

Fire Strategy

17 Sudbrook Gardens September 2024

1. Introduction:

This Fire Safety Strategy has been prepared by Sophie Bates Architects in support of a Planning Application, submitted on behalf of Mrs Tamsin Loke and Mr Robert Hunter with regards to a refurbishment and extension 17 Sudbrook Gardens, Petersham TW10 7DD. The location plan is shown below.

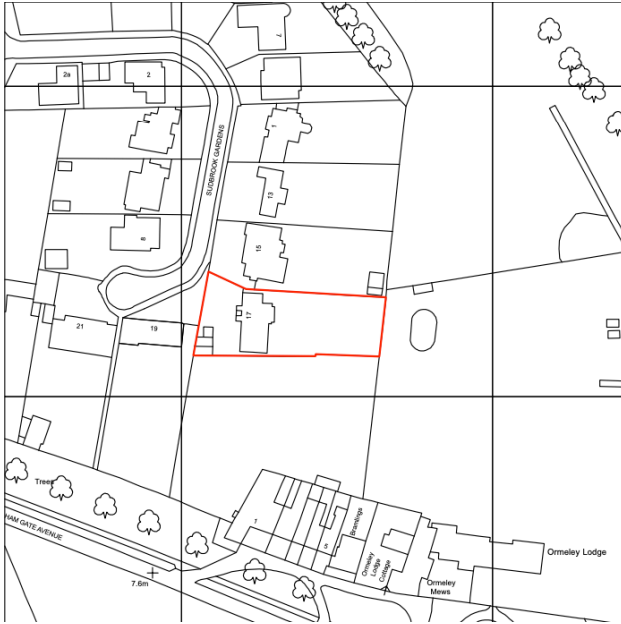


Figure 1 - OS map plan

2. Background:

The Applicant is the freeholder to the property. The house is detached and was built in 1930s. The map below is dated 1932 and shows Sudbrook Gardens.

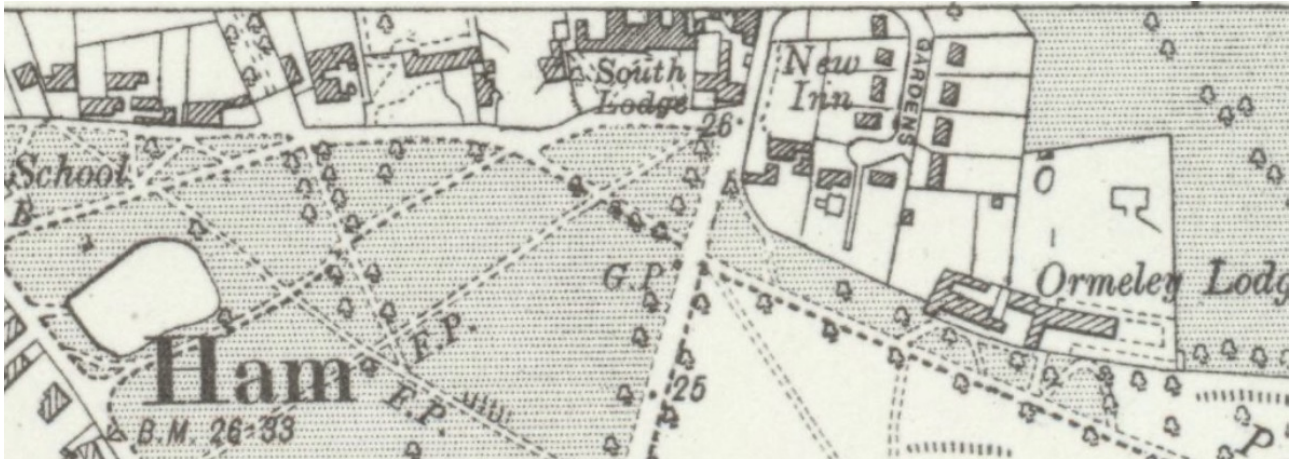


Figure 2 - 1932 map

3. The Proposal

The proposed works have been submitted in two separate planning applications as per the drawings included in this application. In broad terms involve the following:

MAIN HOUSE

- extend the property to the rear
- Infil to the rear at first floor to create a new bedroom
- Replace the roof with a new roof structure to house additional living space.
- Insulate the walls externally with insulated render
- Whole house refurbishment
- Widening to front gate and removal of brick lintel over driveway.

