

Application reference: 24/2227/HOT
EAST SHEEN WARD

Date application received	Date made valid	Target report date	8 Week date
04.09.2024	04.09.2024	30.10.2024	30.10.2024

Site:

31 Paynesfield Avenue, East Sheen, London, SW14 8DW

Proposal:

Enlargement existing dormer roof extensions. Provision of rooflights

Status: Pending Decision (If status = HOLD please check that all is OK before you proceed any further with this application)

APPLICANT NAME

Mr. & Mrs. Delemain
31 Paynesfield Avenue
East Sheen
London
Richmond Upon Thames
SW14 8DW

AGENT NAME

Mr Nathan Turner
28 Freemans Close
Stoke Poges
SL2 4ER
United Kingdom

DC Site Notice: printed on and posted on and due to expire on

Consultations:

Internal/External:

Consultee

Expiry Date

Neighbours:

34 Paynesfield Avenue, East Sheen, London, SW14 8DW, - 06.09.2024
36 Paynesfield Avenue, East Sheen, London, SW14 8DW, - 06.09.2024
33 Paynesfield Avenue, East Sheen, London, SW14 8DW, - 06.09.2024
29 Paynesfield Avenue, East Sheen, London, SW14 8DW, - 06.09.2024
Telephone Exchange, Paynesfield Avenue, London, SW14 - 06.09.2024

History: Development Management, Appeals, Building Control, Enforcements:

Development Management

Status: GTD Application: 04/2056/PS192
Date: 10/08/2004 Proposed single storey rear extension

Development Management

Status: GTD Application: 05/1831/HOT
Date: 08/08/2005 Loft extension with side dormer and rear dormer with juliet balcony .

Development Management

Status: GTD Application: 19/2889/HOT
Date: 13/11/2019 ENLARGEMENT OF SINGLE STOREY REAR EXTENSION. MODIFY SIDE RETURN ROOF TO A FLAT ROOF. RAISE THE EXISTING PARAPET WALL.

Development Management

Status: GTD Application: 20/1809/HOT
Date: 24/08/2020 ENLARGEMENT OF SINGLE STOREY REAR EXTENSION AND REAR BIKE STORE. MODIFY SIDE RETURN ROOF TO A FLAT ROOF. RAISE THE EXISTING PARAPET WALLS.

Development Management

Status: GTD

Date: 08/02/2021

Application: 20/1809/NMA

Non material amendment to planning permission 20/1809/HOT to increase the length of the rear soffit and fascia and remove one of the flat roof lights.

Development Management

Status: PDE

Date:

Application: 24/2227/HOT

Enlargement existing dormer roof extensions. Rooflight to front elevation

Building Control

Deposit Date: 26.07.2004

Reference: 04/1518/FP

Single storey rear infill extension and ground floor cloakroom

Building Control

Deposit Date: 24.08.2004

Reference: 04/1518/RS1/FP

Single storey rear infill extension and ground floor cloakroom

Building Control

Deposit Date: 22.08.2005

Reference: 05/1755/BN

Loft conversion

Building Control

Deposit Date: 17.11.2012

Reference: 12/FEN03226/GASAFE

Installed a Gas Boiler

Building Control

Deposit Date: 01.06.2014

Reference: 14/FEN01863/GASAFE

Install a gas-fired boiler

Building Control

Deposit Date: 13.01.2020

Reference: 20/0052/FP

Enlargement of existing single storey rear extension and associated structural alterations. New glazed roof over side addition with internal modifications to form a utility room.

Application Number	24/2227/HOT
Address	31 Paynesfield Avenue East Sheen London SW14 8DW
Proposal	Enlargement existing dormer roof extensions. Front rooflight
Contact Officer	Sukhdeep Jhooti
Target Determination Date	30.10.2024

1. INTRODUCTION

This application is of a nature where the Council's Constitution delegates the authority to make the decision to Officers rather than it being determined by the Planning Committee.

Before preparing this summary report the planning officer considered any relevant previous planning applications in relation to the development and considered any comments made by those interested in the application such as consultees with specialist knowledge and nearby residents.

By indicating that the development proposal complies with relevant Local Plan Policies, the planning officer has considered the information submitted with the application, any previous relevant applications, any comments received in connection with the application and any other case specific considerations which are material to the decision.

2. DESCRIPTION OF THE SITE AND ITS SURROUNDINGS

The subject site consists of a two-storey mid-terraced dwellinghouse on the western side of Paynesfield Avenue.

