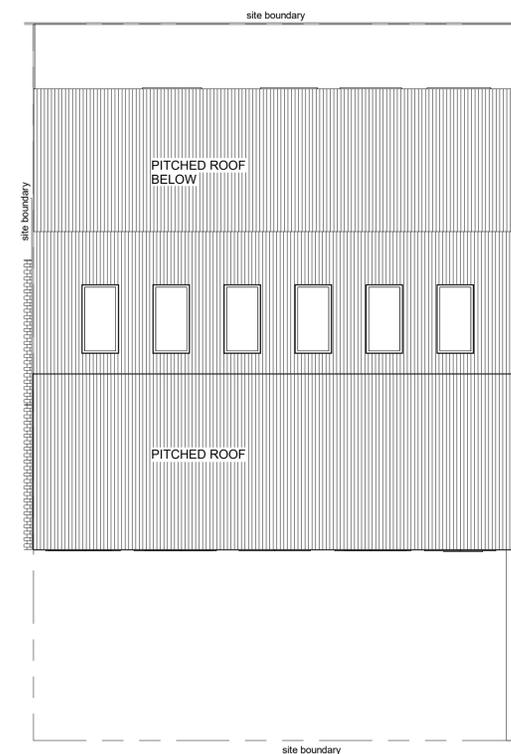


SECOND CROSS ROAD

1 GROUND FL PLAN
P302 1: 100



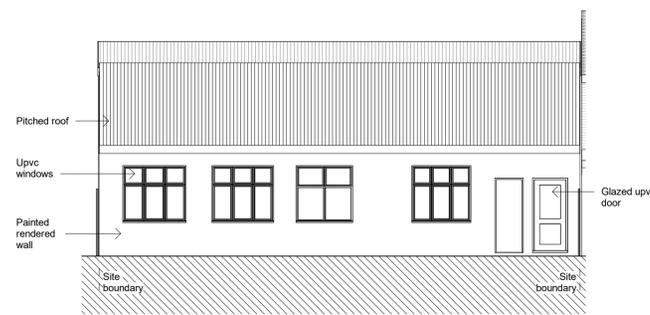
2 FIRST FLOOR PLAN
P302 1: 100



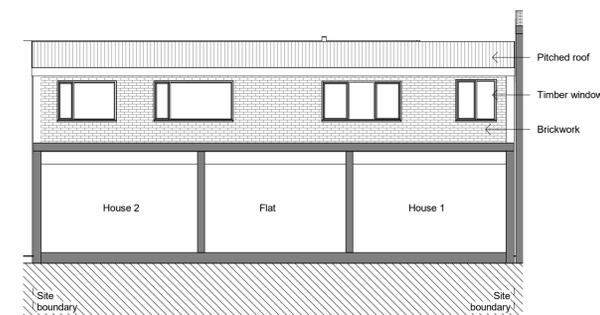
3 ROOF PLAN
P302 1: 100



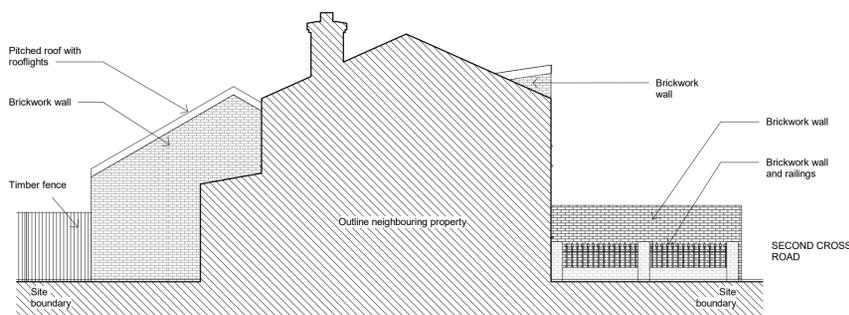
4 FRONT ELEVATION (EAST)
P302 1: 100



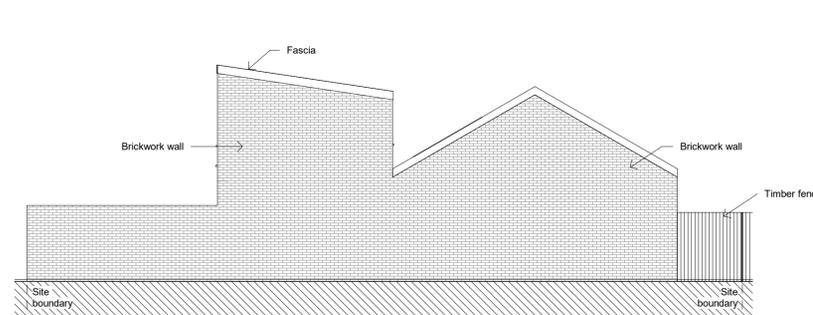
5 REAR ELEVATION (WEST)
P302 1: 100



8 1F REAR ELEVATION
P302 1: 100



6 SIDE ELEVATION (SOUTH)
P302 1: 100



7 SIDE ELEVATION (NORTH)
P302 1: 100



1	Planning issue	06/09/24	KN	SH
REV	DESCRIPTION	DD.MM.YY	BY	CHK

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PROJECT:
**8 SECOND CROSS ROAD
TW2 5RF**

DRAWING TITLE:
**PROPOSED PLANS AND
ELEVATIONS**

SCALE: 1 : 100 @ A1	DATE: 01/03/24
DRG STAMP: PLANNING	DRAWING NO: P302
PROJECT REF: SCR	REV: 1



Appendix B: Groundsure Flood Report

Suite 8, 8 Second Cross Road, Twickenham, TW2 5RF

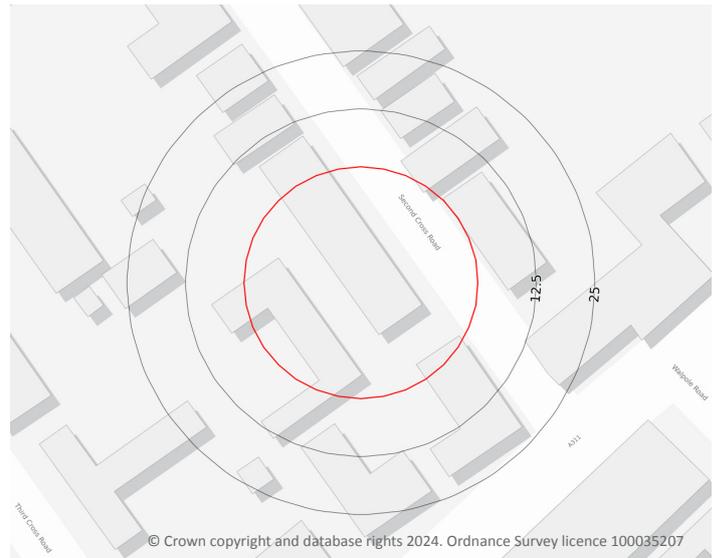
Overall Flood Risk



**LOW-
MODERATE**

Groundsure Flood complies with relevant Law Society practice notes on flood risk in property transactions.

Site plan



Search Results



Rivers and the Sea
Very Low



Surface Water
Negligible



Groundwater
Moderate-High

[page 3 >](#)



Historic Flood
Not identified



Flood Defences
No



FloodScore™ insurance rating
Very Low

[page 5 >](#)

Full assessments for other environmental risks are available in additional Groundsure searches including the Groundsure Avista 7 in 1 report. Contact Groundsure or your search provider for further details.

Overview of findings and recommendations

To save you time when assessing the report, we only provide maps and data tables of features within the search radius that we have identified to be of note. These relate to environmental risks that may have liability implications, affect insurance premiums, property values and/or a lender's willingness to lend.

You can view the fully comprehensive library of information we have searched on [page 4](#) >.



Flooding

Groundwater Flooding

A risk of groundwater flooding has been identified at the site. This will be more of an issue for properties with a basement or other section below ground. Further guidance on groundwater flooding has been produced by the Environment Agency and can be found at <https://www.gov.uk/guidance/groundwater-flooding> ↗

Please note this report has been run on a point location buffered to 25m to account for uncertainties of the size of the property. Therefore some risk assessments and measurements may be overestimated.

