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**NRG**  
CONSULTING

8 Second Cross Road  
Twickenham

Acoustic Review  
Class MA

September 2024

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### Appendix 1 – Existing Plans

### Appendix 2 – Proposed Plan

Document Control Sheet		Disclaimer
Report Reference	PP2495/8SCR/ADR/202409-RT	<p>The contents of this report are based on drawings, specifications, and information provided, supplemented by assumptions made by NRG to achieve compliance.</p> <p>NRG bears no responsibility to third parties for any use or interpretation of this report. Third parties act on the report's contents at their own risk.</p> <p>The use of this report is exclusively reserved for the named client only, unless accompanied by a signed letter of reliance.</p> <p>This report has been produced by NRG Consulting (NRG) to support a Planning Application. It should not be relied upon at construction stage, for Building Control compliance, or to be used in the discharge of Planning Conditions.</p>
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## 1 Executive Summary

NRG Consulting have been commissioned to undertake a desktop acoustic assessment for a proposed planning application at **8 Second Cross Road, Twickenham, TW2 5RF**.

The proposed description of development is:

*Conversion of an existing Class E office building to create three residential units.*

The proposed development is understood to benefit from permitted development rights under Class MA provisions as per The Town and Country Planning Order 2021<sup>1</sup>. The Order states that Class MA is permitted subject to prior approval as to *impacts of noise from commercial premises on the intended occupiers of the development*.

This report therefore reviews the potential impact of noise from the commercial premises on the proposed development. To confirm, there are no shared Party Walls or Party Floors between proposed residential and commercial demises on the scheme. The current commercial building is in a predominantly residential area and will have no neighbouring commercial buildings.

Regarding the planning requirements, for noise the focus is on the impacts of noise from nearby commercial premises on the intended occupiers of the development.

## 2 Proposed Site

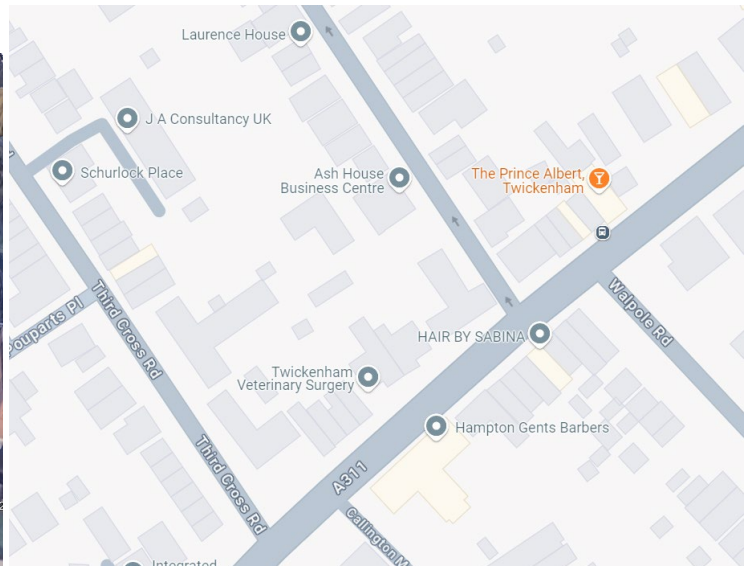
The site is located in Twickenham. It is a detached building located on the south side of Second Cross Road, just off of Hampton Road (A311). The building currently operates as offices (Class E use).



**Figure:** View down Southern Cross Road (showing site on the left)



**Figure:** Existing Building (showing detached nature)



**Figure:** Site in context of nearest Commercial receptors on Hampton Road

The nearest impacting commercial buildings in noise terms would most likely be the Price Albert Pub on Hampton Road (shown above). This is sufficiently away from the development that neither plant noise or environmental noise would be of impact to residents. Other small units in the vicinity are other Class E style buildings of limited size or scope for noise emissions.