Relevant planning designations:

- Character Area 6 of the East Sheen Village Planning Guidance.
- Increased Potential Elevated Groundwater
- Village [East Sheen]

3. DESCRIPTION OF THE PROPOSAL AND ANY RELEVANT PLANNING HISTORY

The proposed development comprises enlargement of existing dormer roof extensions. Provision of rooflights.

The comprehensive list of planning history can be found above however the most relevant planning history is as follows:

Ref	Proposal	Received	Valid	Decision
20/1809/NMA	Non material amendment to planning permission 20/1809/HOT to increase the length of the rear soffit and fascia and remove one of the flat roof lights.	18/01/2021	18/01/2021	Granted Permission
20/1809/HOT	ENLARGEMENT OF SINGLE STOREY REAR EXTENSION AND REAR BIKE STORE. MODIFY SIDE RETURN ROOF TO A FLAT ROOF. RAISE THE EXISTING PARAPET WALLS.	01/07/2020	01/07/2020	Granted Permission
19/2889/HOT	ENLARGEMENT OF SINGLE STOREY REAR EXTENSION. MODIFY SIDE RETURN ROOF TO A FLAT ROOF. RAISE THE EXISTING PARAPET WALL.	23/09/2019	23/09/2019	Granted Permission
05/1831/HOT	Loft extension with side dormer and rear dormer with juliet balcony .	13/06/2005	13/06/2005	Granted Permission
04/2056/PS192	Proposed single storey rear extension	24/06/2004	24/06/2004	Granted Permission

4. CONSULTATIONS CARRIED OUT

The list of neighbours notified of this application are listed above.

No letters of representation were received.

5. MAIN POLICIES RELEVANT TO THE DECISION

NPPF (2023)

The key chapters applying to the site are:

- 4. Decision-making
- 12. Achieving well-designed places
- 14. Meeting the challenge of climate change, flooding and coastal change
- 15. Conserving and enhancing the natural environment

These policies can be found at:

<https://www.gov.uk/guidance/national-planning-policy-framework>

London Plan (2021)

The main policies applying to the site are:

- D4 Delivering good design
- D12 Fire Safety
- G6 Biodiversity and access to nature
- G7 Trees
- SI 12 Flood Risk Management
- SI 13 Sustainable Drainage

These policies can be found at: <https://www.london.gov.uk/what-we-do/planning/london-plan>

Richmond Local Plan (2018)

The main planning considerations applying to the site and the associated Local Plan policies are:

Issue	Local Plan Policy	Compliance	
Local Character and Design Quality	LP1,	Yes	Ne
Impact on Amenity and Living Conditions	LP8	Yes	Ne
Impact on Biodiversity	LP15	Yes	Ne
Impact on Trees, Woodland and Landscape	LP16	Yes	Ne
Impact on Flood Risk and Sustainable Drainage	LP21	Yes	Ne

These policies can be found at

https://www.richmond.gov.uk/media/15935/adopted_local_plan_interim.pdf

Richmond Publication Local Plan (Regulation 19 version)

The Richmond Publication Version Local Plan (Regulation 19 version) was published on 9 June 2023 for public consultation which ended on 24 July 2023.

The Publication Version Local Plan, together with all the representations received during the representation period, the plan and its supporting documents were submitted to the Secretary of State for examination on 19 January 2024. The submission documents do not form part of the statutory development plan for the Borough, however, by publishing and submitting the Borough Local Plan for independent examination the Council has formally confirmed its intention to adopt the Publication Plan.

The Publication Version Local Plan, including its evidence base, are material considerations for decision-making. The weight to be given to each of the emerging policies and allocations will depend on an assessment against the criteria set out in paragraph 48 of the NPPF. As the Council considers the emerging Borough Local Plan to be sound and legally compliant, officers and Councillors should accord relevant policies and allocations significant weight in the determination of applications taking account of the extent to which there are unresolved objections to relevant policies. Therefore, the weight afforded to each policy at this stage will differ depending on the level and type of representation to that policy. This is addressed in more detail in the assessment below where it is relevant to the application.

Note that it was agreed by Full Council on 27 April, when the Publication Plan was approved, that no weight will be given to Policy 4 in relation to the increased carbon offset rate, and therefore the existing rate of £95 will continue to be used; in addition, no weight will be given to Policy 39 in relation to the 20% biodiversity net gain requirement; all other aspects and requirements of these policies will apply.