GREENHOUSE

- Greenhouse for ancillary use to the main dwelling with store to north end and pergola and open three sided canopy to the south. Glass 1m from boundary. No habitable rooms.

4. Fire Safety Policy Criteria as per the London Plan D12(A)

1(a) Fire Appliances and Means of Access. Refer to drawing 047 P-10 Block plan overleaf for means of access for fire brigade. The fire engine can park on Sudbrook Gardens near the fire hydrant or once the existing gates with brick lintel removed they could park on the driveway. The hall is a protected means of escape with fire doors to the habitable rooms to the ground, first and second floor.

1(b) Evacuation and Assembly point

Refer to drawing overleaf for location of fire assembly point. All occupying both houses will escape out of the front doors and to the front garden and out to the road.

2) Appropriate features to reduce risk to life

The properties will be fitted with smoke alarms on all floors. The smoke alarms will all be connected to mains electricity with secondary battery backup. All habitable rooms to be fitted with 20-minute smoke and fire doors.

There is a balcony to the 1st floor at the rear off the master bedroom for escape over the rear garden roof if needed.

3) Appropriate features to reduce risk of fire spread

The house will comply with Part B to reduce the risk of fire spreading.

(4) & (5) Means of escape / evacuation strategy

Means of escape from protected hall or ground floor doors/windows through the front garden and on the Sudbrook Gardens. From the 1st and second floor there is a protected stair and all habitable rooms are protected for the stair's circulation. (refer to floor an below)

(6) Fire Fighting Equipment

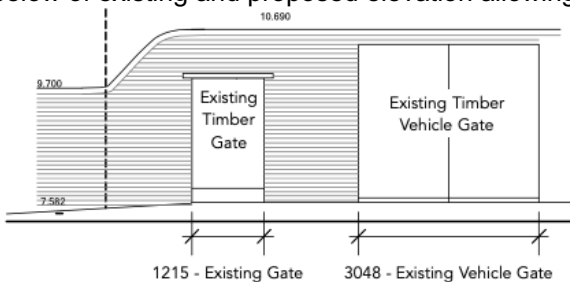
The client is advised to keep a Home Fire Safety Pack in the OM manual. All residents should be aware of the location of fire and smoke/ heat detector equipment.

The clients are advised to keep a Home Fire Safety Pack in both houses - comprising of 2kg Dry Powder fire extinguisher and a British Standard hard case fire blanket (both available from www.fireprotectionshop.co.uk).

All residents should be aware of the location of this equipment.

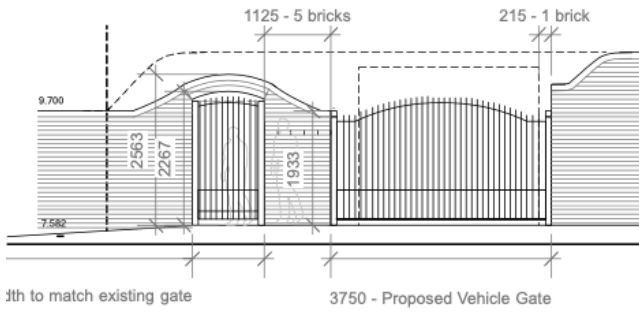
All proposed works will be compliant with current Building Regulations and Part B.

Access to be improved - see drawing 047 P-25 Ex Proposed Entrance gates plan elevation.pdf, extracts below of existing and proposed elevation allowing higher vehicle access to the front garden.