## 2.1 Existing Building Layouts

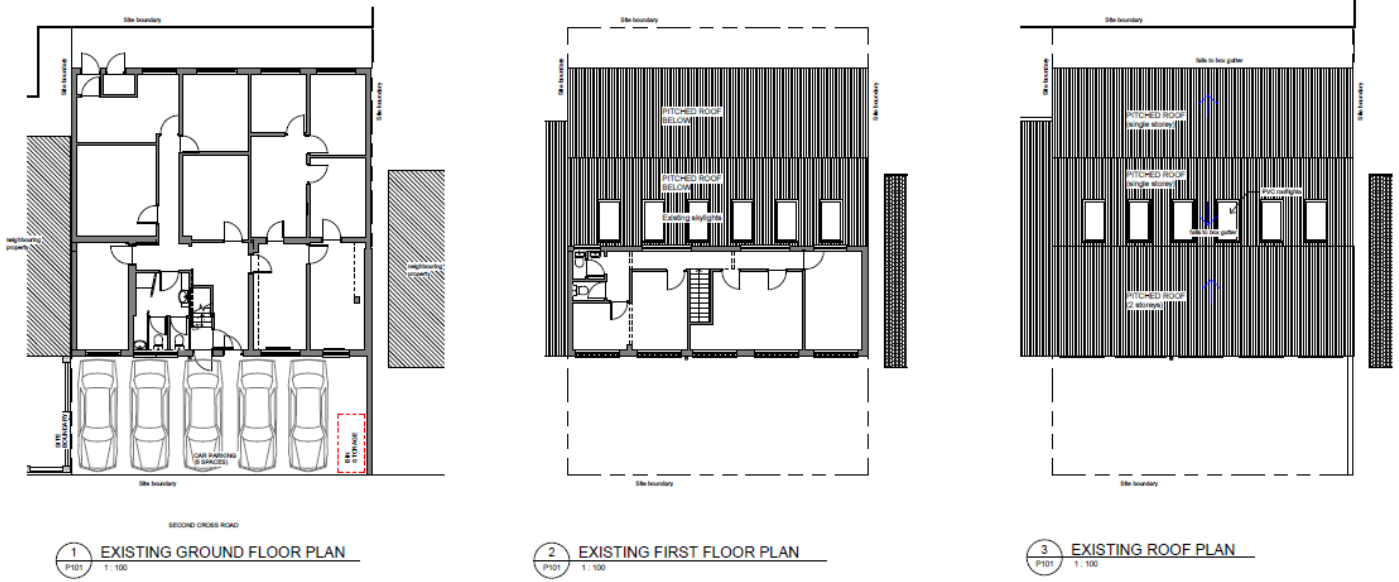


Figure: Existing Layouts

## 2.2 Proposed Layouts

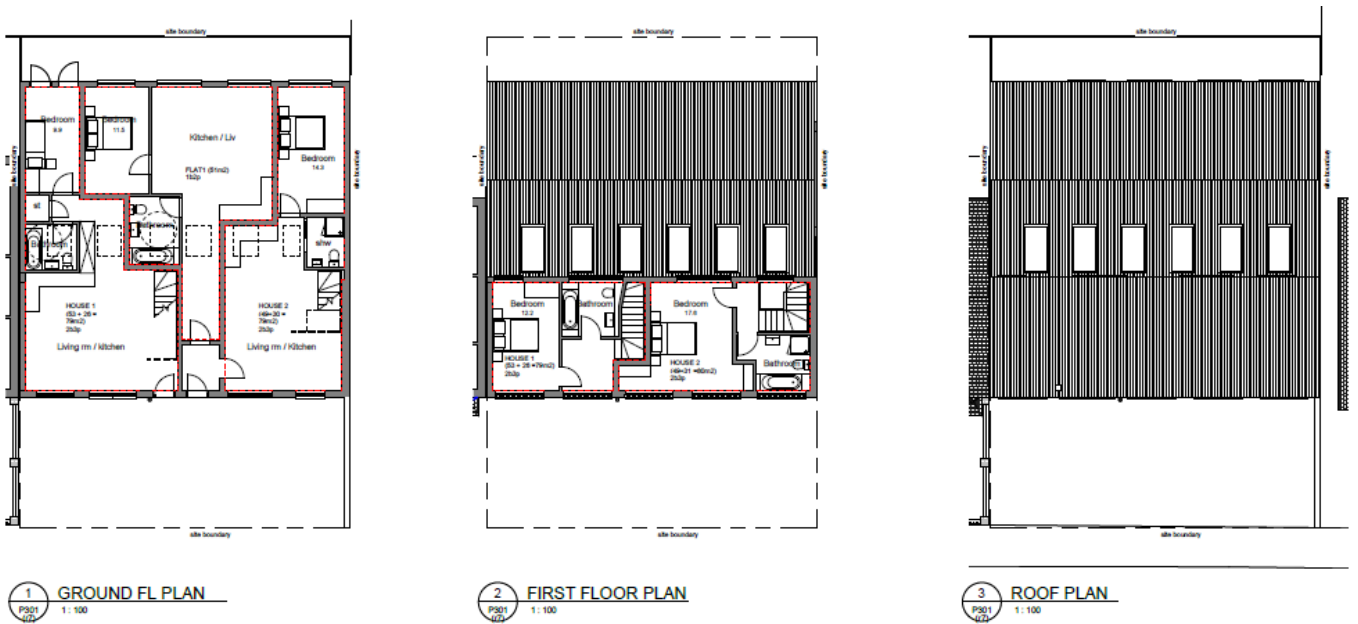


Figure: Proposed Layouts

### 3 Acoustic Design Review

#### 3.1 Sound Insulation Performance Targets

Regulation E1 – Protection Against Sound from Other Parts of Building and Adjoining Buildings (Party Walls and Separating Walls)

“Dwelling-houses, flats and rooms for residential purposes shall be designed and constructed in such a way that they provide reasonable Resistance to sound from other parts of the same building and from adjoining buildings” Approved Document E 2010

The following numerical performance standards apply to the residential element of the development:

Separating Element	Airborne Sound Insulation $D_{nT,w} + C_{tr}$ dB (Minimum Values)	Impact Sound Insulation $L'_{nT,w}$ dB (Maximum Values)
Change of use Dwelling-Houses, Flats and Rooms Residential Purposes	$\geq 43$	$\leq 64$

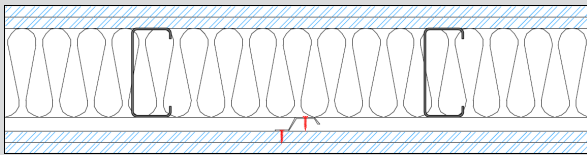
**Table:** Residential Performance Standards

#### 3.2 Party Floor Specification

There are no Party Floors in the proposed scheme.

#### 3.3 Party Wall Specification

Party Wall details have not yet been developed but an illustrative build-up is shown below. The Party Walls will meet the requirements of Part E of the Building Regulations.

Construction Build-Up (Example)	Design Criteria	Predicted Performance	Difference (dB)
	Airborne Sound 43 dB $D_{nT,w} + C_{tr}$	Airborne Sound 43 dB $D_{nT,w} + C_{tr}$	0

**Figure:** Party Wall (illustrative)

## 4 Conclusion

To summarise, the likelihood of the proposed development being adversely affected by commercial noise is nil, owing to:

- No Party Walls or Party Floors between proposed residential use and commercial premises.
- The location of the building and likely level of background noise.
- The nearest commercial receptors being 100m+ away.

The proposed Party Walls will meet the requirements of Part E of the Building Regulations.

In light of these considerations, it is the opinion of the author that there are no impacts of noise from commercial premises on the intended occupiers of the development and therefore noise should not be considered a barrier to the granting of planning permission.

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<sup>i</sup> The Town and Country Planning (General Permitted development etc.) (England) (Amendment) Order 2021, The Secretary of State, April 2021