Issue	Publication Local Plan Policy	Compliance
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Flood risk and sustainable drainage	8	Yes	No
Local character and design quality	28	Yes	No
Trees, Woodland and Landscape	42	Yes	No
Amenity and living conditions	46	Yes	No

Supplementary Planning Documents

House Extension and External Alterations
Village Plan – East Sheen

These policies can be found at:

https://www.richmond.gov.uk/services/planning/planning_policy/local_plan/supplementary_planning_documents_and_guidance

6. EXPLANATION OF OFFICER RECOMMENDATION

The key issues for consideration are:

- i Design
- ii Impact on neighbour amenity
- iii Trees
- iv Flood Risk
- v Fire Safety

i Design

Policy LP1 of the Local Plan 2018 seeks to maintain and, where possible, enhance the high architectural and urban design quality which contributes to the character and heritage of the area. Proposals should demonstrate an understanding of the site and its context when considering the design including layout, siting and access and the compatibility of the works to the neighbouring uses.

The House Extensions SPD states the following regarding roof extensions:

- Hip to gable roof extensions are not desired
- Avoid roof extensions in the front of a house
- Keep roof extensions 'in-scale' with the existing structure
- Dormer windows and other roof extensions must not project above the ridgeline
- Roof extensions should not dominate the original roof
- Dormer windows should be smaller than that of windows of the floor below
- Keep existing profiles
- Ensure sensitivity to the existing character
- Match/use complementary materials
- Roof lights – excessive used should be avoided