1 Existing Gate Elevation Scale: 1:100

Figure 3 - existing gate to Sudbrook gardens



3 Proposed Gate Elevation Scale: 1:100

Figure 4 - Proposed gate to Sudbrook gardens

Floor plans shown below. Blue arrow notates FD30 Fire doors and green arrows show exit to garden.

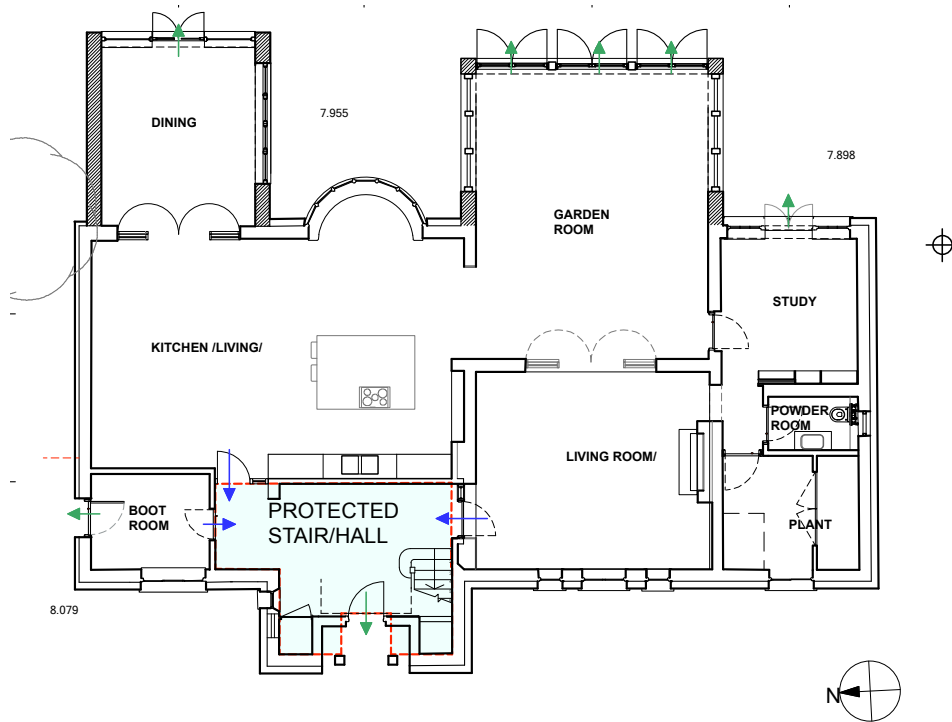


Figure 5 Ground floor plan above.