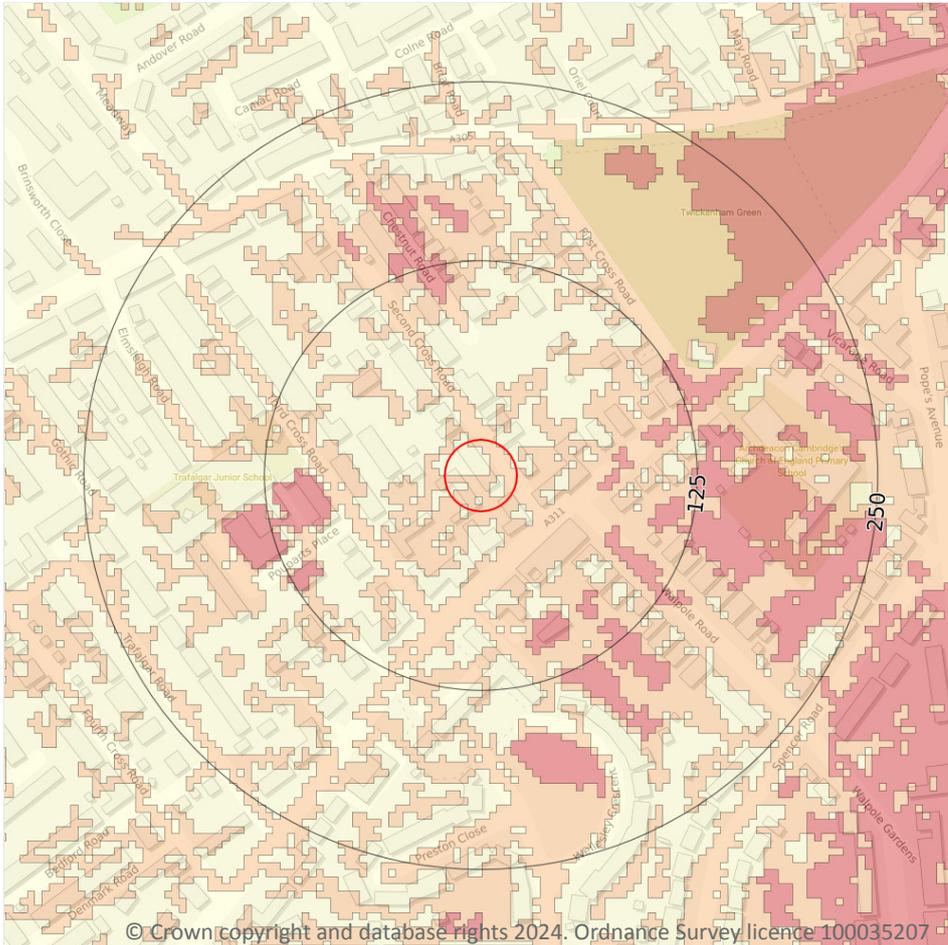


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Your ref: CMAPS-CM-1183143-60191-040924
Grid ref: 515104 172755

Flooding / Groundwater flooding



Ambiental data indicates that the property is in an area with a moderate to high risk of groundwater flooding. Should a 1 in 100-year groundwater flood event occur, groundwater levels could rise above ground level to depth of up to 25cm. Basement areas may become inundated.

Some of the responses contained in this report are based on data and information provided by the Natural Environment Research Council (NERC) or its component body British Geological Survey (BGS). Your use of any information contained in this report which is derived from or based upon such data and information is at your own risk. Neither NERC nor BGS gives any warranty, condition or representation as to the quality, accuracy or completeness of such information and all liability (including for negligence) arising from its use is excluded to the fullest extent permitted by law. Your use of the data/report/assessment constitutes your agreement to bring no claim against NERC or BGS in connection with it.



Datasets searched

This is a full list of the data searched in this report. If we have found results of note we will state "Identified". If no results of note are found, we will state "Not identified". Our intelligent filtering will hide "Not identified" sections to speed up your workflow.

Flooding	
Risk of flooding from rivers and the sea	Not identified
Flood storage areas: part of floodplain	Not identified
Historical flood areas	Not identified
Reduction in Risk of Flooding from Rivers and Sea due to Defences	Not identified
Flood defences	Not identified
Proposed flood defences	Not identified
Surface water flood risk	Not identified
Groundwater flooding	Identified



Methodologies and limitations

Groundsure's methodologies and limitations are available here: knowledge.groundsure.com/methodologies-and-limitations ↗.

Data providers

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