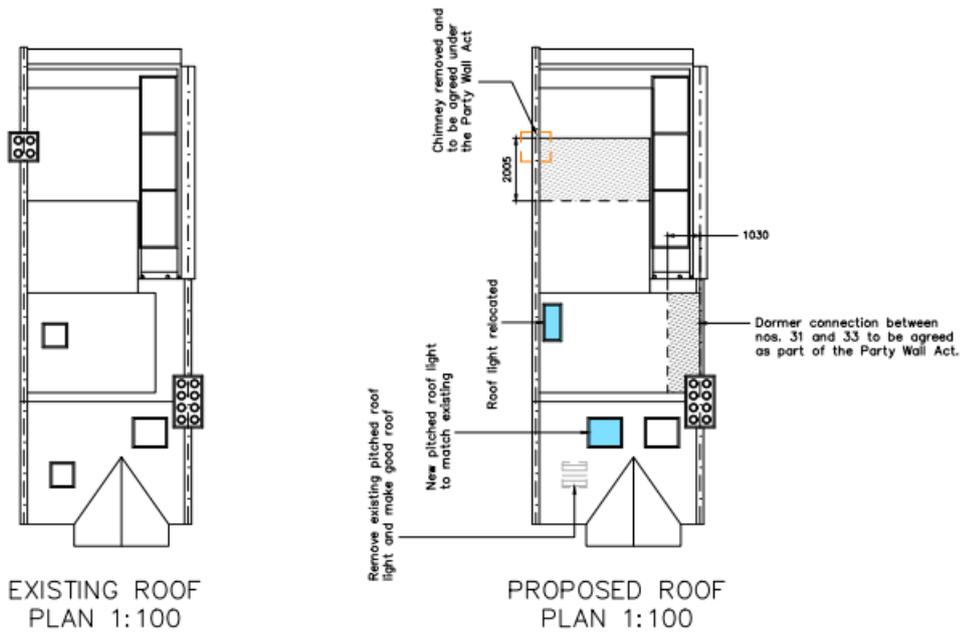


Figure 1 – Existing and proposed roof plans

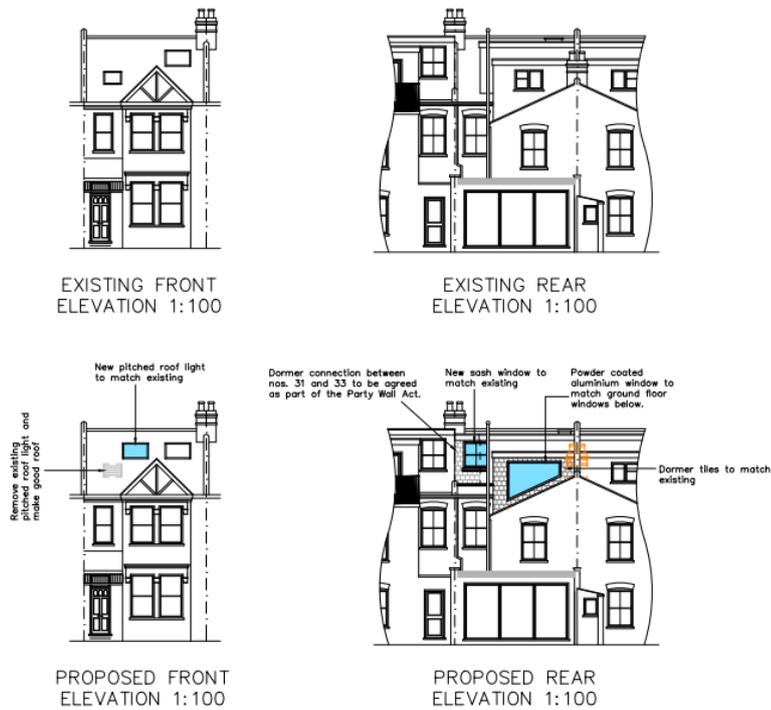


Figure 2 – Existing and proposed front and rear elevations

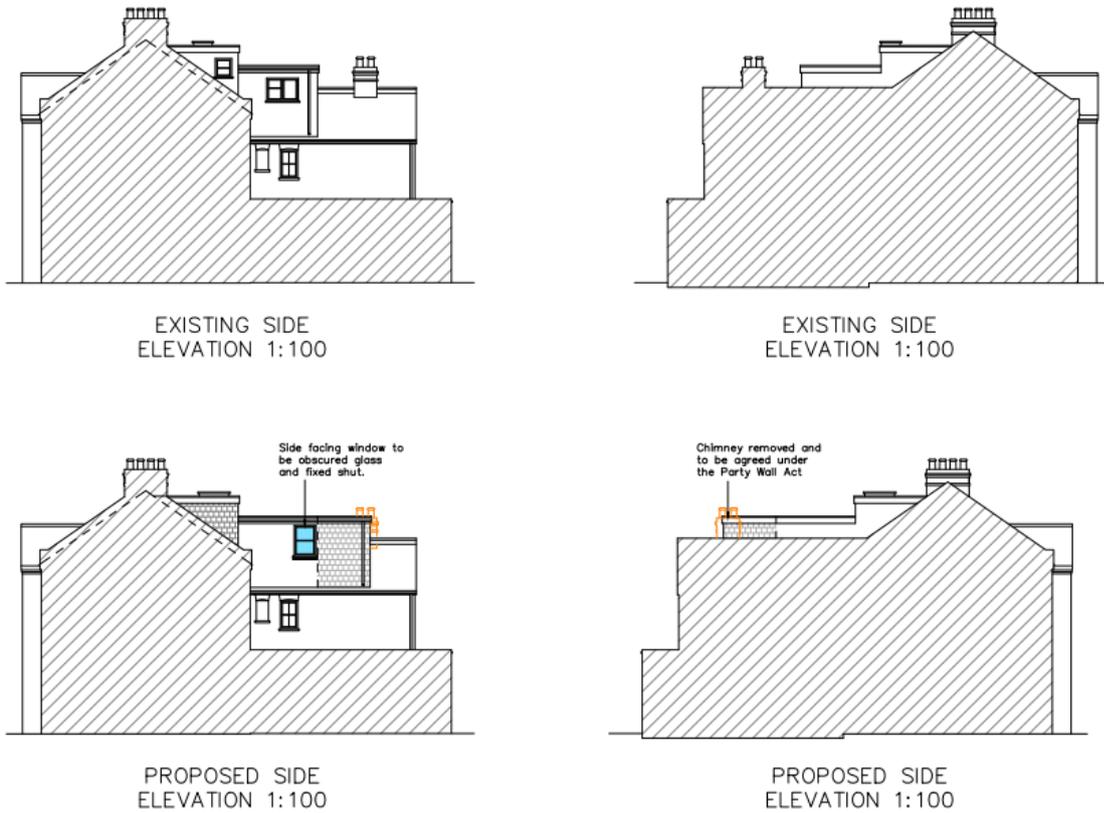


Figure 3 – Existing and proposed side elevations

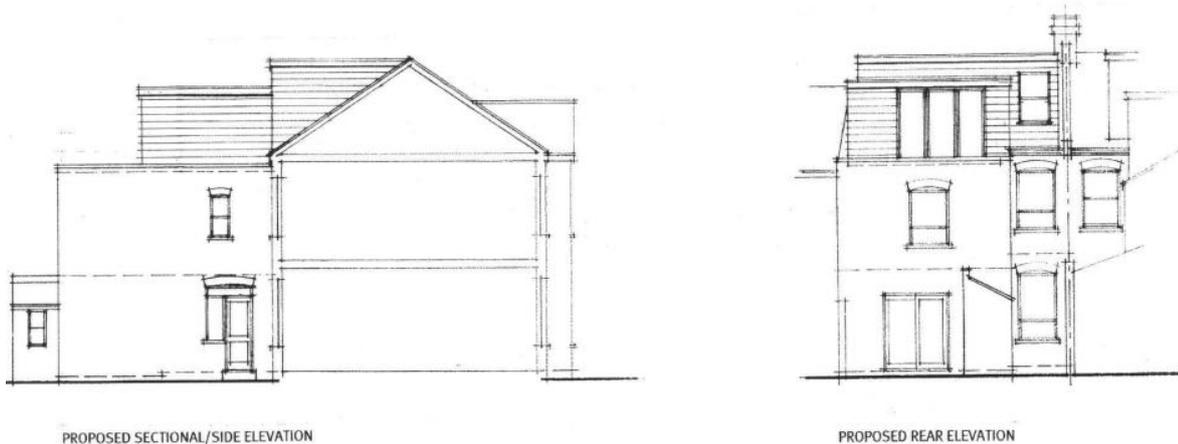
Front rooflight

The proposed front rooflights do not require planning permission as there is no planning condition or Article 4 Direction restricting this permitted development right.

Enlargement of rear dormer roof extensions



Figure 4 – Aerial imagery of immediate locality



Generous sized dormer glazing approved at the adjoining property at No. 33 Paynesfield Avenue under planning application reference: 08/0395/HOT.