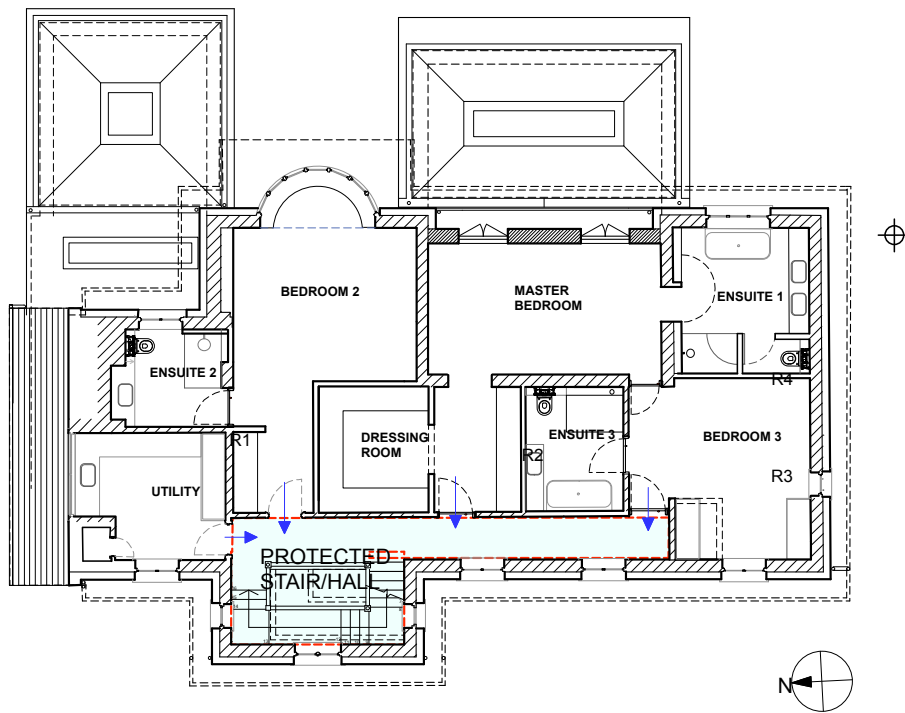


Figure 6 First floor plan above

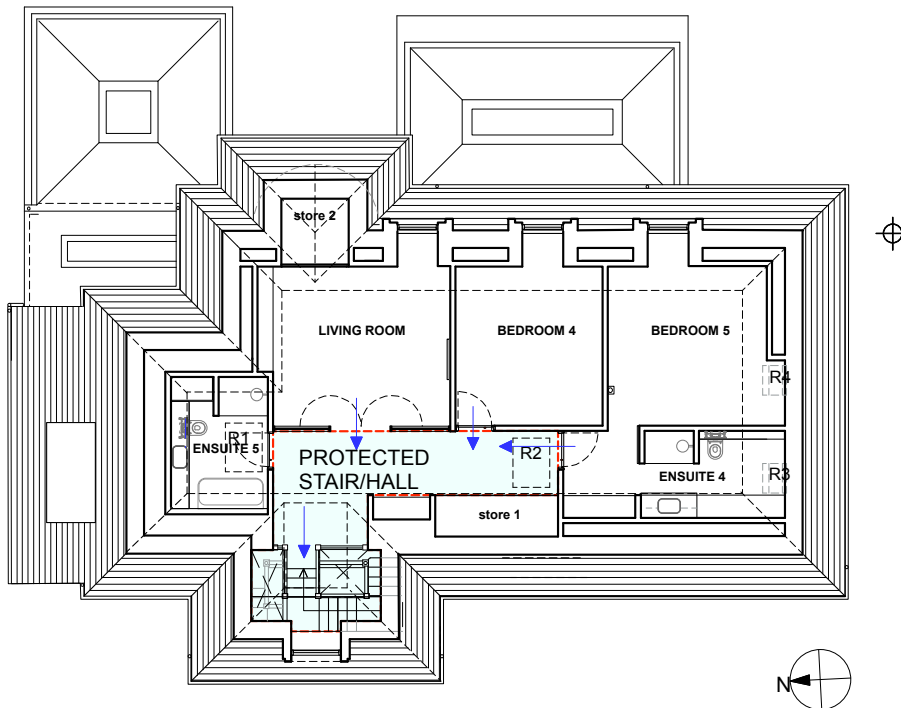
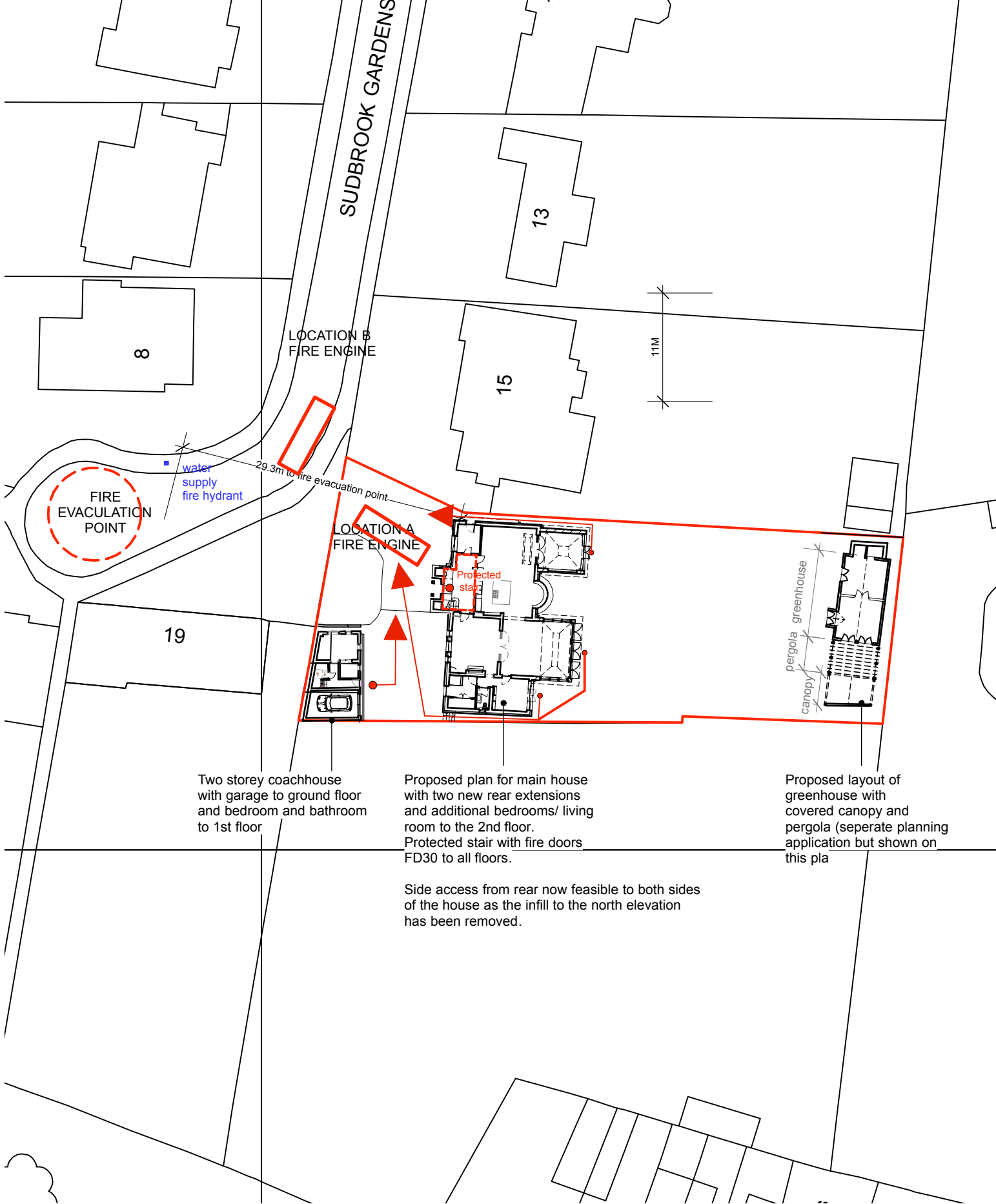


Figure 7 Loft - 2nd floor plan above

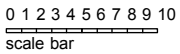


Two storey coachhouse with garage to ground floor and bedroom and bathroom to 1st floor

Proposed plan for main house with two new rear extensions and additional bedrooms/ living room to the 2nd floor. Protected stair with fire doors FD30 to all floors.

Proposed layout of greenhouse with covered canopy and pergola (separate planning application but shown on this plan)

Side access from rear now feasible to both sides of the house as the infill to the north elevation has been removed.



- Main door from protected means of escape
- Secondary doors from ground floor

REV DATE AMENDMENT

SOPHIE BATES ARCHITECTS		17 SUDBROOK GARDENS GATE	
29 ST. GEORGES ROAD, KINGSTON, KT2 6DL T-07725 501683 E-SOPHIE@SOPHIEBATES.COM WWW.SOPHIEBATES.COM		FIRE STRATEGY PLAN	
job no	scale	drawing no	revision
047	1:500	P-7	