The enlargement to the existing rear dormer roof extension would complement not be dissimilar in width or depth to what has been implemented at No. 33 Paynesfield Avenue. The width of the enlargement rear dormer roof extension would be similar to what has been actioned at No. 29 and 33 Paynesfield Avenue.

The increased depth would be in line with what No. 33 has carried out. The fenestration of dormer windows at No's 33, 31 and 29 vary in their style, profile, size and scale. As such, the dormer glazing is acceptable given this context. Moreover, the glazing deployed in dormer windows at other properties along this stretch of the road vary in their size, scale and design as shown below:

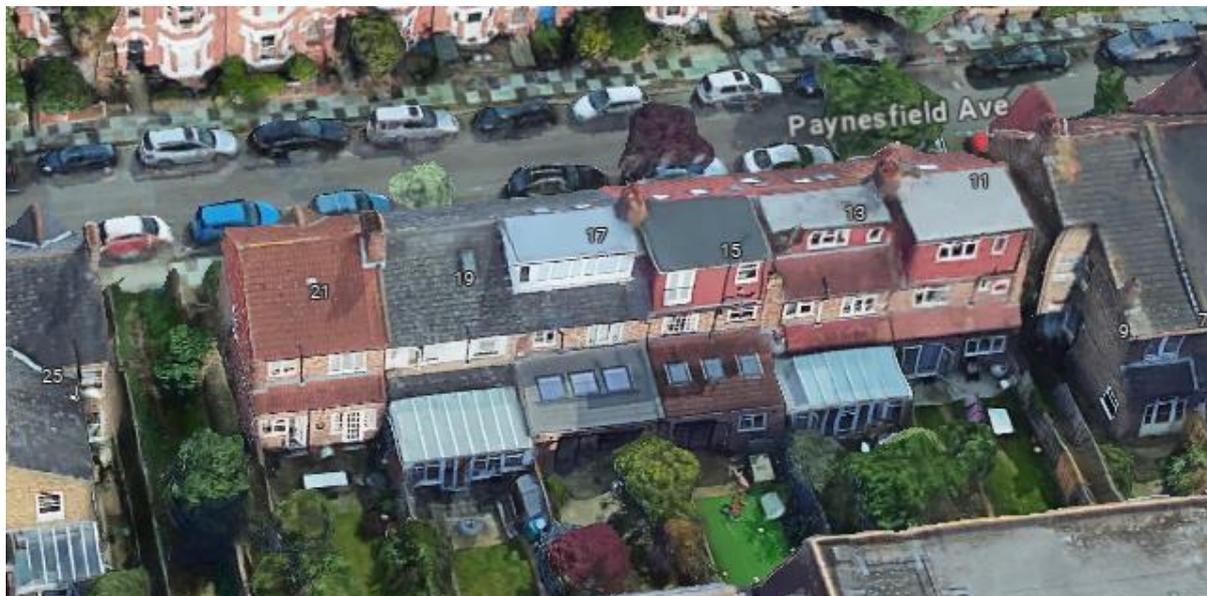


Figure 5 – Aerial imagery of immediate locality.

In view of the above, the proposal complies with the aims and objectives of policy LP1 of the Local Plan and policy 28 of the Publication Local Plan.

ii Impact on neighbour amenity

Policy LP8 states that development must protect the amenity and living conditions of existing, adjoining and neighbouring occupants. Design must allow for good daylight standards, avoid overlooking or noise disturbance, avoid visual intrusion, overbearing impacts or harm to the reasonable enjoyment of the uses of buildings and gardens. Harm may arise from various impacts such as noise, air pollution, odours or vibration.

The enlargement of the rear dormer roof extension would have a neutral impact on No. 29 as no windows at this property would be impacted given its size, scale and siting.

With regards to No. 33, the increased width of the rear dormer extension would have a neutral impact on No. 33 given it would be adjacent to the flank elevation of the dormer extension at this property.

The increased depth of the dormer extension over the existing outrigger at the application site would not have a material impact with regards to any loss of outlook when viewed from the habitable room windows of this property given the presence of the existing dormer roof extension over the existing outrigger.

A BRE test at the first and second floor rear facing window at No. 33 passed the daylight test. A similar extension has been actioned at No. 33 as such, it is not considered there would be a loss of outlook to the occupiers at this neighbouring property and given the presence of existing roof extensions at the application site.

The rear elevational dormer glazing would not lead to material increases in the levels of overlooking compared with the existing situation.

The side elevational window would be conditioned to be obscure glazed and non-openable above 1.7m of finished floor level to restrict overlooking of neighbouring properties.

The front rooflights would face onto the public realm and so no objections are raised.

In view of the above, the proposal would safeguard neighbour living conditions in line with LP8 of the Local Plan 2018.

iii Flood Risk

Policy LP21 of the Local Plan relates to flood risk. The site is within flood zone 1 but it is within an area of increased potential for elevated groundwater. Works would be at roof level and so there would be no material increase in the levels of flood risk compared with the existing situation. The scheme therefore complies with policy LP21 of the Local Plan.

v Fire Safety

Policy D12 of the London Plan relates to fire safety. A fire safety statement has been submitted which meets the aims and objectives of policy D12. This does not override the need to comply with the Building regulations. A condition would be imposed to ensure that the scheme complies with the submitted statement on an ongoing basis. The proposal complies with D12 of the London Plan.

iv Biodiversity

Biodiversity net gain became mandatory for minor developments on applications made from 2nd April 2024. This application is exempt from mandatory biodiversity net gain on the grounds that is a householder application.

7. LOCAL FINANCE CONSIDERATIONS AND OTHER MATTERS

Section 70(2) of the Town and Country Planning Act 1990 (as amended) provides that a local planning authority must have regard to a local finance consideration as far as it is material. The weight to be attached to a local finance consideration remains a matter for the decision maker. The Mayor of London's CIL and Richmond CIL are therefore material considerations.

On initial assessment this development is not considered liable for the Mayoral or Richmond CIL however this is subject to confirmation by the CIL Administration Team

8. RECOMMENDATION

This recommendation is made following careful consideration of all the issues raised through the application process.

Grant planning permission

Paragraph 11 of the Framework explains how the presumption in favour of sustainable development applies. For the reasons set out above, this application falls to be determined in accordance with the test under section 38(6) of the 2004 Act, the proposal is in general conformity with the Development Plan overall and there are no material considerations of sufficient weight to justify refusal.

Recommendation:

The determination of this application falls within the scope of Officer delegated powers - YES / ~~NO~~

I therefore recommend the following:

- 1. REFUSAL
- 2. PERMISSION
- 3. FORWARD TO COMMITTEE

This application is CIL liable YES* NO
(*If yes, complete CIL tab in Uniform)

This application requires a Legal Agreement YES* NO
(*If yes, complete Development Condition Monitoring in Uniform)

This application has representations online (which are not on the file) YES NO

This application has representations on file YES NO

Case Officer (Initials): SJH

Dated: ...17.10.2024

I agree the recommendation:

Senior Planner

Dated: 18.10.2024